

DRAWING LIST

NUMBER	SHEET NAME	REV	DATE
A1.01	SITE SURVEY	A	05.08.24
A1.02	U'CROFT SITE PLAN	A	05.08.24
A1.03	GROUND SITE PLAN	A	05.08.24
A2.00	U'CROFT FLOOR PLAN	A	05.08.24
A2.01	GROUND FLOOR PLAN	A	05.08.24
A2.02	FIRST FLOOR PLAN	A	05.08.24
A2.03	ROOF PLAN	A	05.08.24
A3.01	ELEVATIONS	A	05.08.24
A3.02	ELEVATIONS	A	05.08.24
A3.03	SECTIONS	A	05.08.24
A3.04	VISUAL PERSPECTIVES	A	05.08.24





TITLE
SITE SURVEY

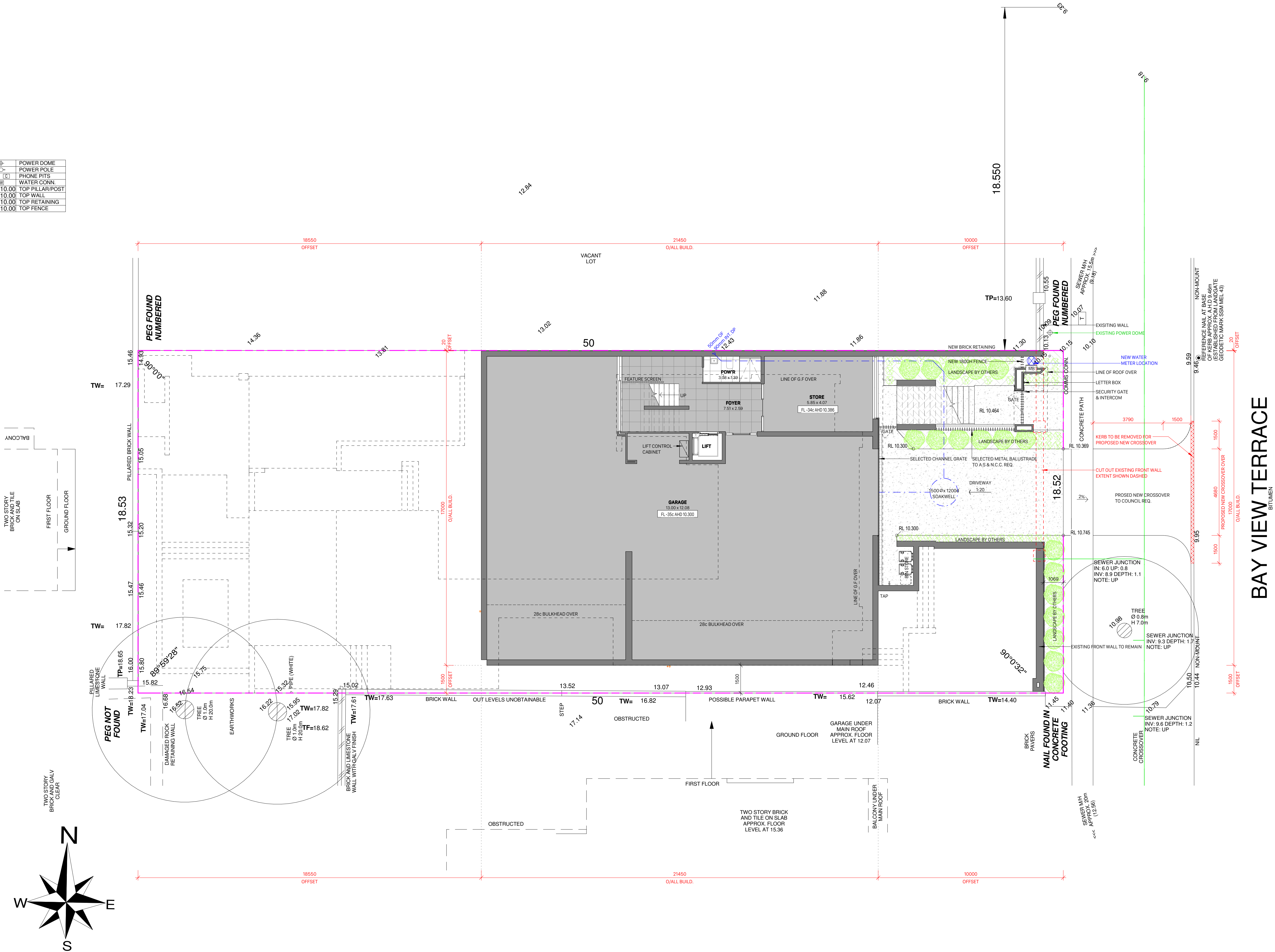
LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER CONN.
		TP=10.00 TOP PILLAR/POST
		TW=10.00 TOP WALL
		TR=10.00 TOP RETAINING
		TF=10.00 TOP FENCE

BUILDING AREAS	
UNDERCROFT (-35c)	
FOYER / STORE	63.68 m²
GARAGE	300.97 m²
	364.65 m²
GROUND FLOOR (00c)	
GROUND FLOOR	235.23 m²
ALFRESCO	40.16 m²
	275.39 m²
FIRST FLOOR (42c)	
FIRST FLOOR	239.46 m²
	239.46 m²
TOTAL	879.50 m²

LANDSCAPING CALC.	
AREA WITHIN FRONT SETBACK	= 166.75m²
IMPERVIOUS EXTENT	= 75.88m²
THEREFORE PERVIOUS EXTENT	= 54.49%

OPEN SPACE	
ZONING	= R10
SITE AREA	= 926m²
BUILDING AREA	= 310m²
SITE COVER	= 33.47%
THEREFORE OPEN SPACE	= 66.52%

PLOT RATIO	
SITE AREA	= 926m²
GROUND FLOOR	= 235m²
FIRST FLOOR	= 239m²
EAVES	= 17m²
DEDUCTIONS	= 30m²
TOTAL GROSS BUILDING AREA	= 461m²
THEREFORE PLOT RATIO	= 49.78%



BAY VIEW TERRACE
BITUMEN



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02 DEVELOPMENT
APPROVAL
DRAWINGS

POPE RESIDENCE
Lot 532 #12 Bay View Terrace,
Peppermint Grove

JOB No. 352
DRG No. A1.02
REVISION: A
SCALE: 1:100 @ A1

Disclaimer: The information contained herein is to demonstrate design intent and is not intended to substitute appropriate architectural, engineering and local government approvals. Use of this information here in will require review with all stakeholder prior to documentation for construction. The design is the intellectual property of Urbane and therefore subject to copyright, unless written release is provided by Urbane Projects PtyL

TITLE
U'CROFT SITE PLAN

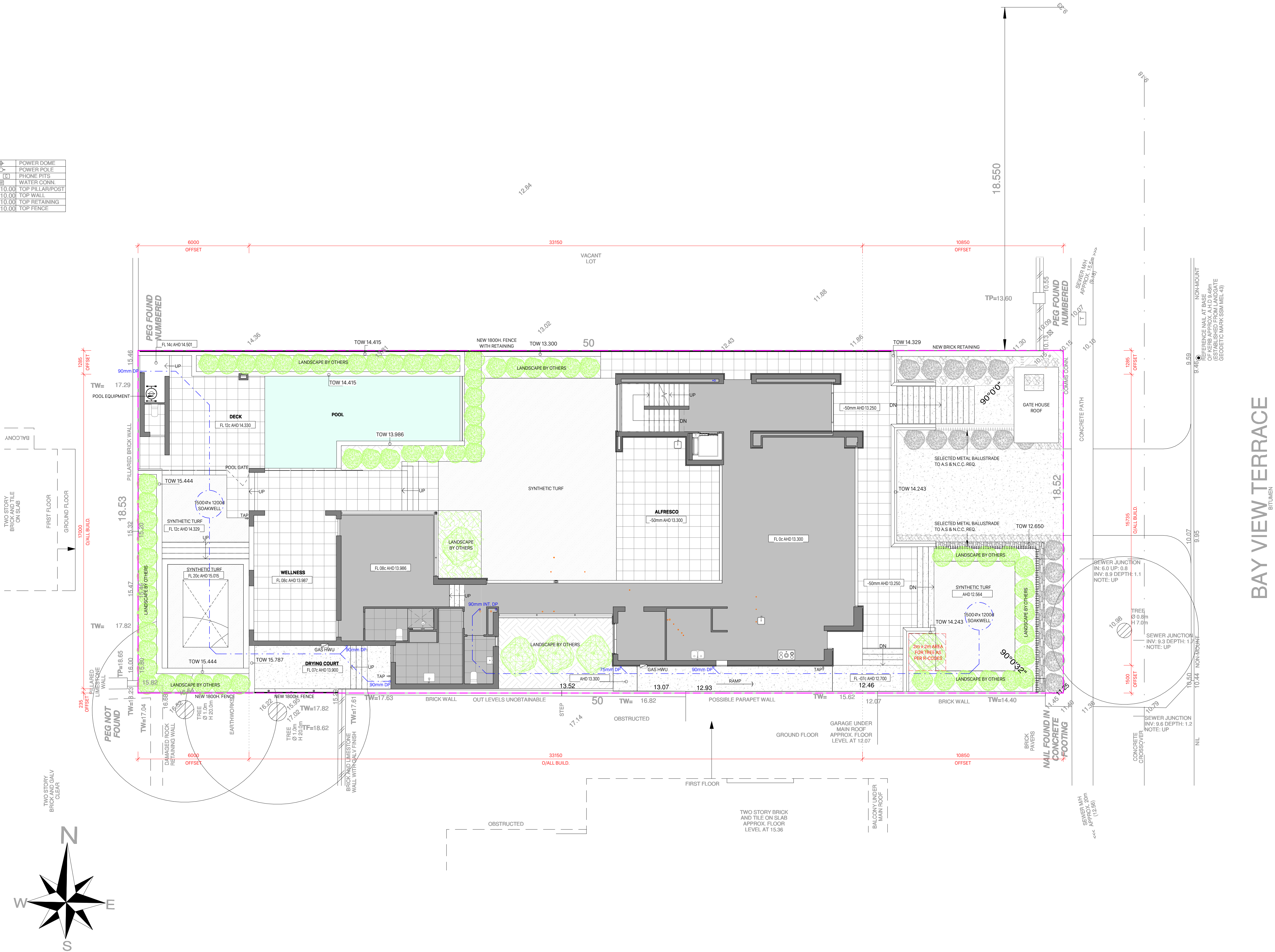
LEGEND	⊕	POWER DOME
	⊕	POWER POLE
TP=10.00	⊕	PHONE PIT
	⊕	WATER CONN.
TW=10.00	⊕	TOP PILLAR/POST
TF=10.00	⊕	TOP WALL
TF=10.00	⊕	TOP RETAINING
TF=10.00	⊕	TOP FENCE

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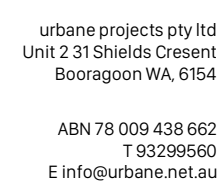
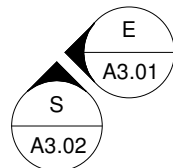
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BAY VIEW TERRACE
BITUMEN



UNDERCROFT (-35c)	
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GARAGE	300.97 m ²
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GROUND FLOOR (00c)	
GROUND FLOOR	235.23 m ²
ALFRESCO	40.16 m ²
	275.39 m ²
FIRST FLOOR (42c)	
FIRST FLOOR	239.46 m ²
	239.46 m ²
TOTAL	879.50 m ²



02 DEVELOPMENT APPROVAL DRAWINGS

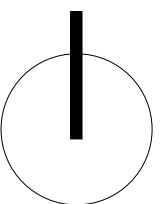
POPE RESIDENCE
Lot 532 #12 Bay View Terrace,
Peppermint Grove

JOB No. 352
DRG No. A2.00
REVISION: A
SCALE: 1:100 @ A1

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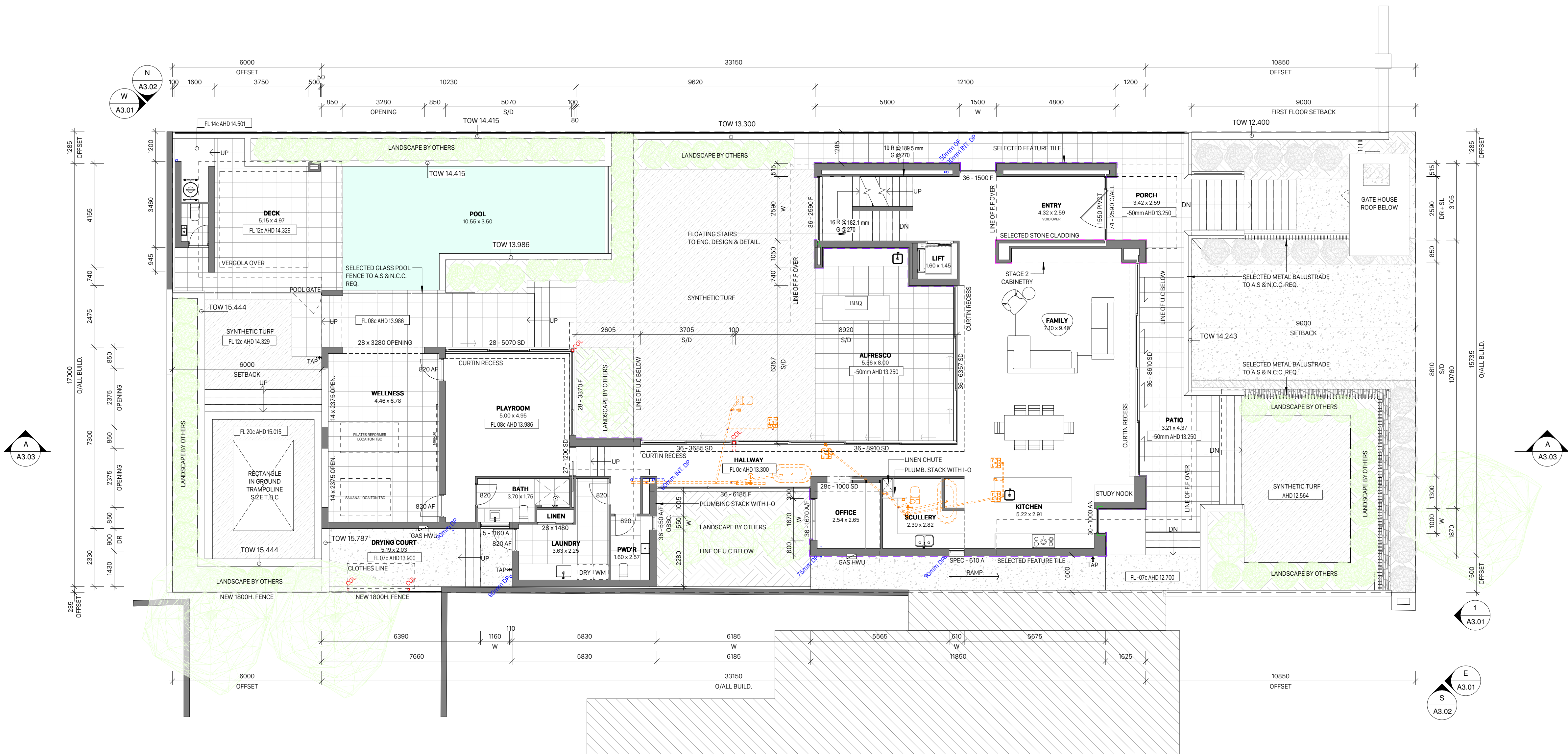
TITLE

U'CROFT FLOOR PLAN



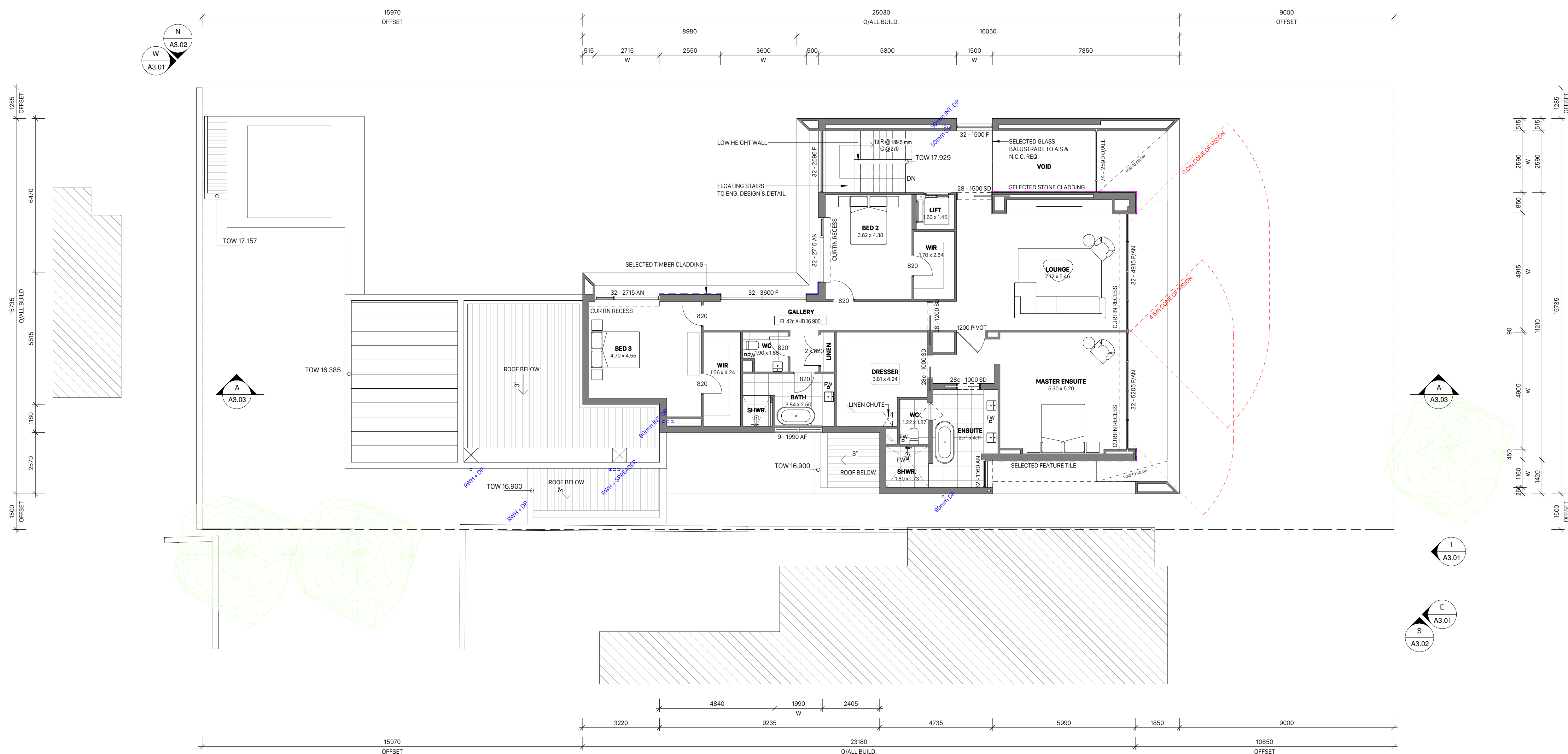
BUILDING AREAS

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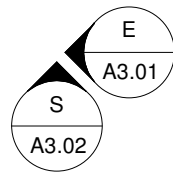
POPE RESIDENCE
Lot 532 #12 Bay View Terrace,
Peppermint Grove

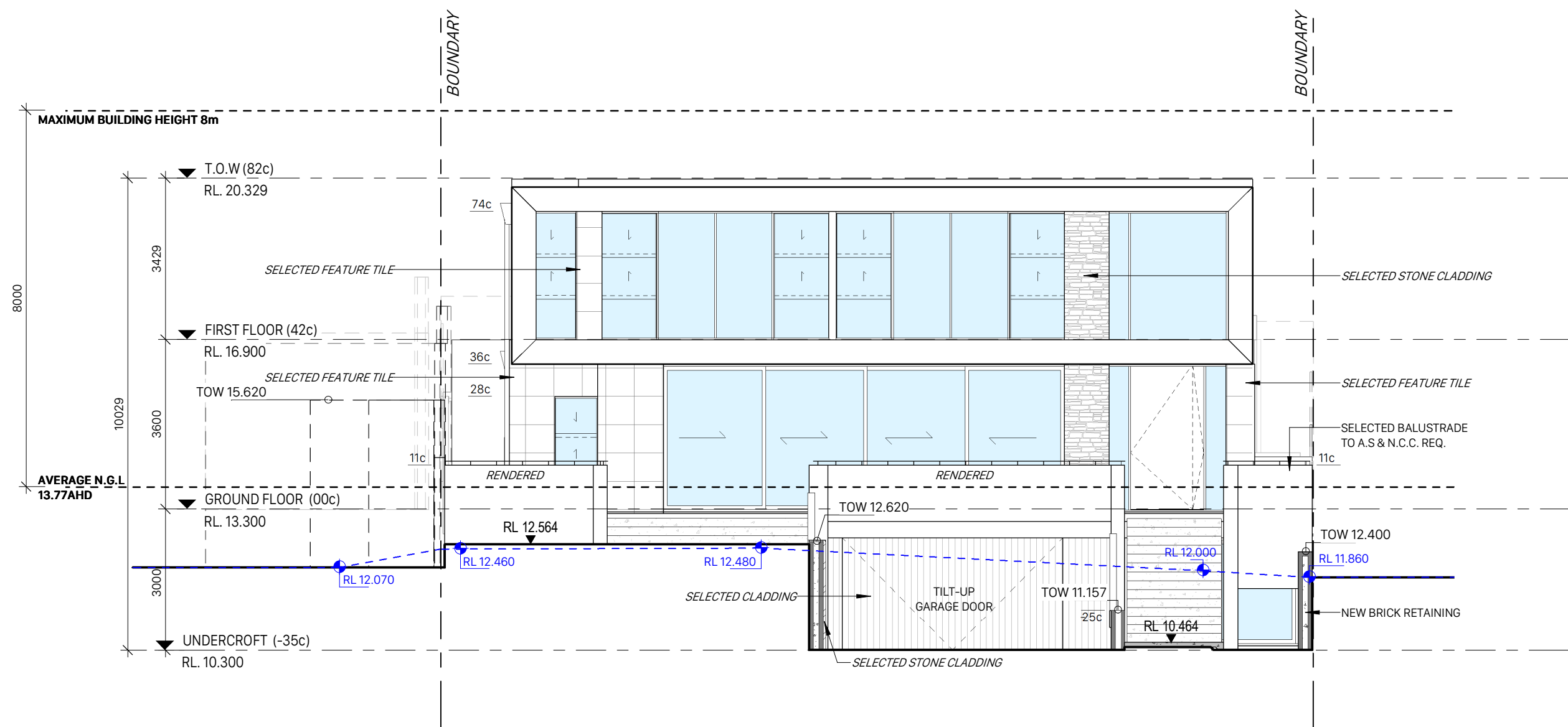
JOB No. 352
DRG No. A2.02
REVISION: A
SCALE: 1:100 @ A1

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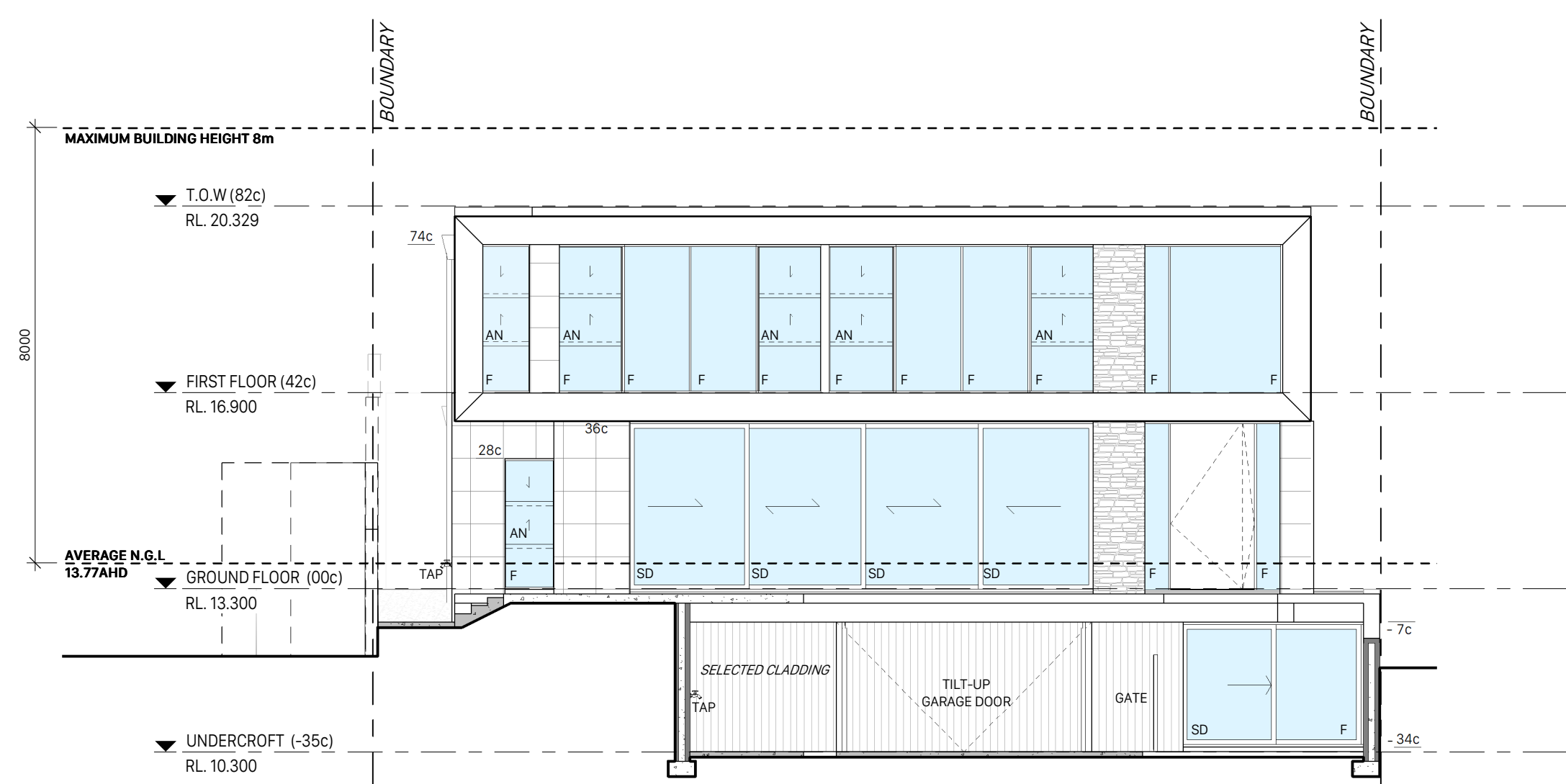
TITLE

FIRST FLOOR PLAN

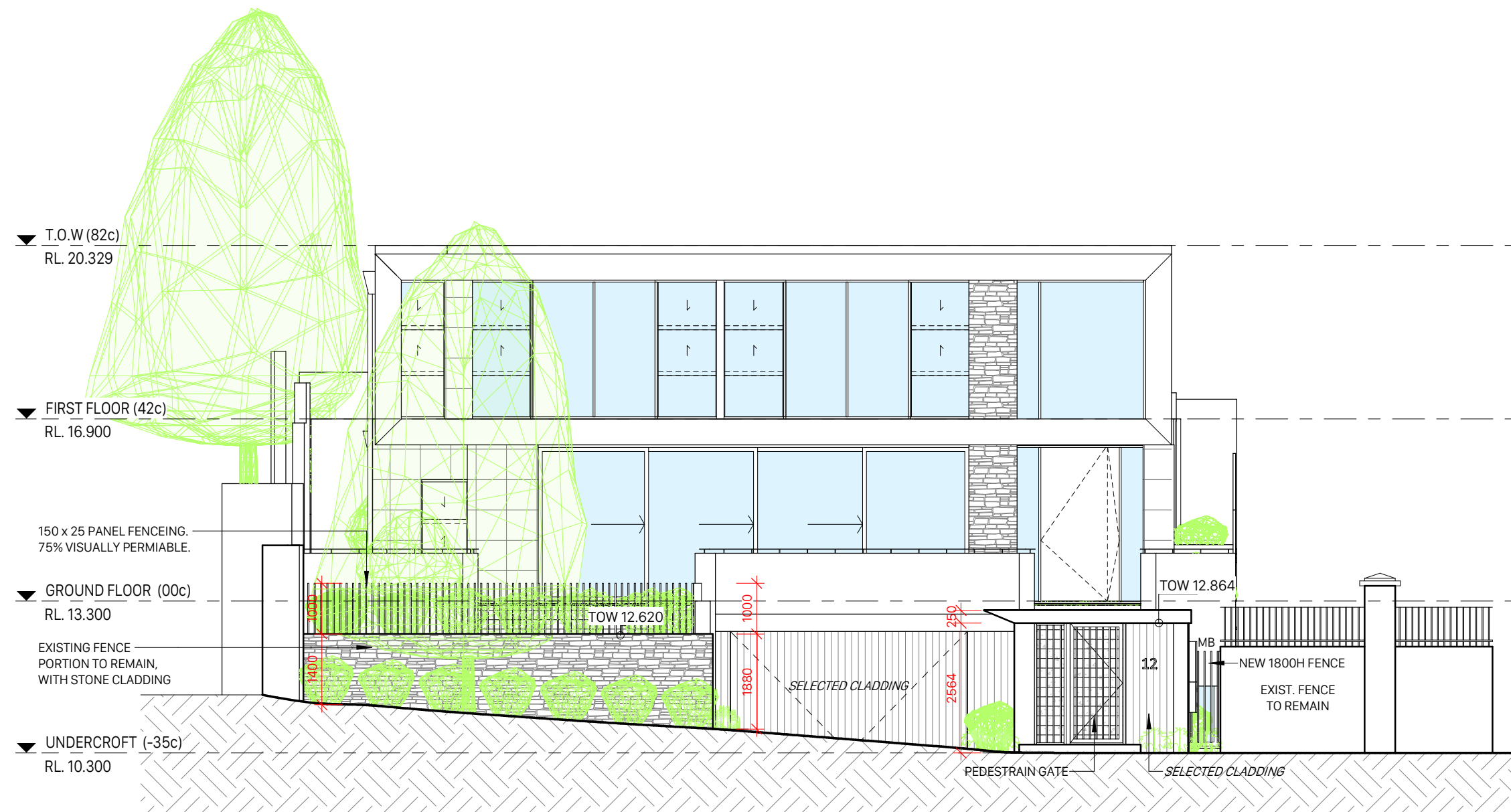




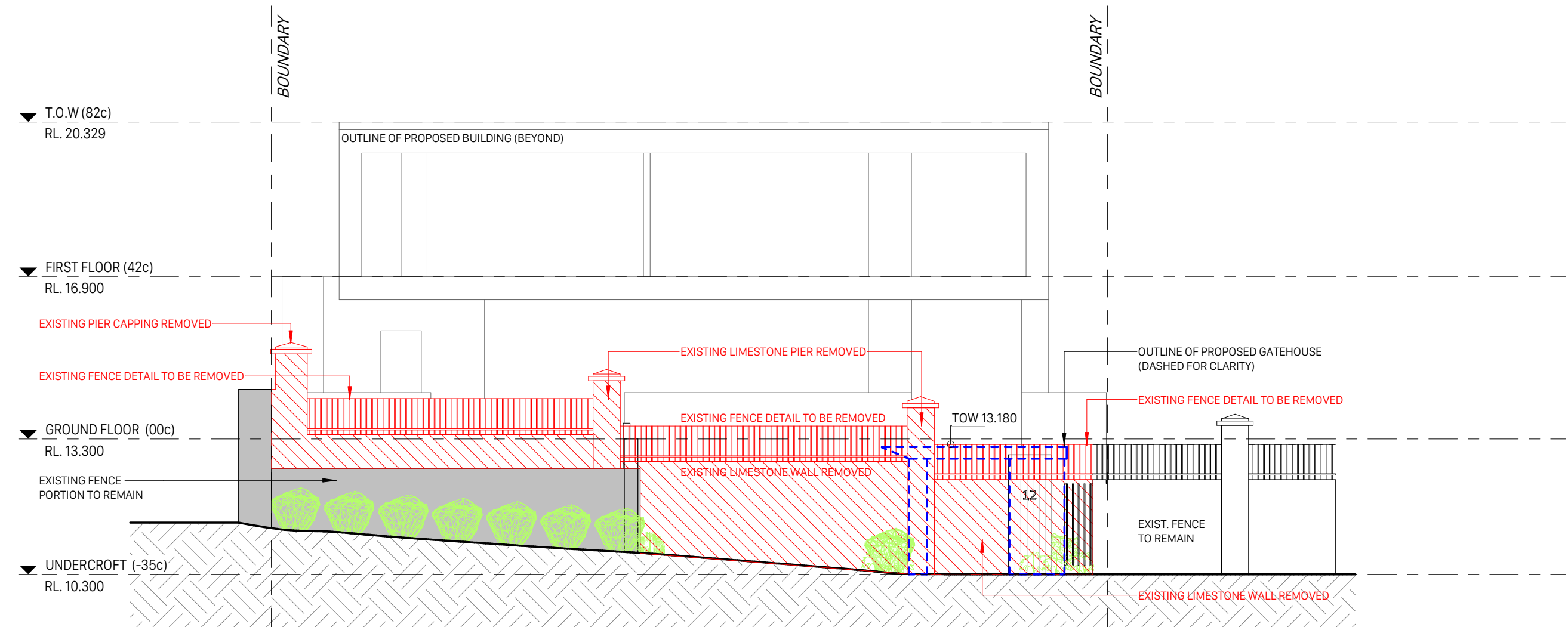
E EAST ELEVATION - THROUGH DRIVEWAY
SCALE 1:100



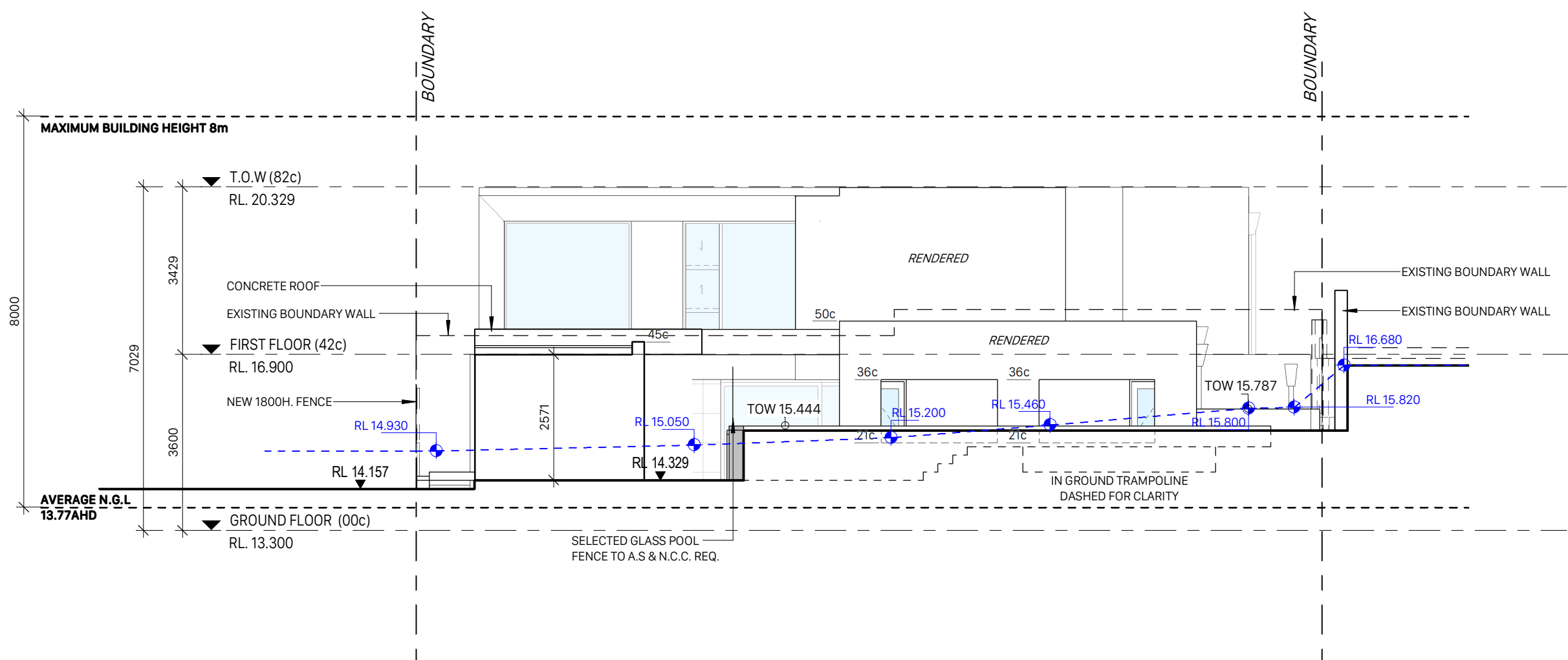
E EAST ELEVATION - THROUGH PATIO
SCALE 1:100



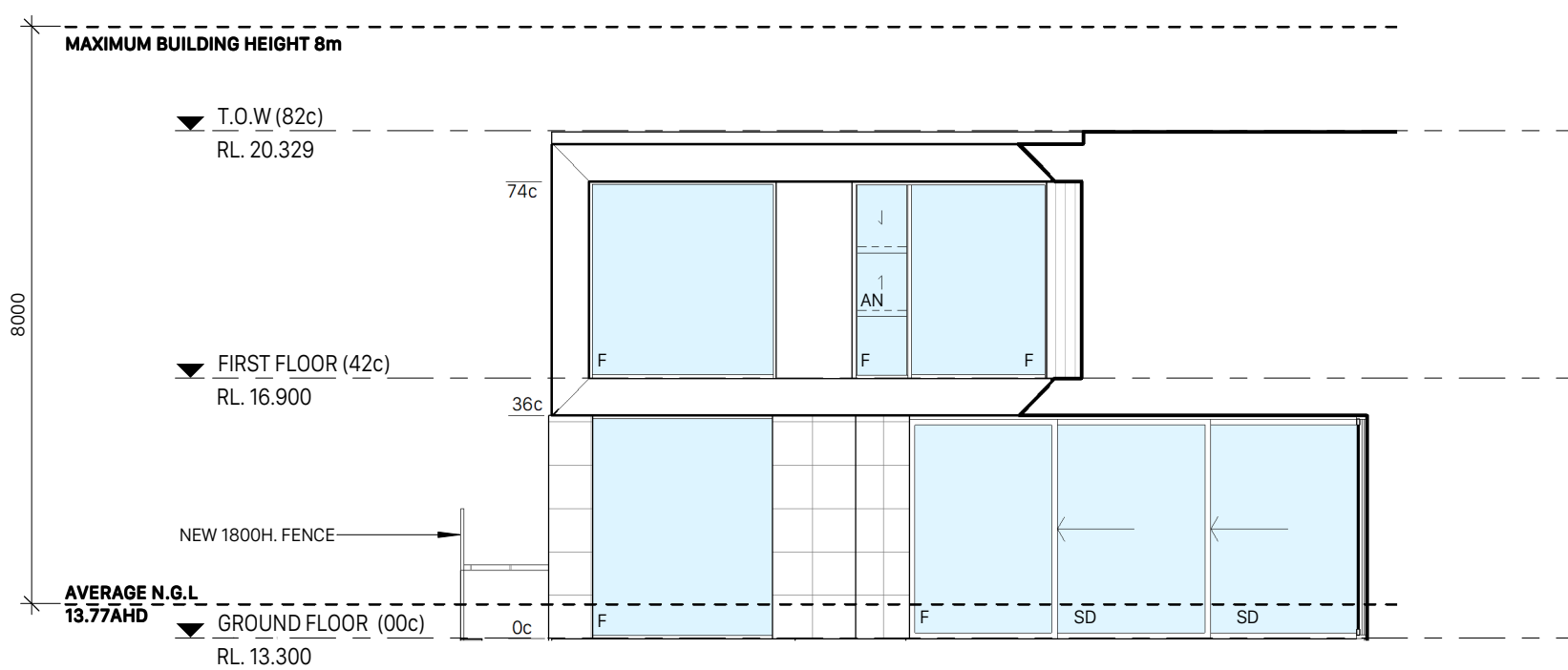
S STREETScape ELEVATION
SCALE 1:100



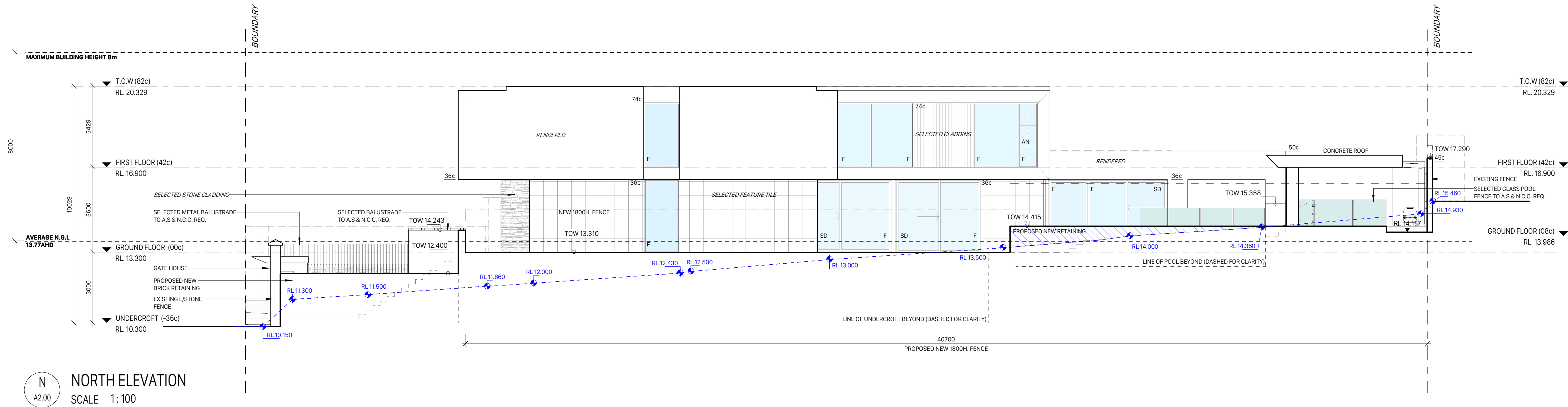
S STREETScape EXISTING FENCE
SCALE 1:100



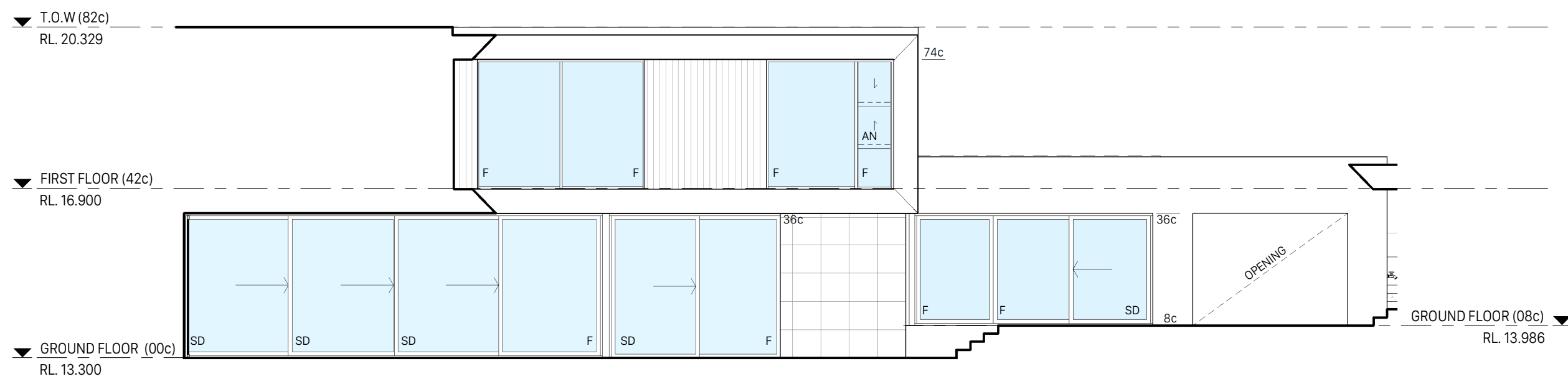
W WEST ELEVATION
SCALE 1:100



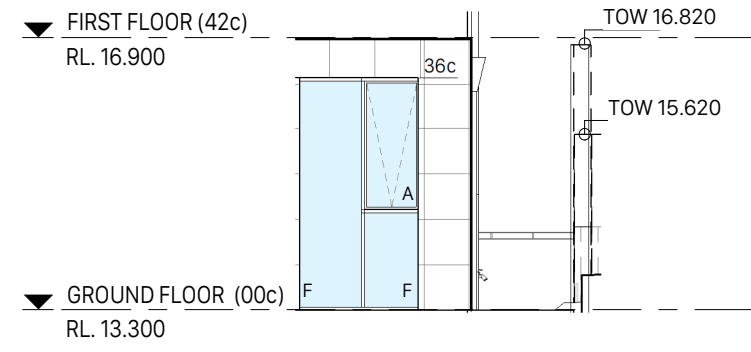
W WEST ELEVATION - THROUGH ALFRESCO
SCALE 1:100



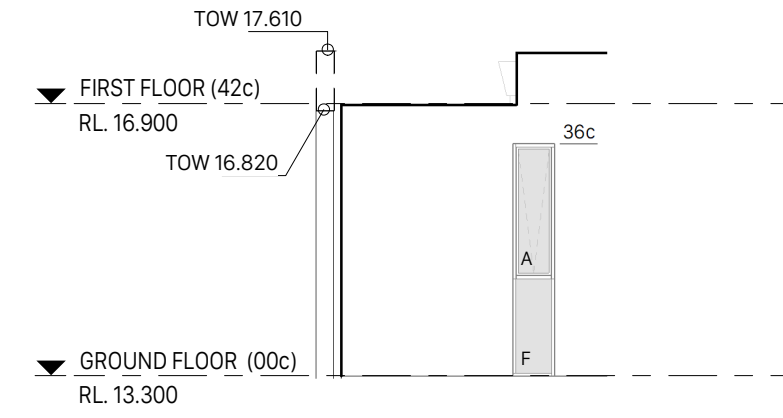
NORTH ELEVATION
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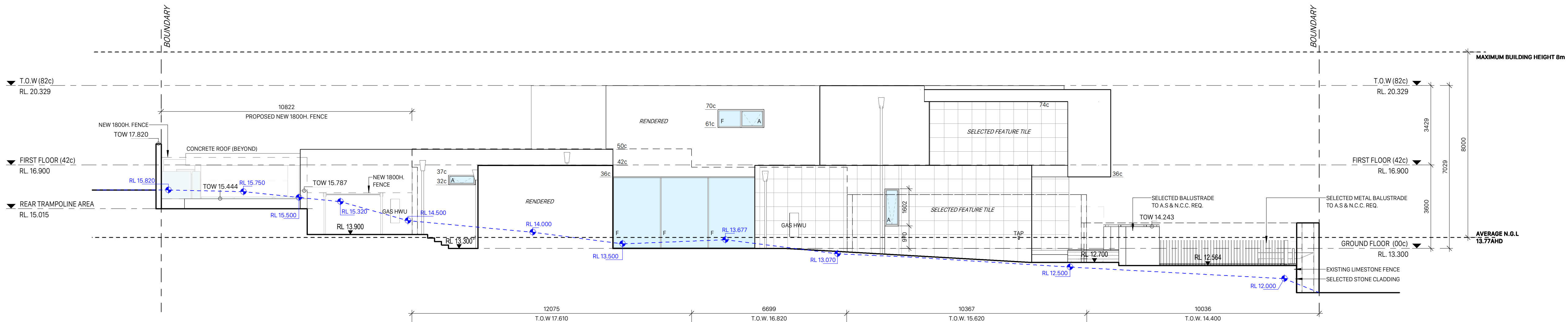
NORTH ELEVATION - THROUGH ALFRESCO
SCALE 1:100



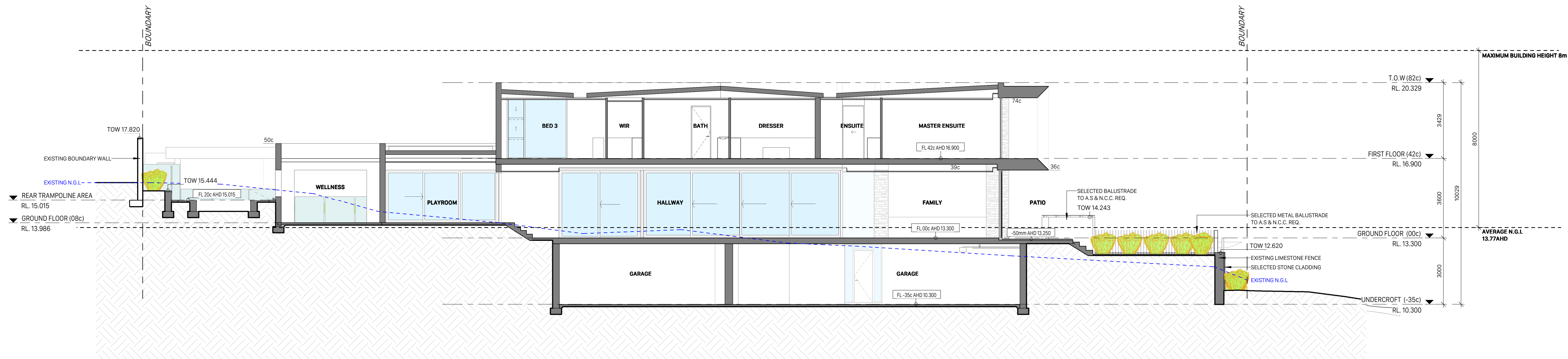
COURT YARD ELEVATION - A
SCALE 1:100



COURT YARD ELEVATION - B
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



A SECTION A
A2.00 SCALE 1:100

3DS FOR ILLUSTRARION PURPOSES ONLY

