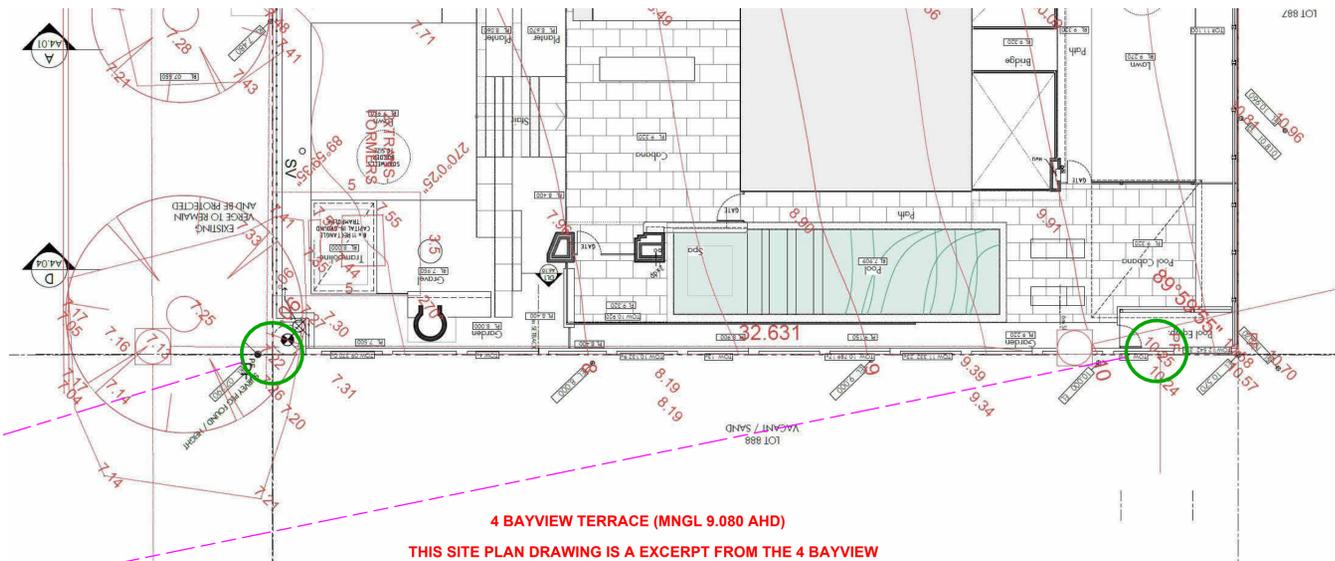
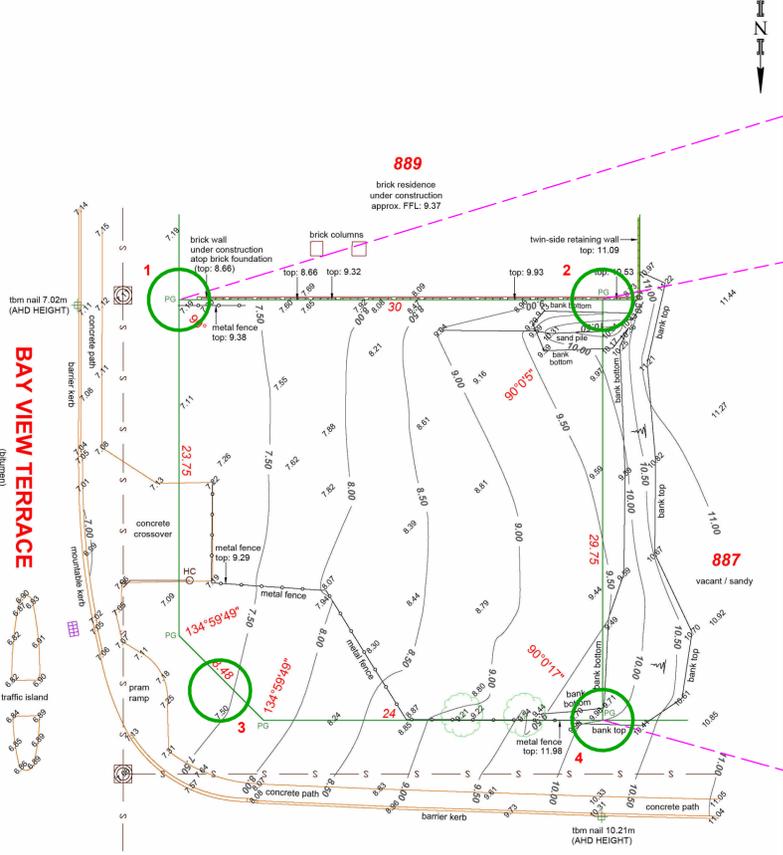


Feature & Contour Survey of: Lot 888, No. 46 Keane Street, Peppermint Grove			REVISION: A SHEET: 1 OF 1
CLIENT:	PLAN: DP 414596	LOT AREA: 875m ²	
BUILDER:	C/T Vol: 2984	Fol: 60	MAP REFERENCE:
BUILDER JOB #	HEIGHT DATUM: AHD		COASTAL ZONE: 0.20 KM River
AUTHORITY: SHIRE OF PEPPERMINT GROVE	HEIGHT CORRECTION TO AHD:		SEWER INFORMATION: YES

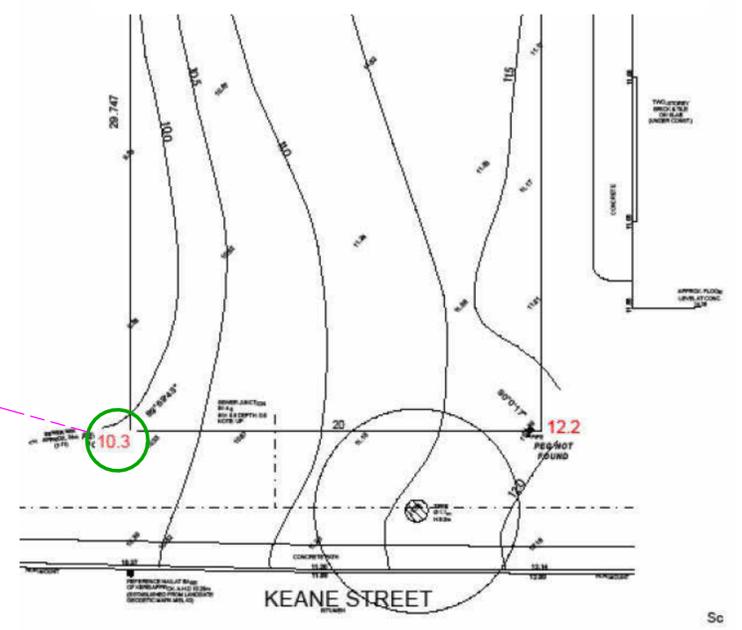
FEATURE SYMBOL LEGEND

POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR
WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER
SEWERAGE	
SEWER MH (SQUARE LID)	SEWER MH (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	HC
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	TELSTRA PILLAR
DRAINAGE	
DRAIN MH (SQUARE LID)	DRAIN MH (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	DRAINAGE MARKER
GAS	
GAS METER	GAS VALVE
GAS MARKER	
SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	LINE
FENCE LINE	WINDOW / OPENING

NOTES
 (1) FOR CLARITY TREE SPREADS ARE NOT SHOWN TO SCALE



4 BAYVIEW TERRACE (MNGL 9.080 AHD)
 THIS SITE PLAN DRAWING IS AN EXCERPT FROM THE 4 BAYVIEW TERRACE BUILDING PERMIT DOCUMENTATION SET. THIS DEPICTS THE SURVEYED LEVELS PRECEDING THE COMMENCEMENT OF BASEMENT EXCAVATIONS AND OVER CUTTING ALONG THE ADJOINING BOUNDARY WHICH HAVE DISRUPTED ACCURATE SITE LEVELS ALONG THE ADJOINING BOUNDARY OF 46 KEANE STREET. THE HIGHLIGHTED LEVELS ARE THE LEVELS APPROVED BY THE SHIRE WHEN CALCULATING THE MNGL FOR THIS PROPERTY.



44 KEANE STREET (MNGL 11.365 AHD)
 THIS IS AN EXCERPT FROM THE 44 KEANE STREET PLANNING APPLICATION. THIS DEPICTS THE SURVEYED LEVELS PRECEDING THE COMMENCEMENT OF BASEMENT EXCAVATIONS AND OVER CUTTING ALONG THE ADJOINING BOUNDARY WHICH HAVE DISRUPTED ACCURATE SITE LEVELS ALONG THE ADJOINING BOUNDARY OF 46 KEANE STREET. THE HIGHLIGHTED LEVELS ARE THE LEVELS APPROVED BY THE SHIRE WHEN CALCULATING THE MNGL FOR THIS PROPERTY.

NOTES:
 Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.
 A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

MEAN NATURAL GROUND LEVEL CALCULATION
 46 KEANE STREET, PEPPERMINT GROVE
 AVERAGE OF 4 CORNERS (AHD LEVELS)
 $7.22 + 10.25 + 7.5 + 10.3 = 35.3 / 4$
 MNGL = 8.82m AHD

1	PLANNING APPLICATION	23.02.26
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Rev Description Date
 SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
FEATURE SURVEY

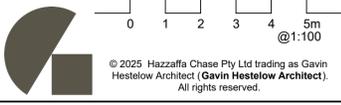
STATUS
DEVELOPMENT APPLICATION

SHEET SIZE: A1	REV. 1
SCALE: 1 : 200	

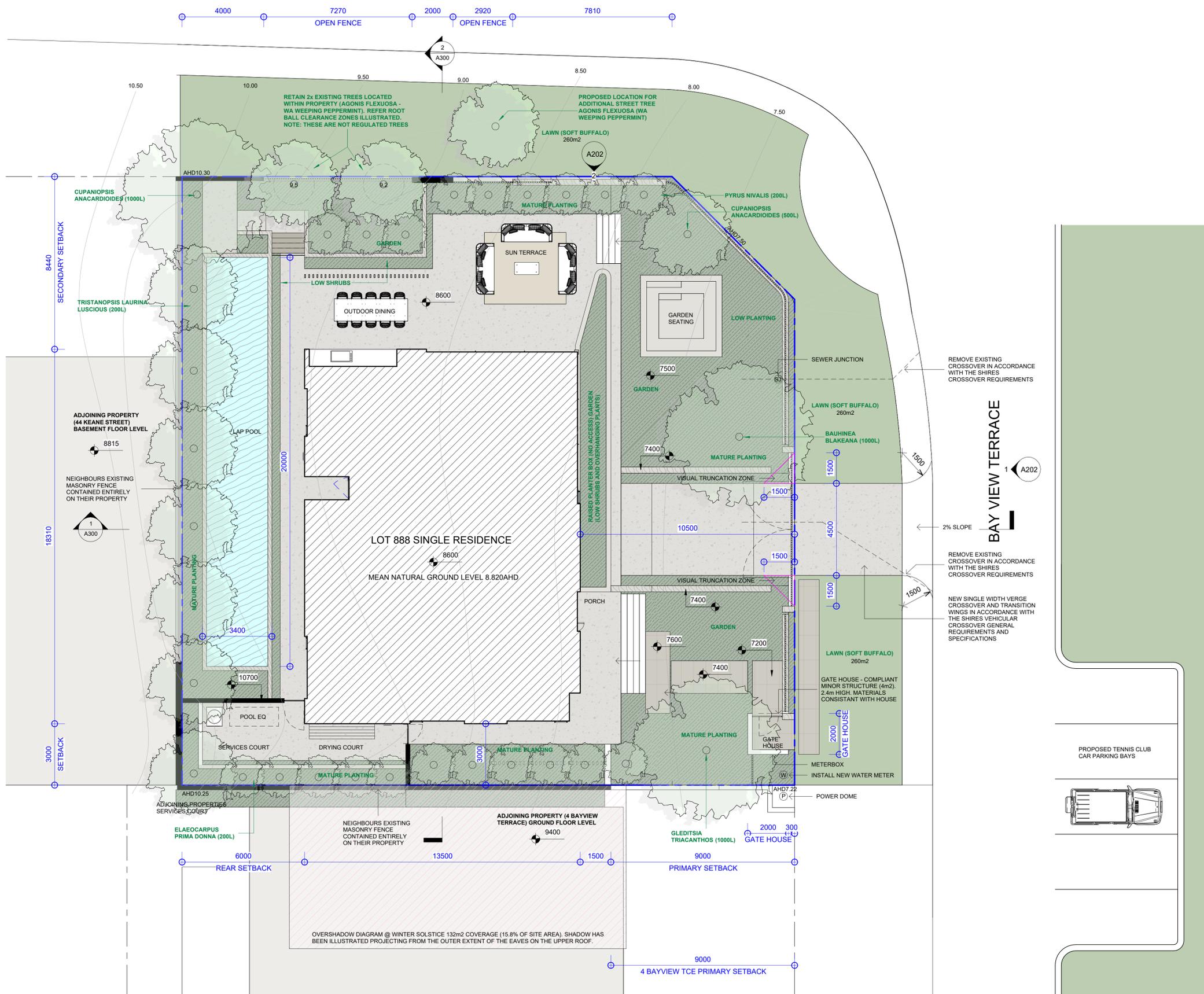
DRAWING NO.
A001

GAVIN HESTELOW ARCHITECT

M: 0423 007 614 E: GAVIN@GHARCHITECT.COM.AU



KEANE STREET



NOTES:
 Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.
 A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

OPEN SPACE CALCULATIONS
COMPLIANT

SITE AREA (m2)	875m2
SITE COVER (m2)	236m2
OPEN SPACE REQUIRED	>60%
OPEN SPACE PROPOSED	73.0%

OVERSHADOWING CALCULATIONS
 (WINTER SOLSTICE JUNE 21 @ 12pm)
COMPLIANT

OVERSHADOWING AREA (m2)	132m2
LOT 889 SITE AREA (m2)	832m2
OVERSHADOW PERMITTED	<25%
OVERSHADOW PROPOSED	15.8%

DEEP SOIL PLANTING AREA TO FRONT SETBACK
COMPLIANT

FRONT SETBACK AREA (m2)	250m2
IMPERVIOUS SURFACE AREA (m2)	84m2
DEEP SOIL PLANTING AREA REQUIRED (%)	>50%
DEEP SOIL PLANTING AREA PROPOSED (%)	66.4%

DEEP SOIL PLANTING AREA WITHIN WHOLE SITE
COMPLIANT

SITE AREA (m2)	875m2
DEEP SOIL LANDSCAPE COVER (m2)	310m2
DEEP SOIL PLANTING AREA REQUIRED (%)	>20%
DEEP SOIL PLANTING AREA PROPOSED (%)	35.4%

BUSHFIRE ATTACK LEVEL (BAL)
COMPLIANT

THIS SITE IS NOT CURRENTLY DESIGNATED AS BUSH FIRE PRONE (AS PER DFES) SITE AREA IS ALSO <1100m2

VEHICULAR CROSSOVER
COMPLIANT

PROPOSED SINGLE WIDTH VERGE CROSSOVER IS 15% OF THE SITE WIDTH.
 85% OF THE SITES WIDTH IS AVAILABLE FOR SOFT LANDSCAPING (>50% REQUIRED)

MATURE TREE SELECTIONS

THE NOMINATED MATURE TREE SELECTIONS HAVE BEEN PROPOSED IN CONSULTATION WITH LANDSCAPE ARCHITECT, TRISTAN PIERCE.

1	PLANNING APPLICATION	23.02.26
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Rev Description Date

SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
SITE + LANDSCAPE PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET SIZE: **A1** REV. **1**

SCALE: **1 : 100**

DRAWING NO.
A100

GAVIN HESTELOW ARCHITECT

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NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.

A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

SOAKWELL CALCULATIONS
COMPLIANT

SOAKWELLS HAVE BEEN CALCULATED USING THE SHIRES REQUIREMENTS FOR ON-SITE STORMWATER DRAINAGE LOCATED ON THE SHIRE WEBSITE. SOAKWELLS PROPOSED EXCEED THE CAPACITY SUGGESTED TO ENSURE REDUNDANCY IS BUILT IN FOR FUTURE UNEXPECTED STORM ACTIVITIES

1	PLANNING APPLICATION	23.02.26
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Rev	Description	Date
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SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
BASEMENT FLOOR PLAN

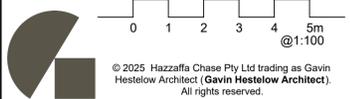
STATUS
DEVELOPMENT APPLICATION

SHEET SIZE:	A1	REV.
SCALE:	1 : 100	1

DRAWING NO.
A101

GAVIN HESTELOW ARCHITECT

M: 0423 007 614 E: GAVIN@GHARCHITECT.COM.AU



NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022

A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).



1	PLANNING APPLICATION	23.02.26
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Rev	Description	Date
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SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
GROUND FLOOR PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET SIZE: A1	REV. 1
SCALE: 1:100	

DRAWING NO.
A102

GAVIN HESTELOW ARCHITECT

M: 0423 007 614 E: GAVIN@GHARCHITECT.COM.AU

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NOTES:
 Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.

A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

1	PLANNING APPLICATION	23.02.26
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Rev	Description	Date
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SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
UPPER FLOOR PLAN

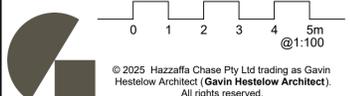
STATUS
DEVELOPMENT APPLICATION

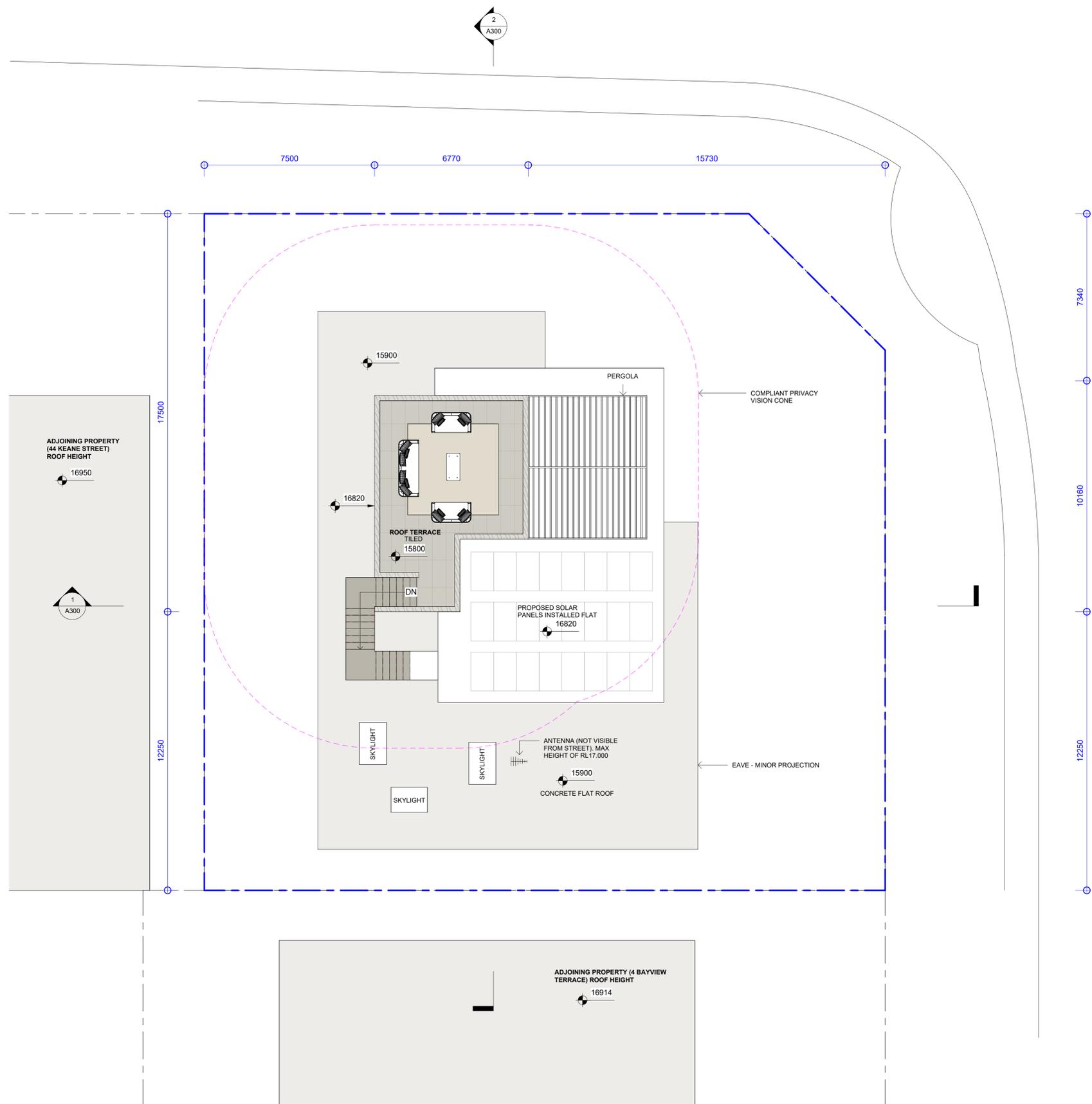
SHEET SIZE:	A1	REV.	
SCALE:	1 : 100		1

DRAWING NO.
A103

GAVIN HESTELOW ARCHITECT

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NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.

A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

1	PLANNING APPLICATION	23.02.26
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Rev	Description	Date
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SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET

ROOF PLAN

STATUS

DEVELOPMENT APPLICATION

SHEET SIZE: **A1** REV. **1**

SCALE: **1 : 100**

DRAWING NO. **A104**

GAVIN HESTELOW ARCHITECT

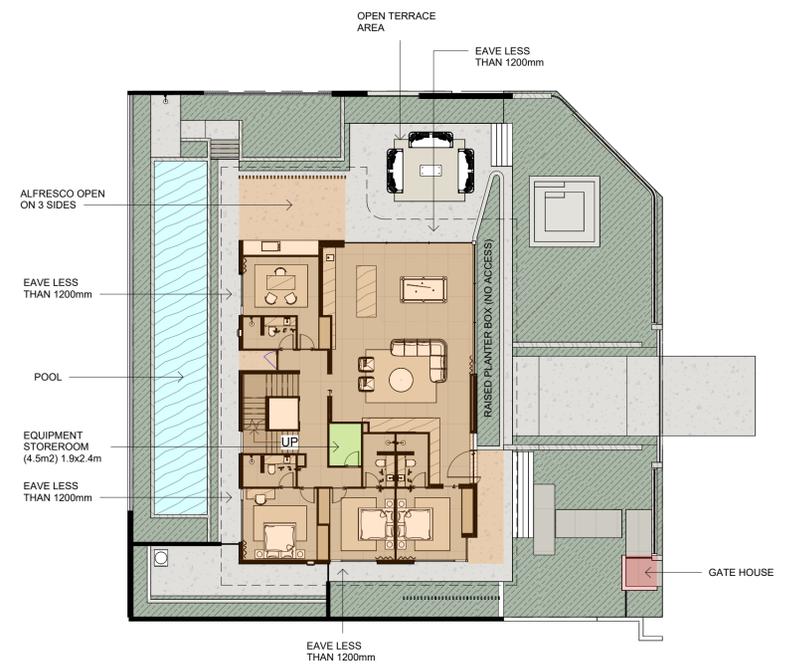
M: 0423 007 614 E: GAVIN@GHARCHITECT.COM.AU



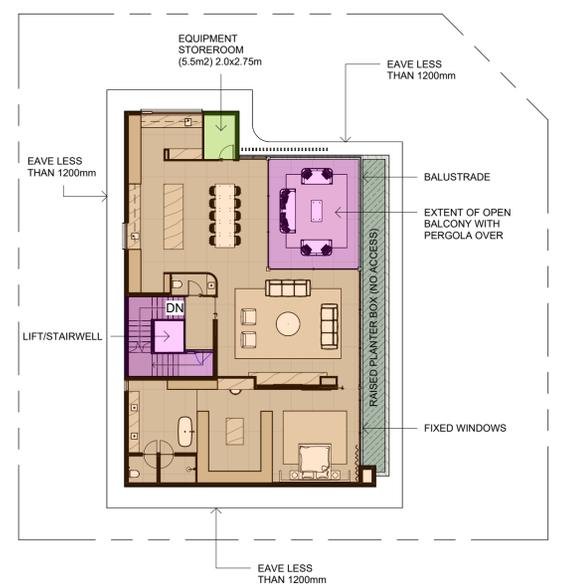
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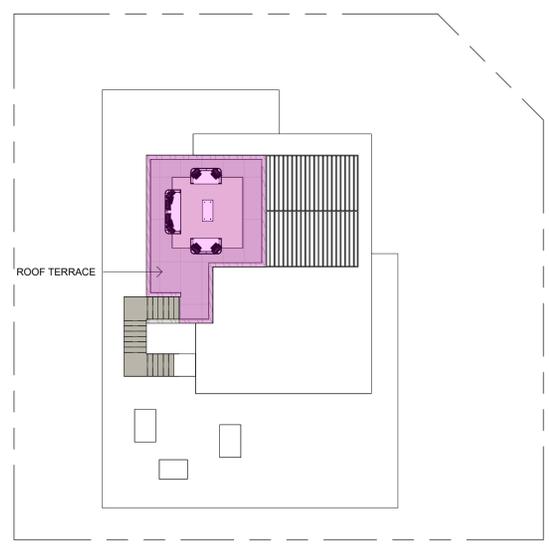
1 01 BASEMENT - PR
1 : 200



2 02 GROUND - PR
1 : 200



3 03 UPPER - PR
1 : 200



4 04 ROOF - PR
1 : 200

NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022

A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

PLOT RATIO COMPLIANT	
SITE AREA (m2)	875m2
PLOT RATIO PERMITTED 0.5	437.5m2
BASEMENT FLOOR AREA (ABOVE NGL)	
BASEMENT FLOOR AREA	41m2
GATE HOUSE	273.25m2
UPPER FLOOR AREA	4m2
DEDUCTIONS	
(UPPER FLOOR STAIRWELL / LIFT)	-18.25m2
(MACHINERY + EQ ROOMS - UP TO 10m2)	-10m2
(ROOFED STRUCTURES - 5%)	- 43.75m3
(GARAGES + CARPORTS - 5%)	- 43.75m3
PLOT RATIO AREA PROPOSED	435.95m2
EXCLUSIONS	
BALCONY WITH PERGOLA	
ROOFTOP TERRACE	
BASEMENT (PORTION ENTIRELY BELOW NGL)	
UNDER EAVES <1200mm	

1	PLANNING APPLICATION	23.02.26
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Rev Description Date

SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET

PLOT RATIO

STATUS

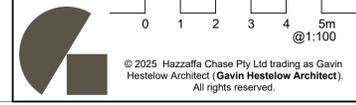
DEVELOPMENT APPLICATION

SHEET SIZE: A1	REV. 1
SCALE: 1 : 200	

DRAWING NO. **A105**

GAVIN HESTELOW ARCHITECT

M: 0423 007 614 E: GAVIN@GHARCHITECT.COM.AU

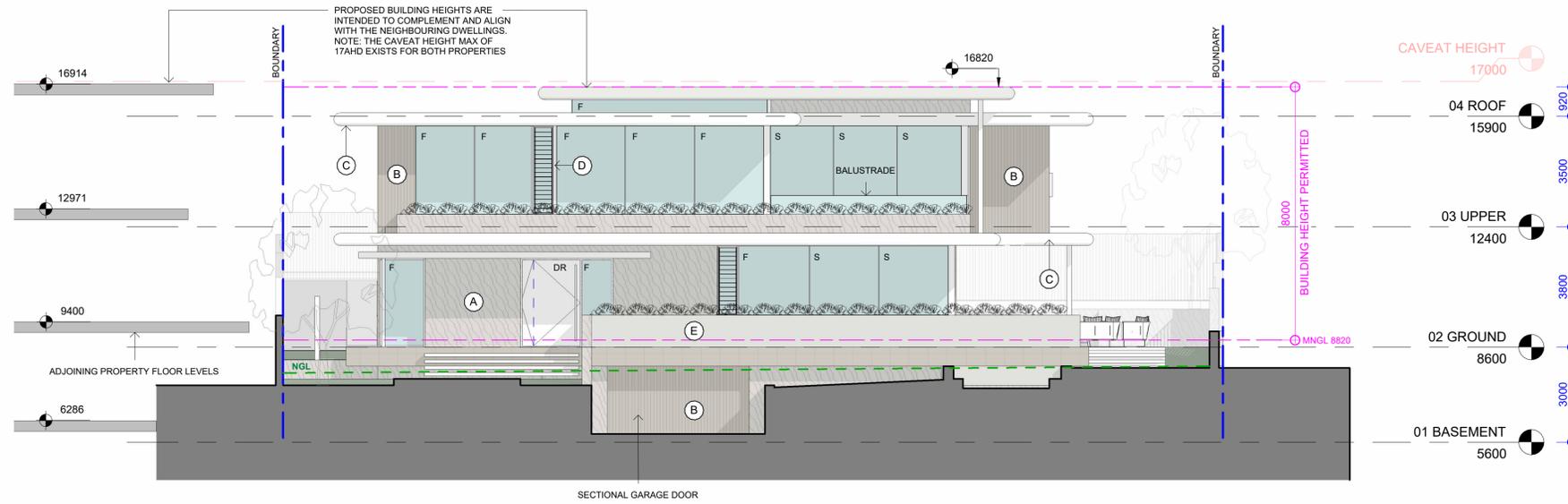


NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.

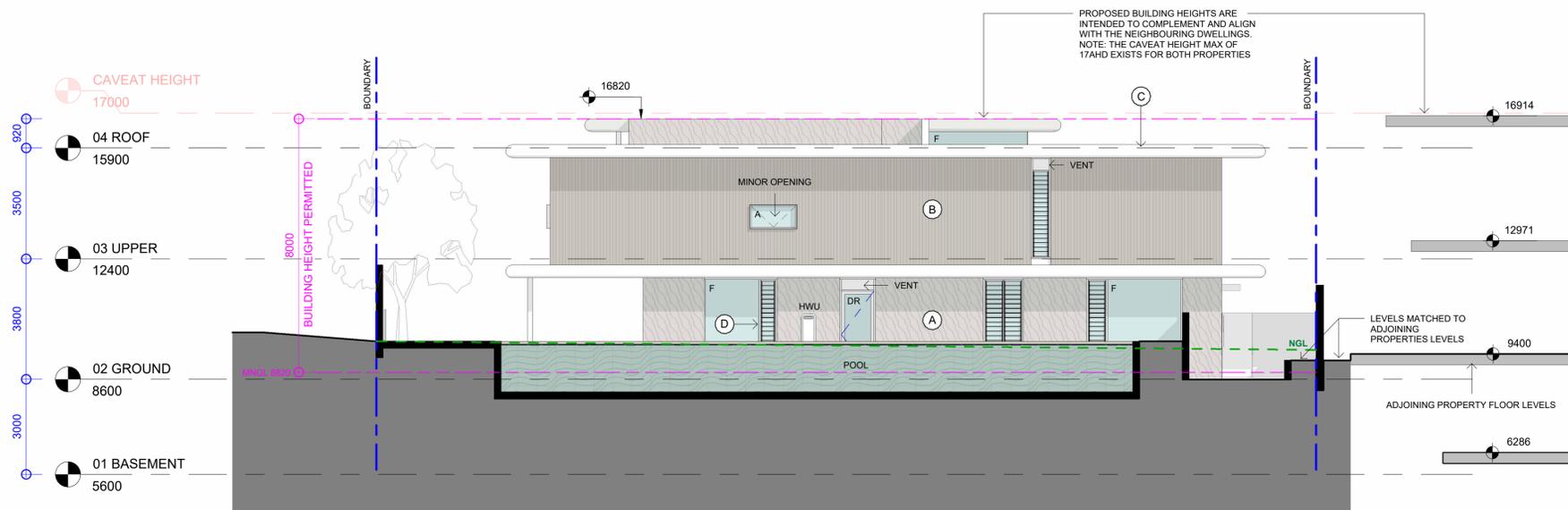
A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

EXTERNAL MATERIALS LEGEND (NEUTRAL PALETTE)

- (A) OFF WHITE CONCRETE
- (B) LIGHT OAK TIMBER BATTEN CLADDING
- (C) SOFT WHITE ACRYLIC TEXTURE COATING
- (D) CHAMPAGNE ALUMINIUM POWDERCOATING
- (E) LIGHT GREY/BEIGE POLISHED PLASTER



1 EASTERN ELEVATION
1 : 100



2 WESTERN ELEVATION
1 : 100

1	PLANNING APPLICATION	23.02.26
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Rev Description Date
SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
ELEVATIONS

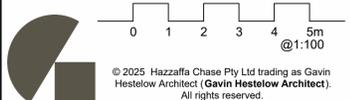
STATUS
DEVELOPMENT APPLICATION

SHEET SIZE: A1	REV. 1
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DRAWING NO. **A200**

GAVIN HESTELOW ARCHITECT

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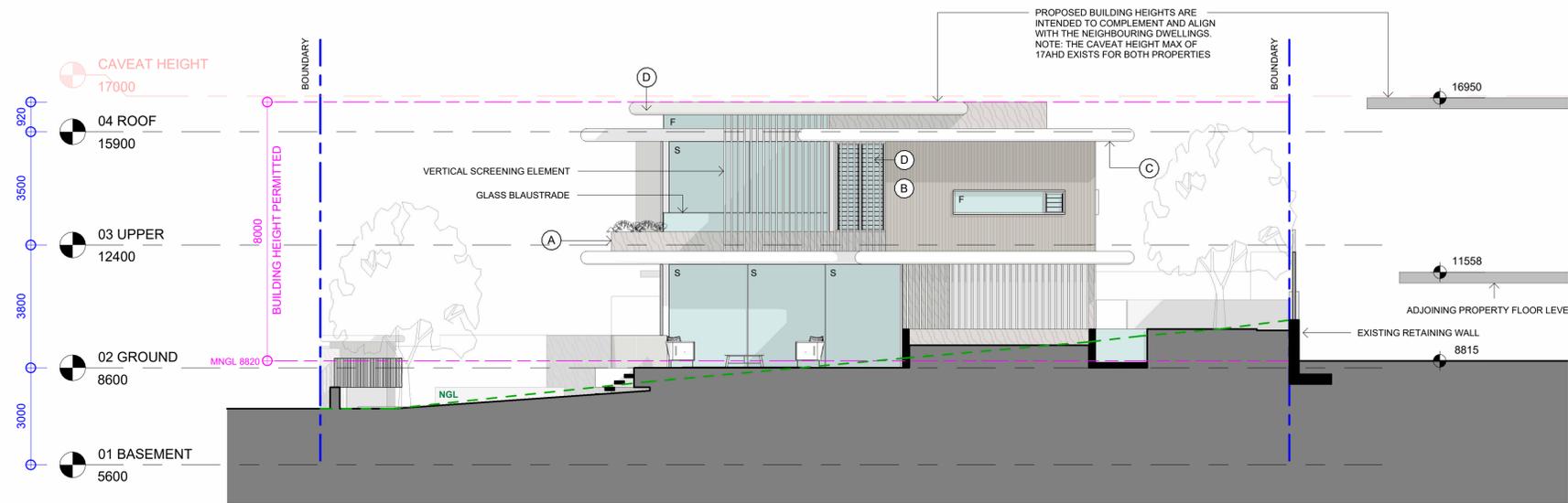


NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.

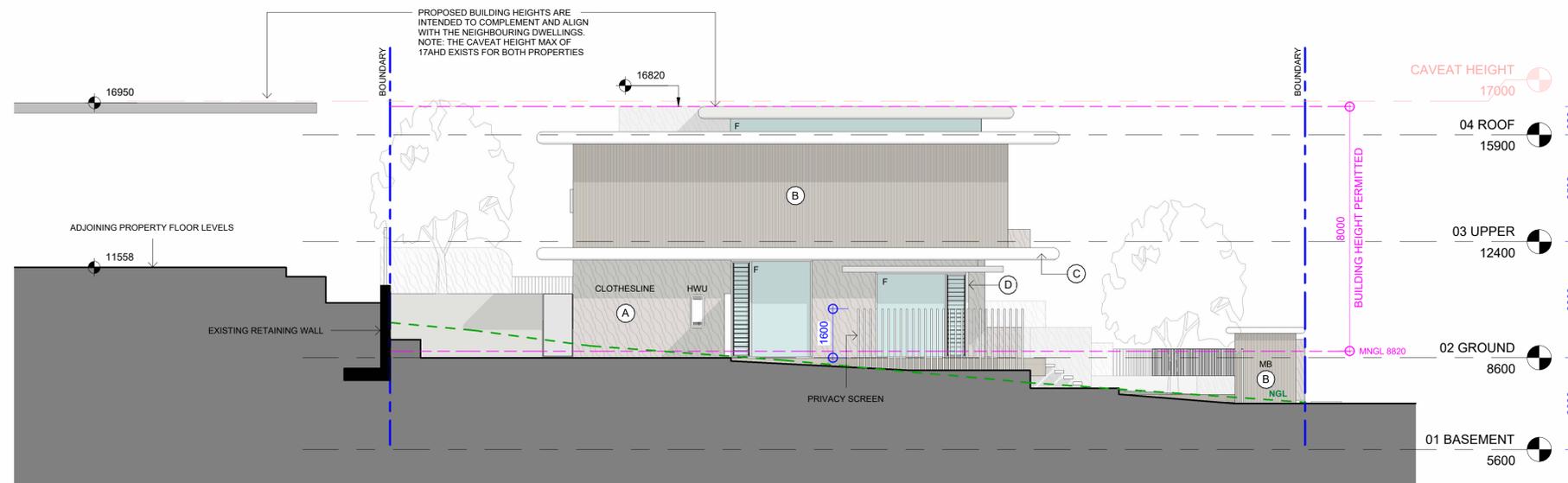
A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

EXTERNAL MATERIALS LEGEND (NEUTRAL PALETTE)

- (A) OFF WHITE CONCRETE
- (B) LIGHT OAK TIMBER BATTEN CLADDING
- (C) SOFT WHITE ACRYLIC TEXTURE COATING
- (D) CHAMPAGNE ALUMINIUM POWDERCOATING
- (E) LIGHT GREY/BEIGE POLISHED PLASTER



1 NORTHERN ELEVATION
1:100



2 SOUTHERN ELEVATION
1:100

1	PLANNING APPLICATION	23.02.26
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Rev Description Date
SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
ELEVATIONS

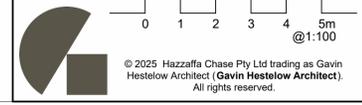
STATUS
DEVELOPMENT APPLICATION

SHEET SIZE:	A1	REV.
SCALE:	1:100	1

DRAWING NO.
A201

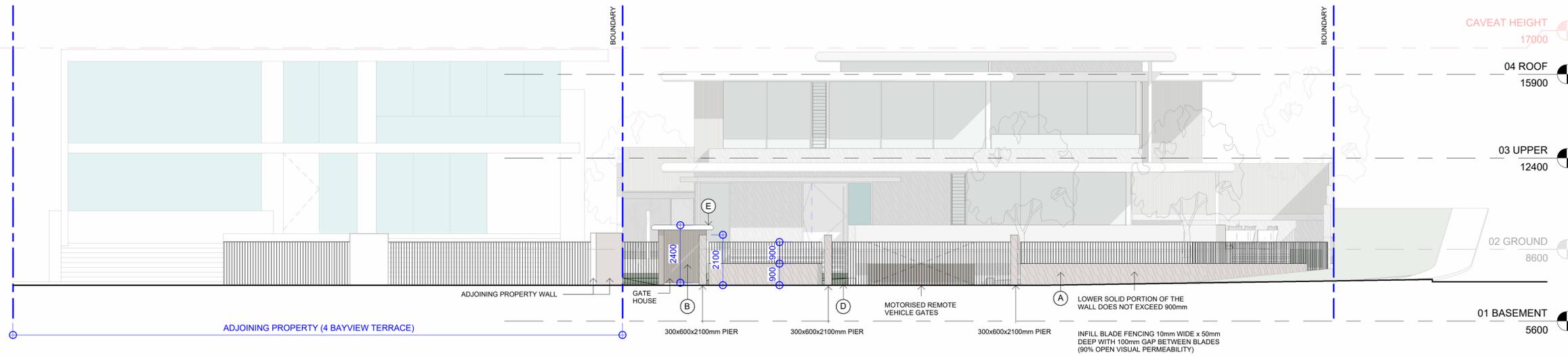
GAVIN HESTELOW ARCHITECT

M: 0423 007 614 E: GAVIN@GHARCHITECT.COM.AU



NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.

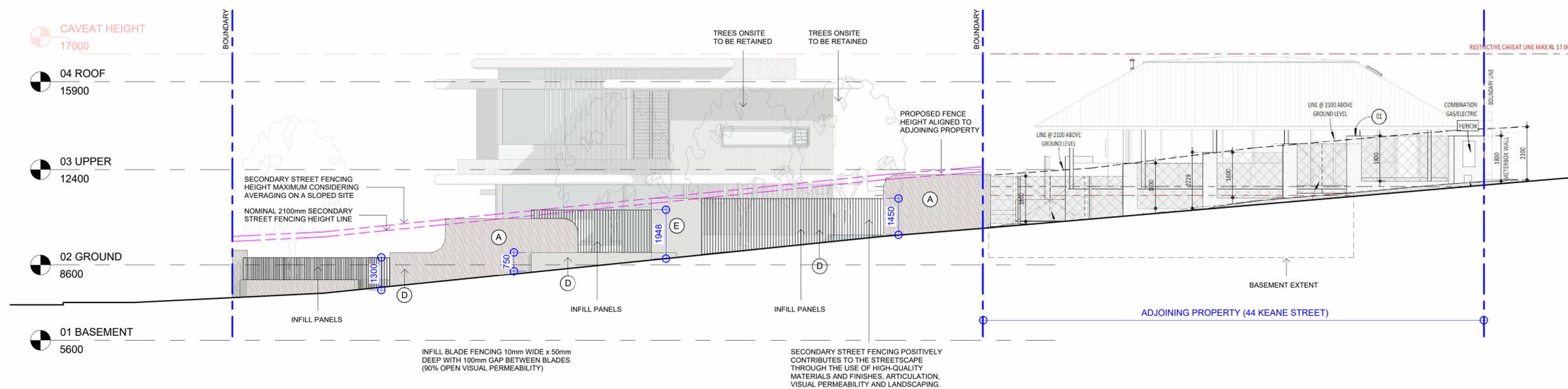
A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).



EXTERNAL MATERIALS LEGEND (NEUTRAL PALETTE)

- (A) OFF WHITE CONCRETE
- (B) LIGHT OAK TIMBER BATTEN CLADDING
- (C) SOFT WHITE ACRYLIC TEXTURE COATING
- (D) CHAMPAGNE ALUMINIUM POWDERCOATING
- (E) LIGHT GREY/BEIGE POLISHED PLASTER

1 BAY VIEW TERRACE FENCING ELEVATION (PRIMARY)
1 : 100



2 KEANE STREET FENCING ELEVATION (SECONDARY)
1 : 100

1	PLANNING APPLICATION	23.02.26
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Rev	Description	Date
1	PLANNING APPLICATION	23.02.26

SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
STREET FENCING ELEVATIONS

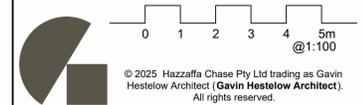
STATUS
DEVELOPMENT APPLICATION

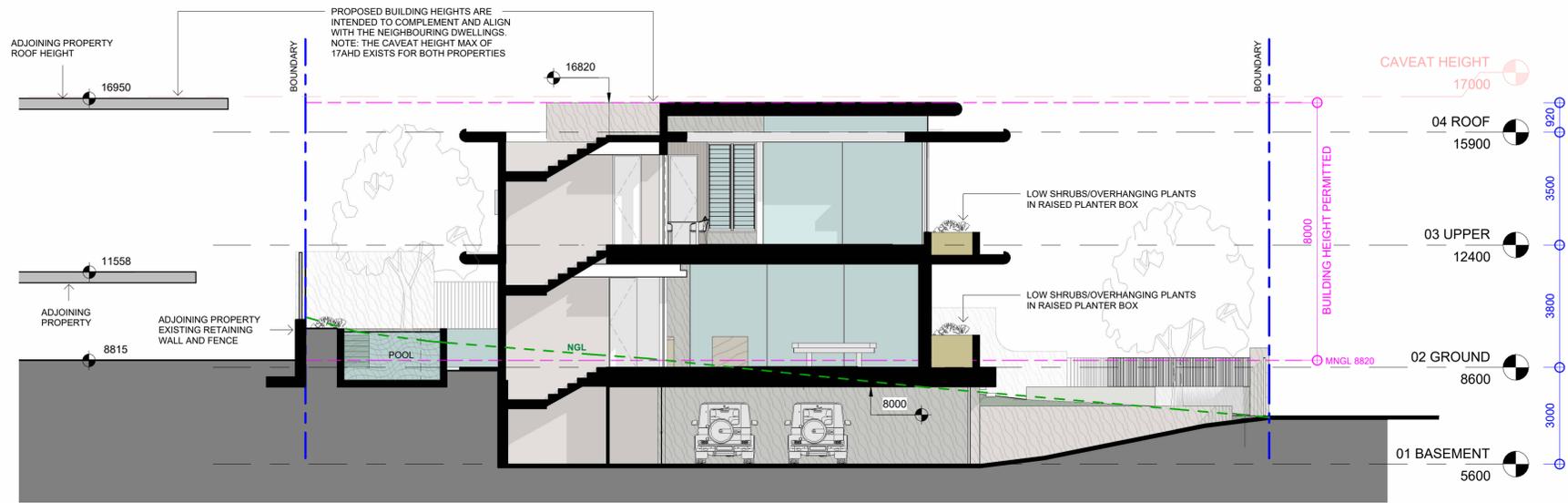
SHEET SIZE:	A1	REV.
SCALE:	1 : 100	1

DRAWING NO.
A202

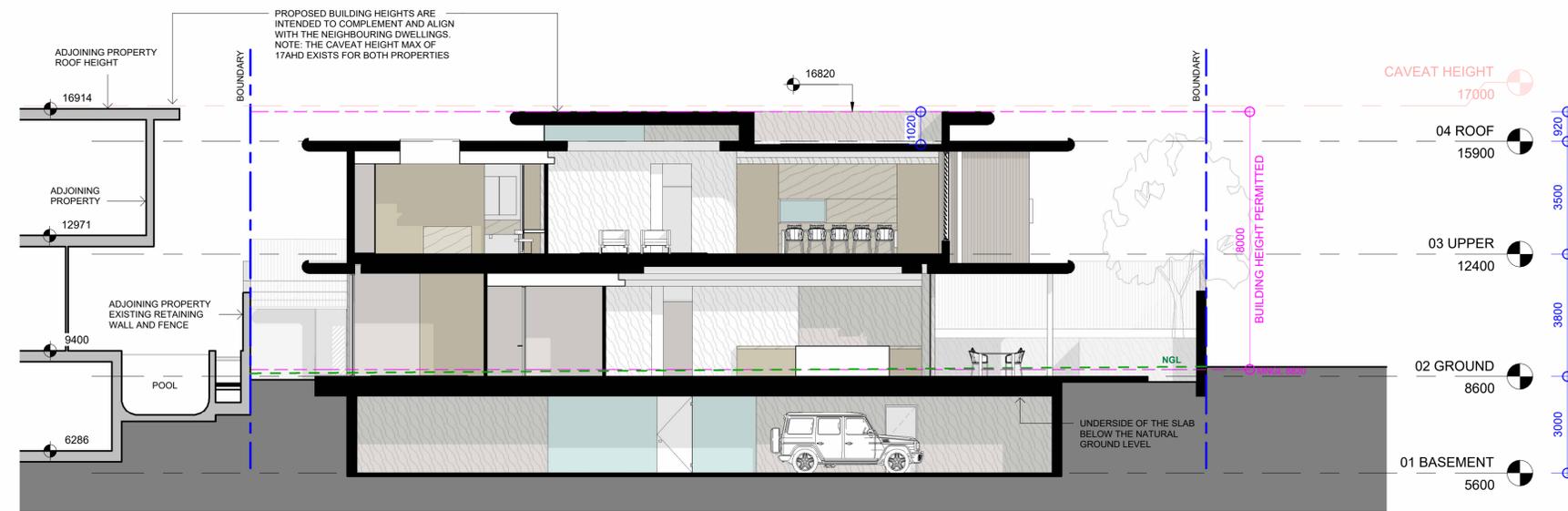
GAVIN HESTELOW ARCHITECT

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1 SECTION A
1 : 100



2 SECTION B
1 : 100

NOTES:
Floor wastes within wet areas require a minimum fall of 1:80 as per NCC 2022.

A vertical upward termination height must be maintained between the external floor level and internal floor level in accordance with the sites wind class (N rating).

Rev	Description	Date
1	PLANNING APPLICATION	23.02.26

SITE
46 KEANE STREET, PEPPERMINT GROVE

SHEET
SECTIONS

STATUS
DEVELOPMENT APPLICATION

SHEET SIZE: A1	REV. 1
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DRAWING NO.
A300

GAVIN HESTELOW ARCHITECT

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