

1350 - 1 PROPOSED WORKS FOR: ANU & SHAMILAL WIRASINHA AT: #17 VENN ST, PEPPERMINT GROVE

GROUND FLOOR PLAN 1 OF 5

REV 1 - 18/01/24
DAV REV 1 - 31/07/24

AREAS

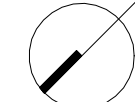
GROUND EXTENDED DECK AREA - 56.50m2
FIRST ADDITION AREA - 9.50m2
GARAGE AREA - 54.41m2
VERGOLA AREA - 35.00m2

NOTES

- a) DRAWINGS ARE FOR PLANNING APPROVAL PURPOSES ONLY.
NOT FOR BUILDING APPROVAL OR CONSTRUCTION PURPOSES
b) DESIGN OF DWELLING IS SUBJECT TO CHANGE THROUGH
APPROVAL PROCESS
c) REFER TO ENGINEERING COMMENTS DATED 22/12/23
d) REFER TO PROPOSED SPECIFICATIONS
e) STRUCTURAL AMENDMENTS TO EXISTING DWELLING SHOWN IN RED

- NEW BRICKWORK
EXISTING BRICKWORK
REFERENCE TO STRUCTURAL
CHANGES AN ENGINEERING
COMMENTS
PROPOSED TIMBER FRAMED
WALL

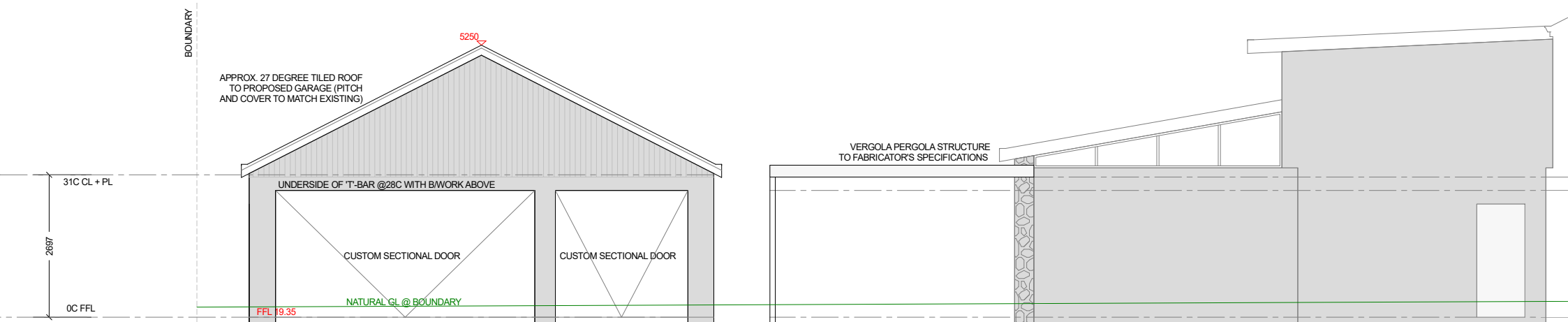
SCALE
1: 100 ON A3



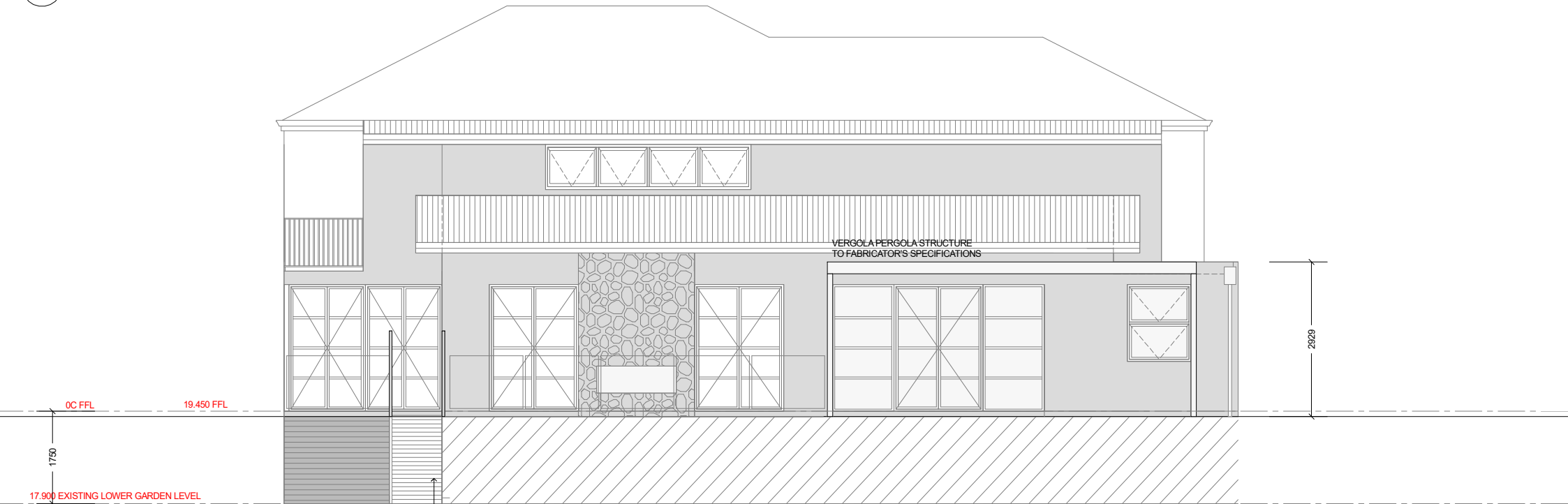
NORTH POINT

am.
RESIDENTIAL DESIGN & DEVELOPMENT

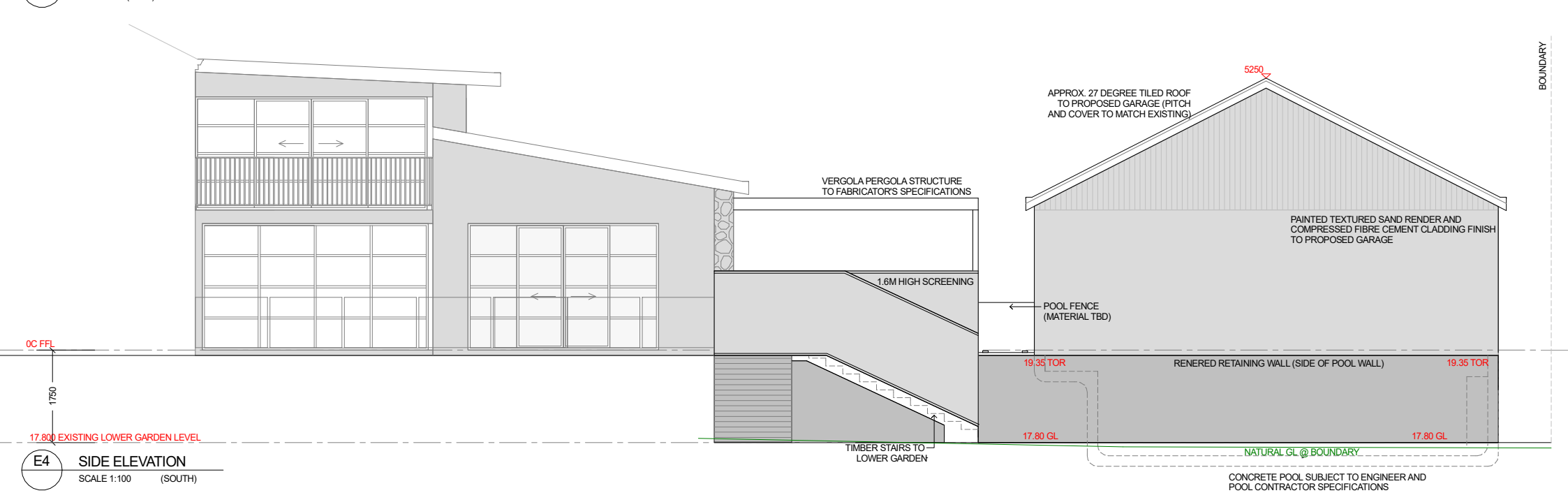
0409 271 839
A.MEDWIN@OUTLOOK.COM



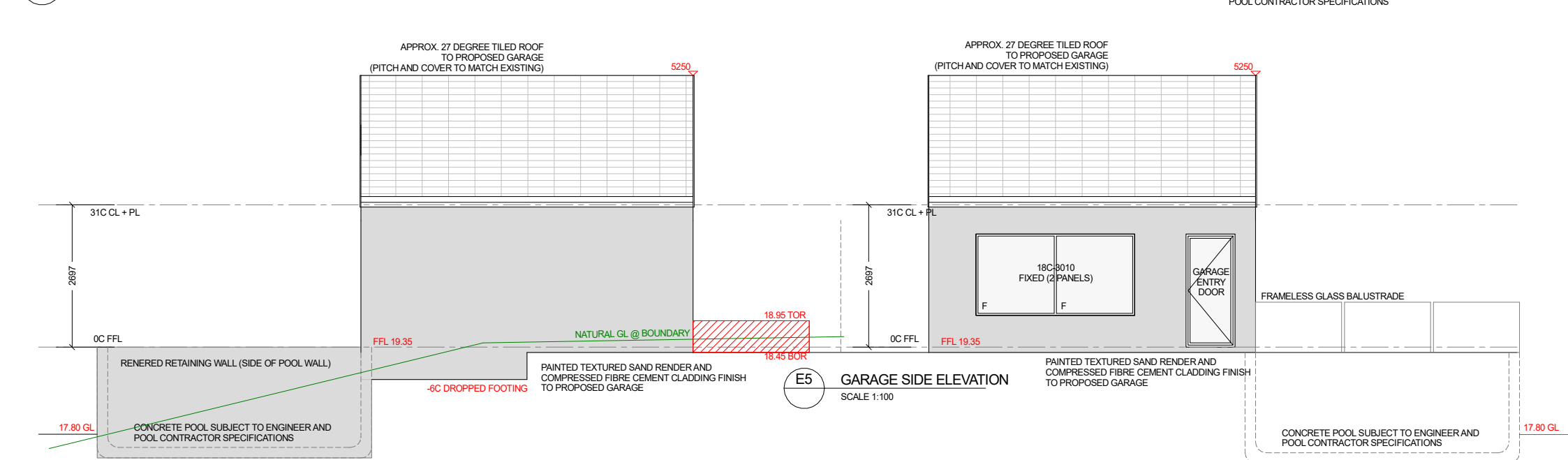
E2 SIDE ELEVATION
SCALE 1:100 (NORTH)



E3 REAR ELEVATION
SCALE 1:10 (EAST)



E4 SIDE ELEVATION
SCALE 1:100 (SOUTH)



E5 GARAGE SIDE ELEVATION
SCALE 1:100

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ELEVATIONS

3 OF 5

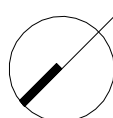
AREAS

GROUND EXTENDED DECK AREA - 56.50m²
FIRST ADDITION AREA - 9.50m²
GARAGE AREA - 54.41m²
VERGOLA AREA - 35.00m²

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SCALE
1:100 ON A3



NORTH POINT

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 129BA T.L.A.
SEE DOCUMENT N375332
DEVELOPMENT RESTICTION

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 129BA T.L.A.
SEE DOCUMENT N375331
FUTURE ROW WIDENING REQUIREMENTS

LOT MISCLOSE
0.001 m

OVERSHADOWING

OVERSHADOWING TO PROPOSED GARAGE SHOWN BY HATCHING. NO OVERSHADOWING TO ADJOINING NEIGHBOURS.

PROPOSED SAND PAD LEVELS

VERGOLA - 19.35
GARAGE - 19.25

SITE COVERAGE CALCULATIONS

LOT AREA - 941m2
ALLOWABLE COVERAGE - 470.5m2
COVERAGE - 336.64m2 (36%)

PLOT RATIO CALCULATION

AREAS INCLUDED IN PLOT RATIO CALC ARE INDICATED BY DASHED BLUE LINE

EXCLUSION AREAS INDICATED BY HATCHING

LOT AREA - 941m2 (0.5 - 470.5m2)
GROUND FLOOR AREA - 253.5m2
FIRST FLOOR AREA - 185m2

AREAS ABOVE EXCLUSION THRESHOLD (20.53m2)
GARAGE AREA - 4.41m2
VERANDAH & BALACONY AREA - 16.12m2

TOTAL AREA OF EXCLUSIONS ALLOWED - 94.1m2 (10%)

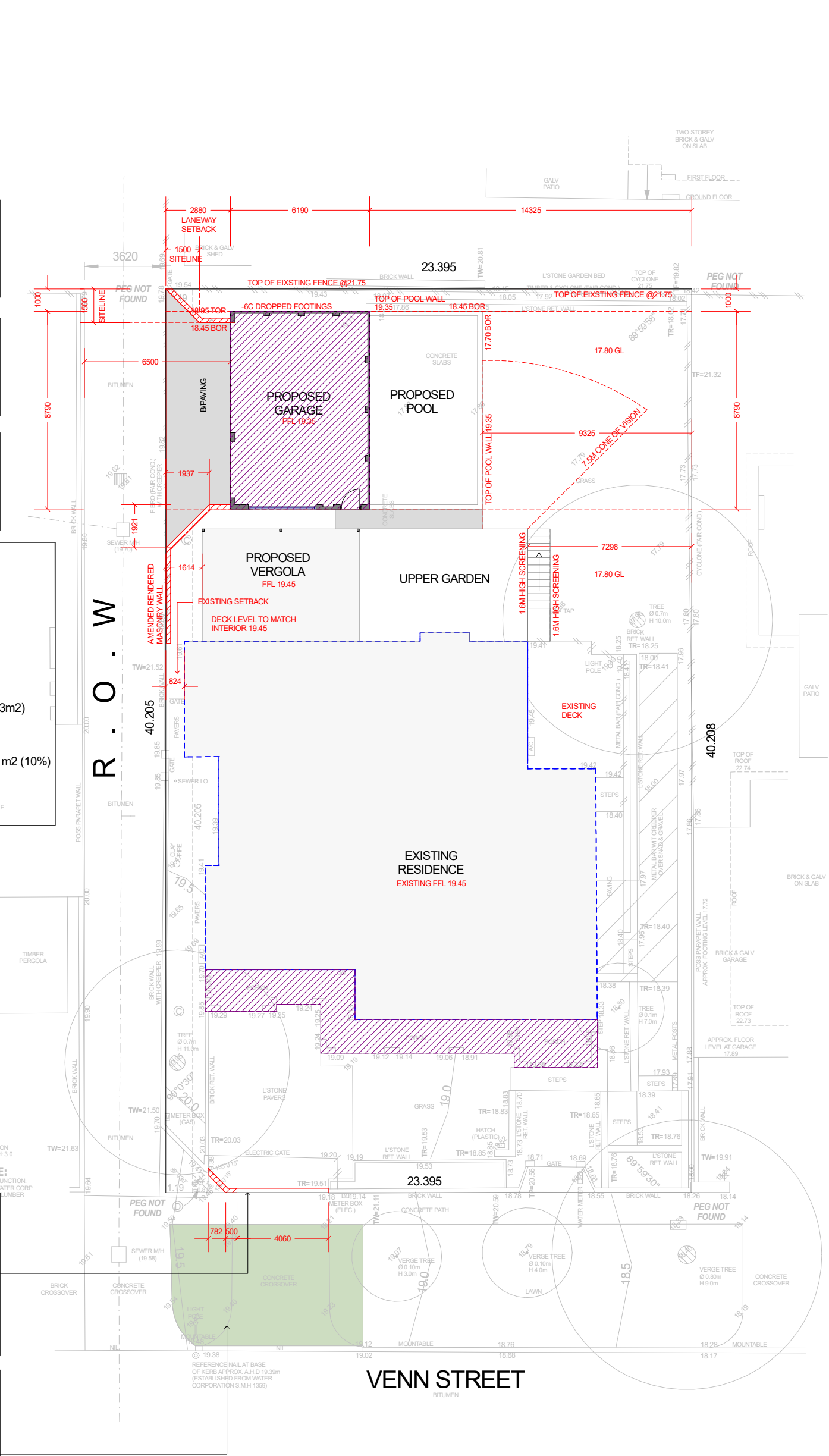
ACTUAL PLOT RATIO - 459m2

EXISTING FRONT FENCE

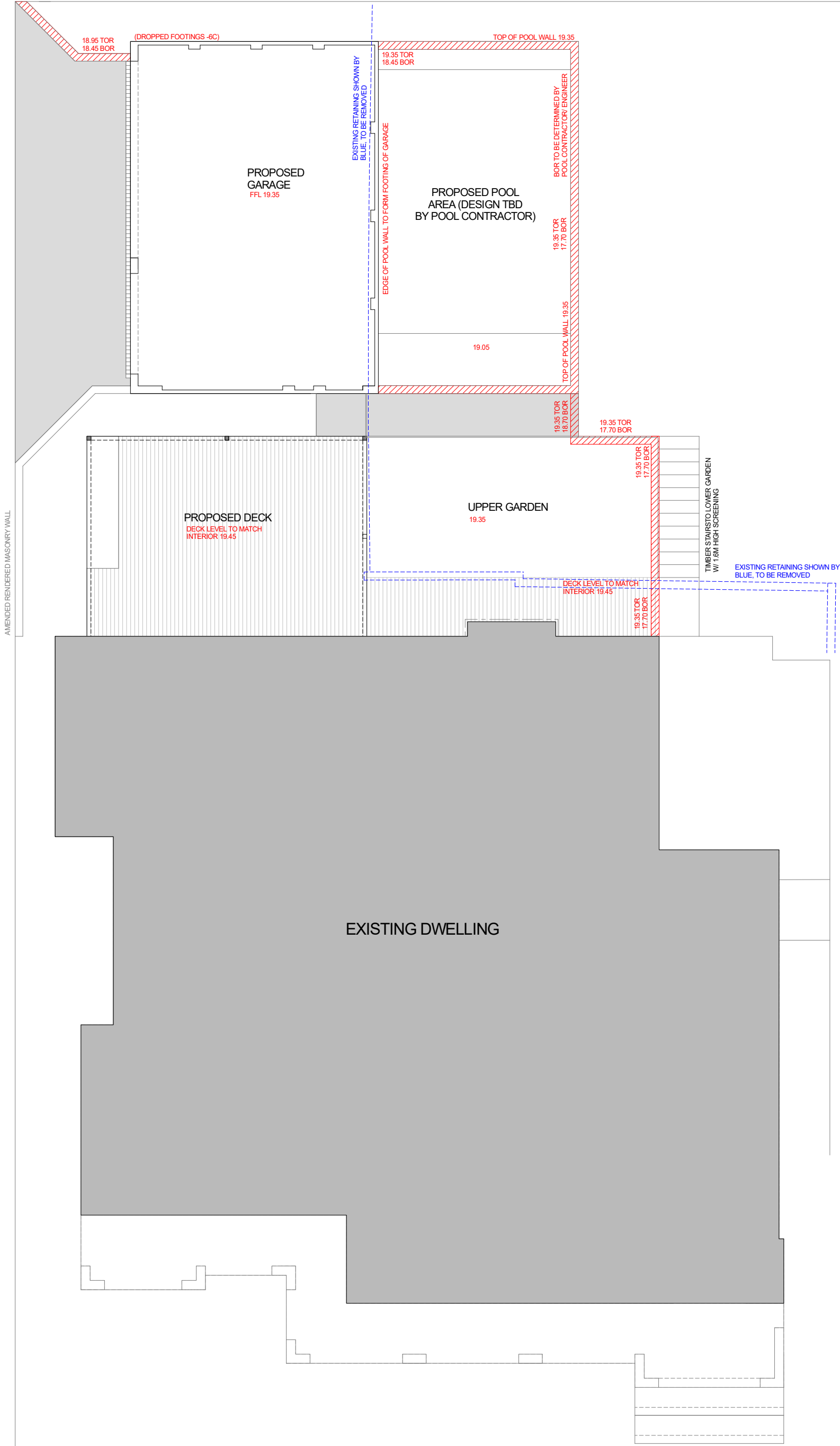
- EXISTING VEHICLE GATE TO BE REMOVED
- 1.8M HIGH RENDERED BRICK WALL ON TRUNCATION TO BE EXTENDED TO FRONT BOUNDARY
- 600MM HIGHT RENDERED BRICK WALL WITH 1200MM HIGH WROUGH IRON INFILL (TO MATCH EXISTING) TO REPLACE EXISTING ELECTRIC GATE)

EXISTING CROSSOVER

EXISTING CROSSOVER TO VENN ST TO BE REMOVED AND REPLACED WITH A LANDSCAPED VERGE



CLIENT	561539	Lat: -32.002661 Long: 115.763979	Bitumen	U/Ground	DISCLAIMER: Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.
	Wiasinha, Shamilal #17 Venn Street Peppermint Grove SHIRE OF PEPPERMINT GROVE	Lot 700 (DP 404147)	Mountable / Nil	Yes	
		941m ² VOL. 2905 FOL. 747	Concrete	Yes	
			Sand	Check Alinta	
			Good	Yes	
1350 PROPOSED WORKS FOR: ANU & SHAMILAL WIRASINHA AT: #17 VENN ST, PEPPERMINT GROVE					
am. RESIDENTIAL DESIGN & DEVELOPMENT 0409 271 839 A.MEDWIN@OUTLOOK.COM	SITE PLAN	4 OF 5	AREAS	NOTES	SCALE 1:200 ON A3 NORTH POINT
	DAREV 1 - 31/07/24		GROUND EXTENDED DECK AREA - 56.50m2 FIRST ADDITION AREA - 9.50m2 GARAGE AREA - 54.41m2 VERGOLA AREA - 35.00m2	a) DRAWINGS ARE FOR PLANNING APPROVAL PURPOSES ONLY. NOT FOR BUILDING APPROVAL OR CONSTRUCTION PURPOSES b) DESIGN OF DWELLING IS SUBJECT TO CHANGE THROUGH APPROVAL PROCESS c) REFER TO ENGINEERING COMMENTS DATED 22/12/23 d) REFER TO PROPOSED SPECIFICATIONS e) STRUCTURAL AMENDMENTS TO EXISTING DWELLING SHOWN IN RED	



1350 PROPOSED WORKS FOR: ANU & SHAMILAL WIRASINHA AT: #17 VENN ST, PEPPERMINT GROVE

RETAINING PLAN

2 OF 5

AREAS

GROUND EXTENDED DECK AREA - 56.50m2
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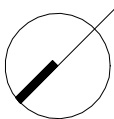
NEW BRICKWORK

EXISTING BRICKWORK

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COMMENTS

PROPOSED TIMBER FRAMED
WALL

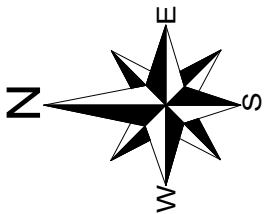
SCALE
1:100 ON A3



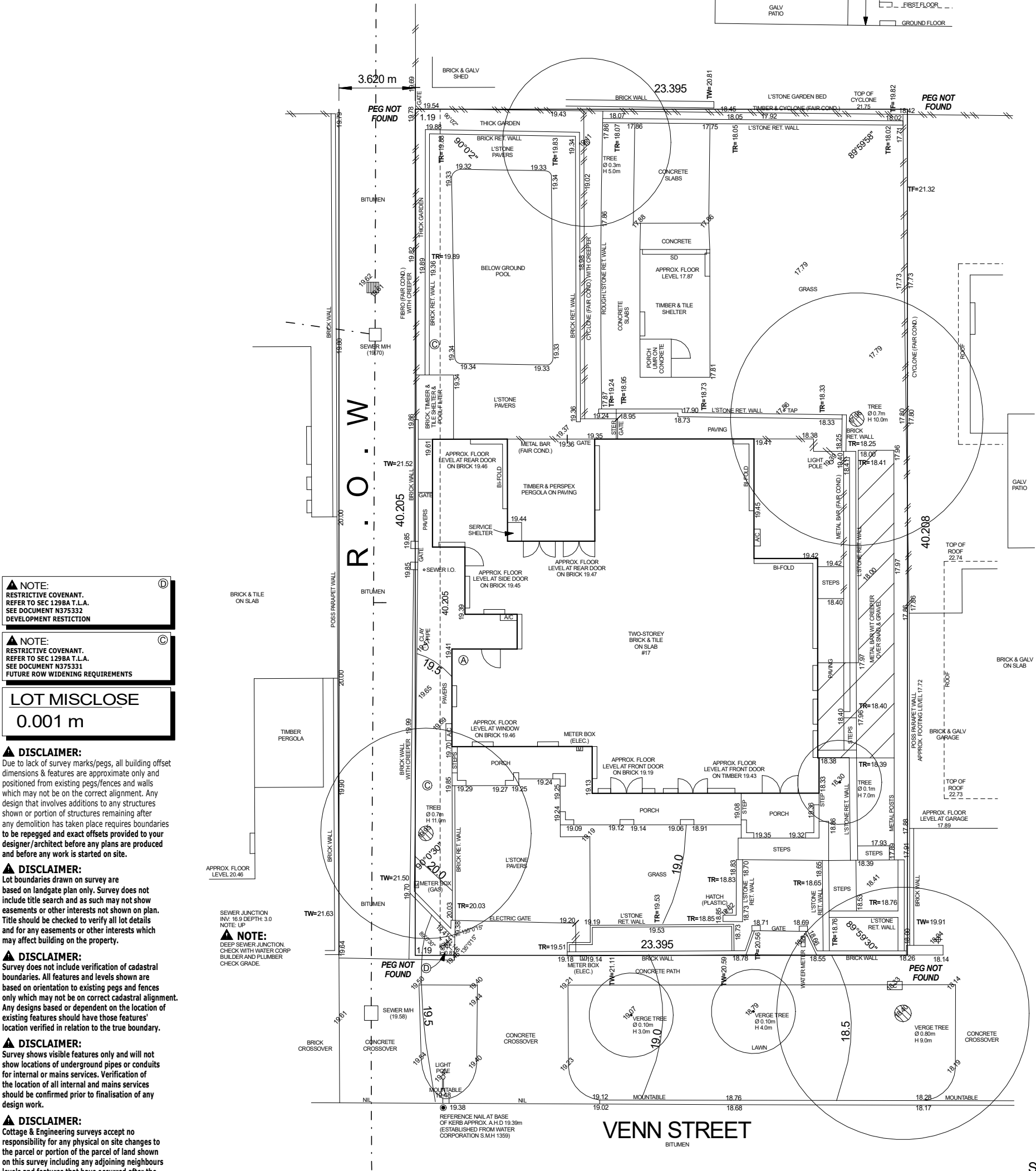
NORTH POINT

am.
RESIDENTIAL DESIGN & DEVELOPMENT

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LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER CONN.
		TP=10.00 TOP PILLAR POST
		TW=10.00 TOP WALL
		TR=10.00 TOP RETAINING
		TF=10.00 TOP FENCE



NOTE:
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REFER TO SEC 1298A T.L.A.
SEE DOCUMENT N375332
DEVELOPMENT RESTRICTION

NOTE:
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SEE DOCUMENT N375331
FUTURE ROW WIDENING REQUIREMENTS

LOT MISCLOSE
0.001 m

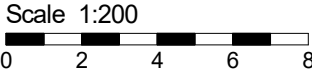
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DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



COTTAGE SURVEYS
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JOB # 561539
CLIENT Wiasinha, Shamilal
ADDRESS #17 Venn Street
SUBURB Peppermint Grove
LGA SHIRE OF PEPPERMINT GROVE
DRAWN B. Smith

GPS Lat: -32.002661 Long: 115.763979
LOT Lot 700 (DP 404147)
AREA 941m² **VOL.** 2905 **FOL.** 747
DATE 28 Nov 23 **SSA** No

ROADS Bitumen
KERBS Mountable / Nil
FOOTPATH Concrete
SOIL Sand
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL 1200m To Ocean (Approximate Only Confirm With Shire)