

SITE AREA (m²)	756.00
GRANO	AREA
NEW ADDITION	80.0
EXISTING + ALTERATION	226.0
DECKING	16.0
EXPOSEED AGGREGATE DRIVEWAY	98.0

NO SEWER INFORMATION AVAILABLE

DOWNPIPES
ROOF AREA = 410.0m²

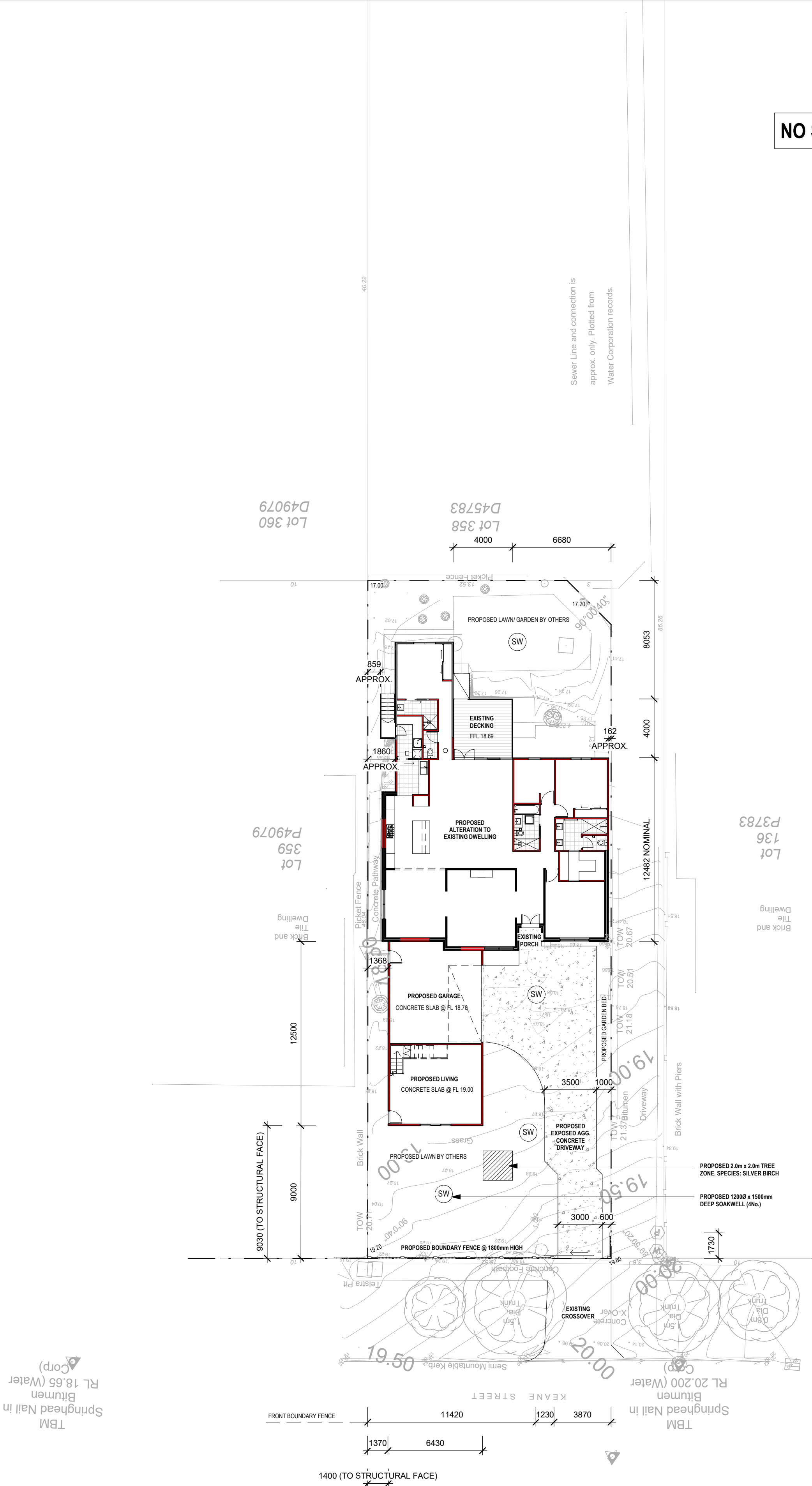
NOTE:
ALL DOWNPIPES TO CONNECT TO SOAKWELLS WITH PVC
STORMWATER PIPES TO PLUMBER'S OR BUILDER'S REQUIREMENT.

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS.
SOAKWELLS TO HAVE TRAFFICABLE LIDS AND ARE
POSITIONED AT THE PLUMBER'S OR BUILDER'S DISCRETION.

ZONED - R12.5
SITE COVER CALC'S
306.00m² / 756.00m² = 40.50%

SETBACK NOTE:
ALL SETBACK DIMENSIONS ARE TO THE FACE OF
EXTERNAL CLADDING OR FINISHES U.N.O

SOAKWELL CALC.	
TYPE	1200x1500 DEEP (1.7m² EA)
QUANTITY	4No.
TOTAL CAPACITY	6.8m³
ROOF AREA	410.0 m²
IMPERVIOUS AREA	97.7m²
TOTAL AREA	507.7m²
CAPACITY REQUIRED m³ (AREA x 0.0125)	6.35m³



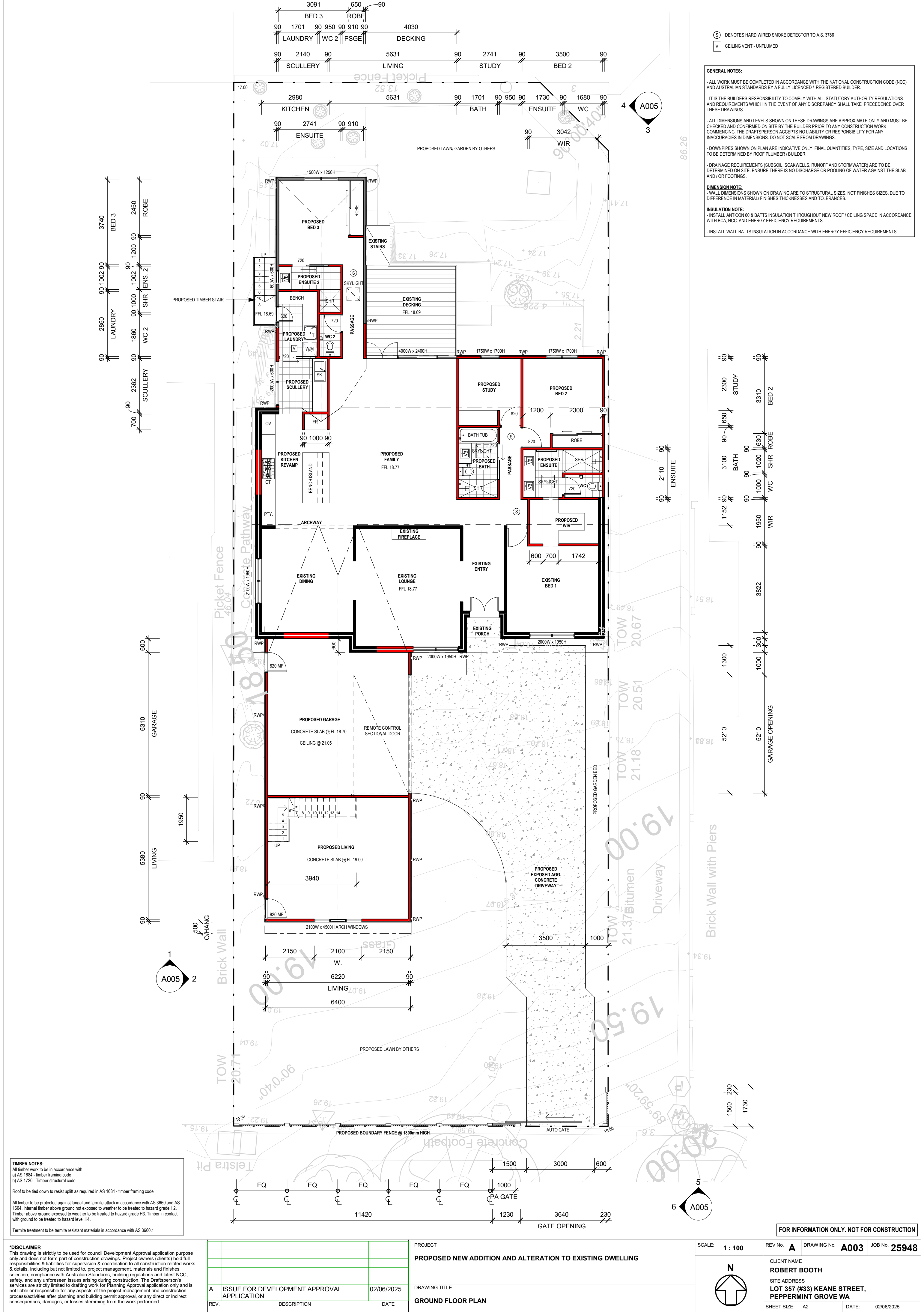
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***DISCLAIMER**
This drawing is strictly to be used for council Development Approval application purpose only and does not form part of construction drawings. Project owners (clients) hold full responsibilities & liabilities for supervision & coordination to all construction related works & details, including but not limited to, project management, materials and finishes selection, compliance with Australian Standards, building regulations and latest NCC, safety, and any unforeseen issues arising during construction. The Draftsperson's services are strictly limited to drafting work for Planning Approval application only and is not liable or responsible for any aspects of the project management and construction process/activities after planning and building permit approval, or any direct or indirect consequences, damages, or losses stemming from the work performed.

A	ISSUE FOR DEVELOPMENT APPROVAL APPLICATION	02/06/2025
REV.	DESCRIPTION	DATE

PROJECT	PROPOSED NEW ADDITION AND ALTERATION TO EXISTING DWELLING
DRAWING TITLE	SITE PLAN

SCALE: 1 : 200	REV No. A	DRAWING No. A001	JOB No. 25948
	CLIENT NAME ROBERT BOOTH		
	SITE ADDRESS LOT 357 (#33) KEANE STREET, PEPPERMINT GROVE WA		
	SHEET SIZE: A2	DATE: 02/06/2025	



Ⓢ DENOTES HARD WIRED SMOKE DETECTOR TO A.S. 3786
Ⓥ CEILING VENT - UNFLUMED

GENERAL NOTES:

- ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND AUSTRALIAN STANDARDS BY A FULLY LICENCED / REGISTERED BUILDER.

- IT IS THE BUILDERS RESPONSIBILITY TO COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS AND REQUIREMENTS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS

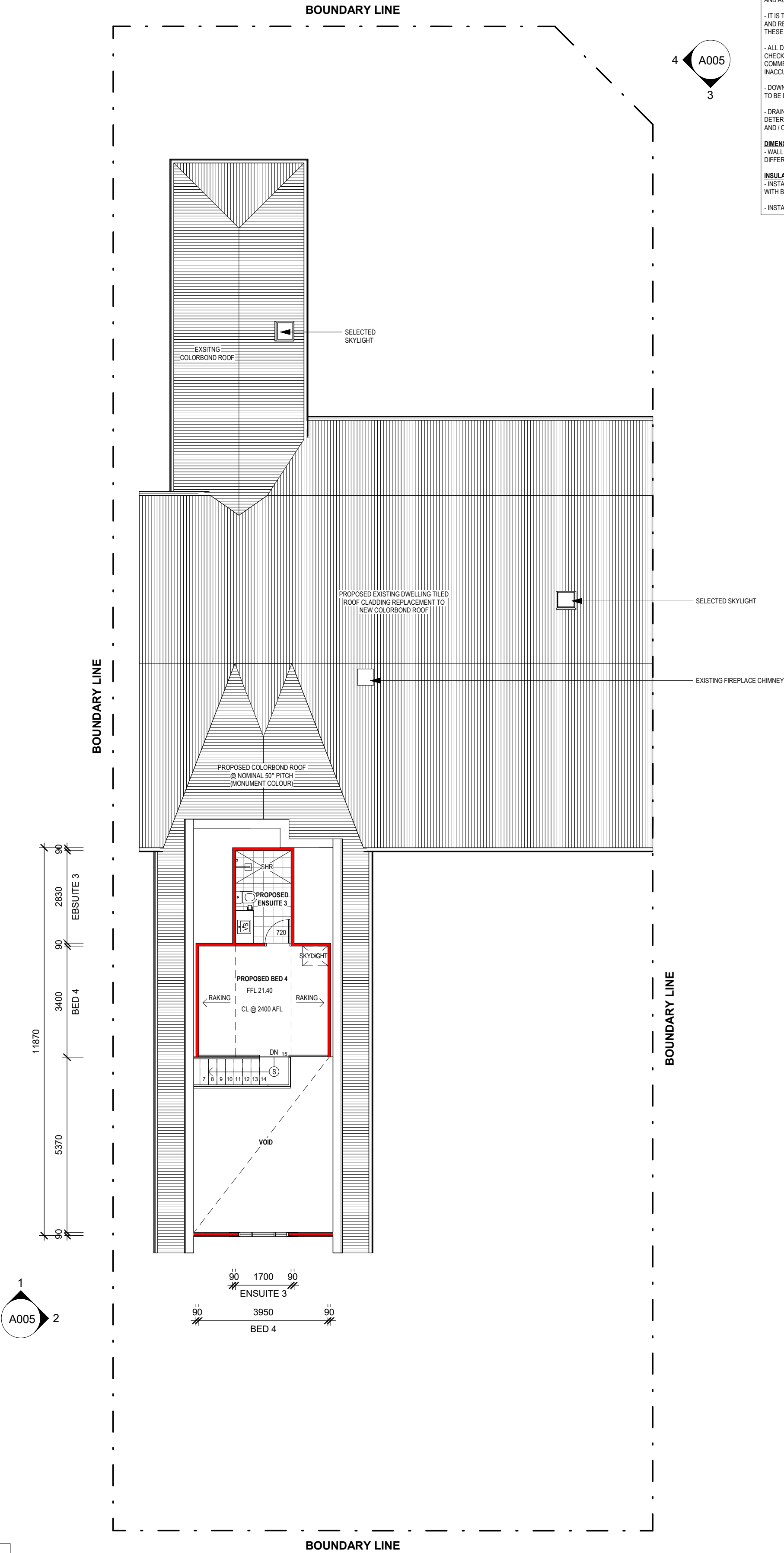
- ALL DIMENSIONS AND LEVELS SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY AND MUST BE CHECKED AND CONFIRMED ON SITE BY THE BUILDER PRIOR TO ANY CONSTRUCTION WORK COMMENCING. THE DRAFTSPERSON ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN DIMENSIONS. DO NOT SCALE FROM DRAWINGS.

- DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL QUANTITIES, TYPE, SIZE AND LOCATIONS TO BE DETERMINED BY ROOF PLUMBER / BUILDER.

- DRAINAGE REQUIREMENTS (SUBSOIL, SOAKWELLS, RUNOFF AND STORMWATER) ARE TO BE DETERMINED ON SITE. ENSURE THERE IS NO DISCHARGE OR POOLING OF WATER AGAINST THE SLAB AND / OR FOOTINGS.

DIMENSION NOTE:
- WALL DIMENSIONS SHOWN ON DRAWING ARE TO STRUCTURAL SIZES, NOT FINISHES SIZES. DUE TO DIFFERENCE IN MATERIAL/ FINISHES THICKNESSES AND TOLERANCES.

INSULATION NOTE:
- INSTALL ANTI CON 60 & BATTS INSULATION THROUGHOUT NEW ROOF / CEILING SPACE IN ACCORDANCE WITH BCA, NCC, AND ENERGY EFFICIENCY REQUIREMENTS.
- INSTALL WALL BATTS INSULATION IN ACCORDANCE WITH ENERGY EFFICIENCY REQUIREMENTS.



TIMBER NOTES:
All timber work to be in accordance with
a) AS 1684 - timber framing code
b) AS 1720 - Timber structural code

Roof to be tied down to resist uplift as required in AS 1684 - timber framing code

All timber to be protected against fungal and termite attack in accordance with AS 3660 and AS 1604. Internal timber above ground not exposed to weather to be treated to hazard grade H2. Timber above ground exposed to weather to be treated to hazard grade H3. Timber in contact with ground to be treated to hazard level H4.

Termite treatment to be termite resistant materials in accordance with AS 3660.1

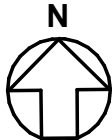
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PROJECT
PROPOSED NEW ADDITION AND ALTERATION TO EXISTING DWELLING

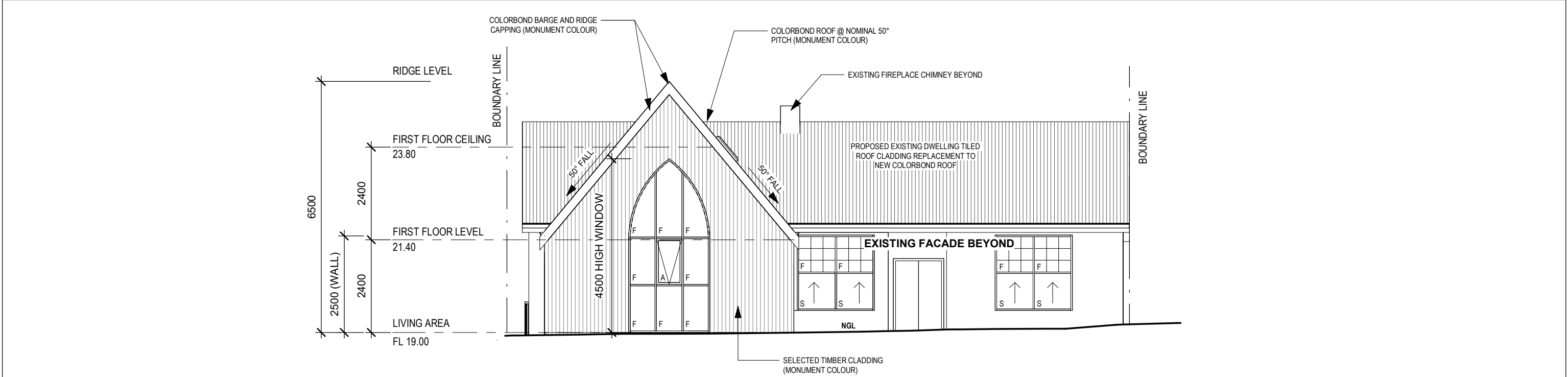
DRAWING TITLE
FIRST FLOOR PLAN

SCALE: **1 : 100**

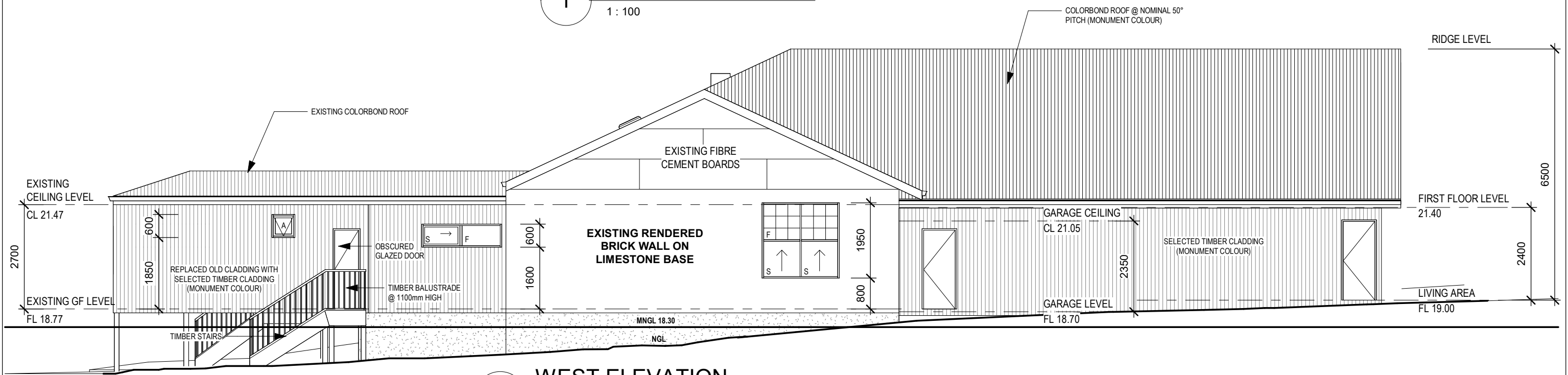


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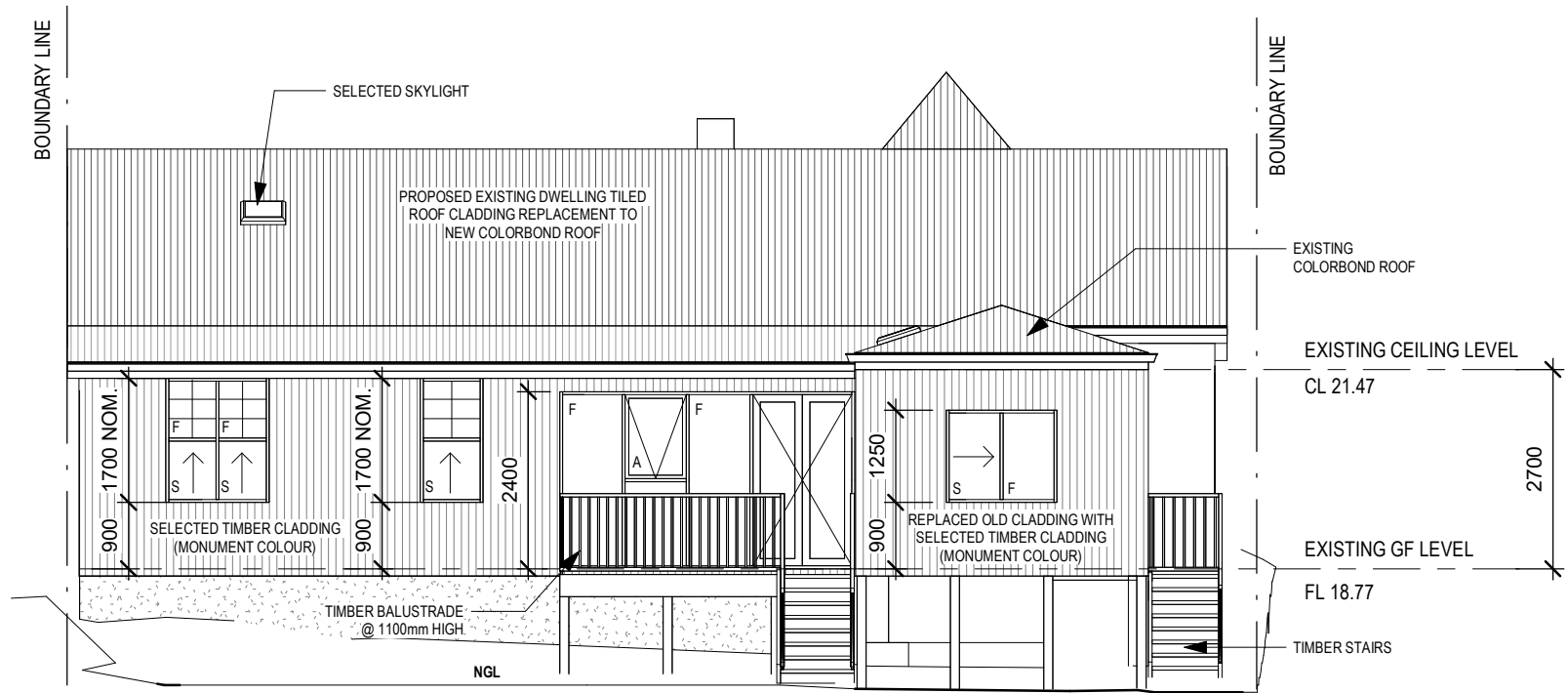
REV No. A	DRAWING No. A004	JOB No. 25948
CLIENT NAME ROBERT BOOTH		
SITE ADDRESS LOT 357 (#33) KEANE STREET, PEPPERMINT GROVE WA		
SHEET SIZE: A2	DATE: 02/06/2025	



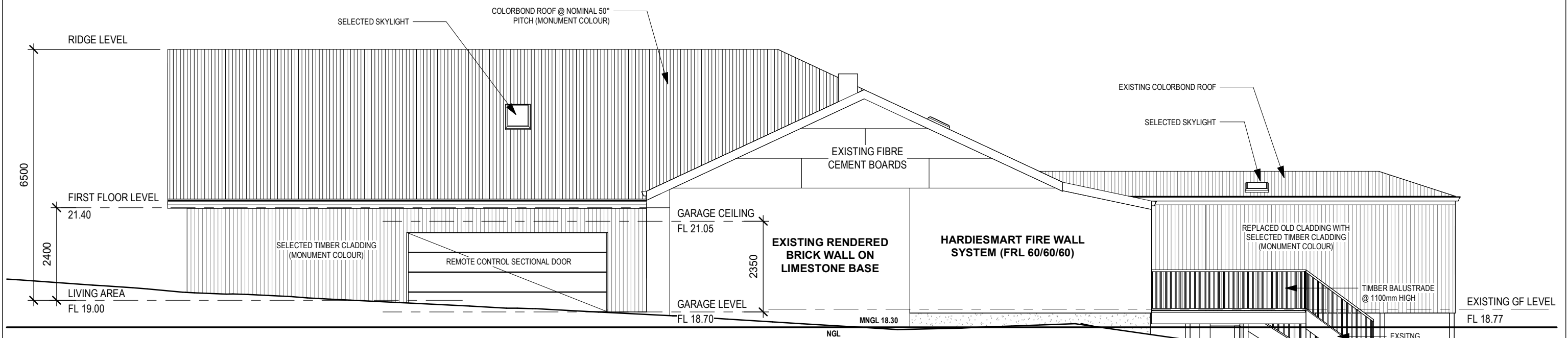
1 SOUTH ELEVATION
1 : 100



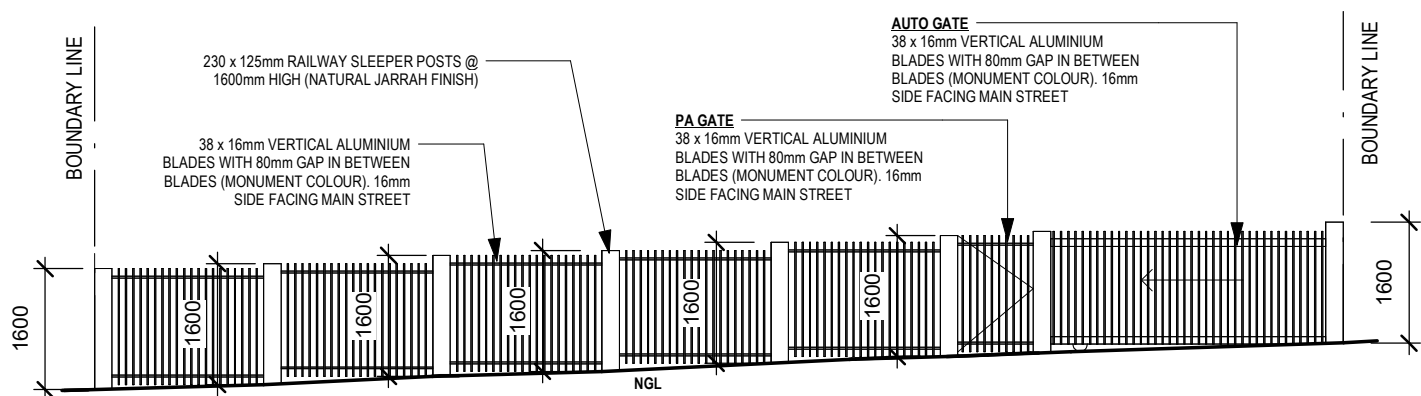
2 WEST ELEVATION
1 : 100



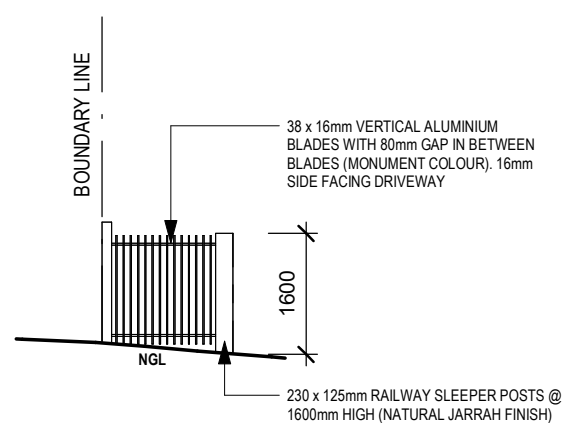
3 NORTH ELEVATION
1 : 100



4 EAST ELEVATION
1 : 100



5 FRONT BOUNDARY FENCE SOUTH ELEVATION
1 : 100



6 FRONT BOUNDARY FENCE EAST ELEVATION
1 : 100

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	PROPOSED NEW ADDITION AND ALTERATION TO EXISTING DWELLING		REV No. A DRAWING No. A005 JOB No. 25948
	DRAWING TITLE		CLIENT NAME
	ELEVATIONS		ROBERT BOOTH
A ISSUE FOR DEVELOPMENT APPROVAL APPLICATION		02/06/2025	SITE ADDRESS
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