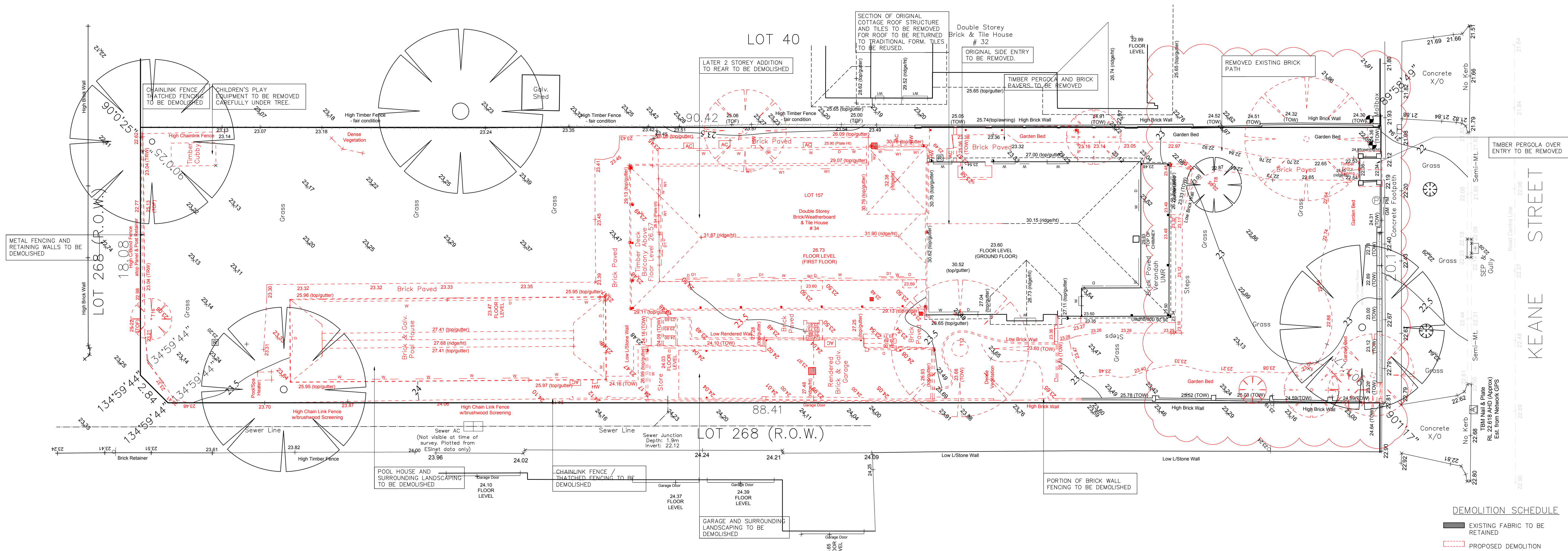
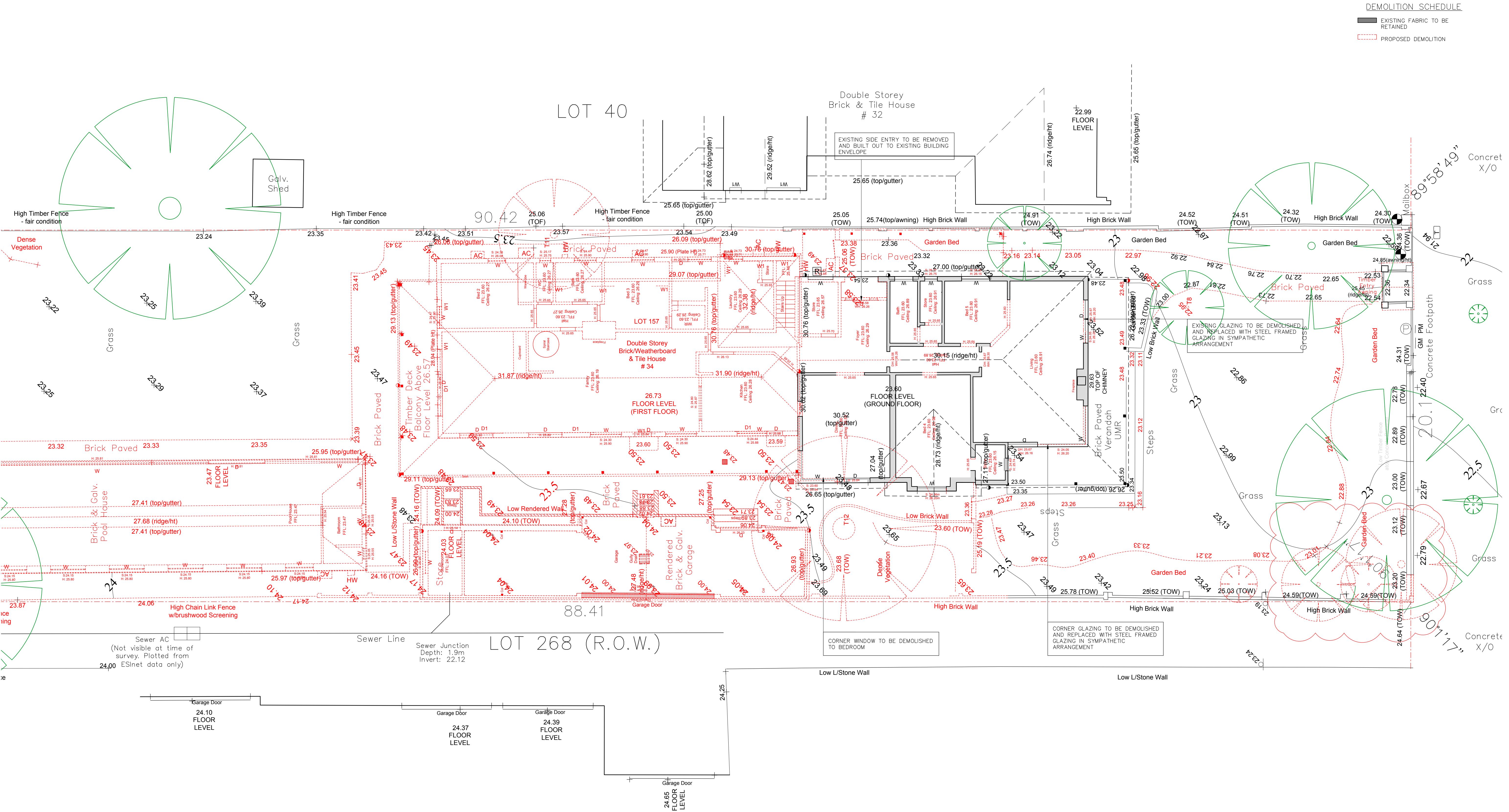
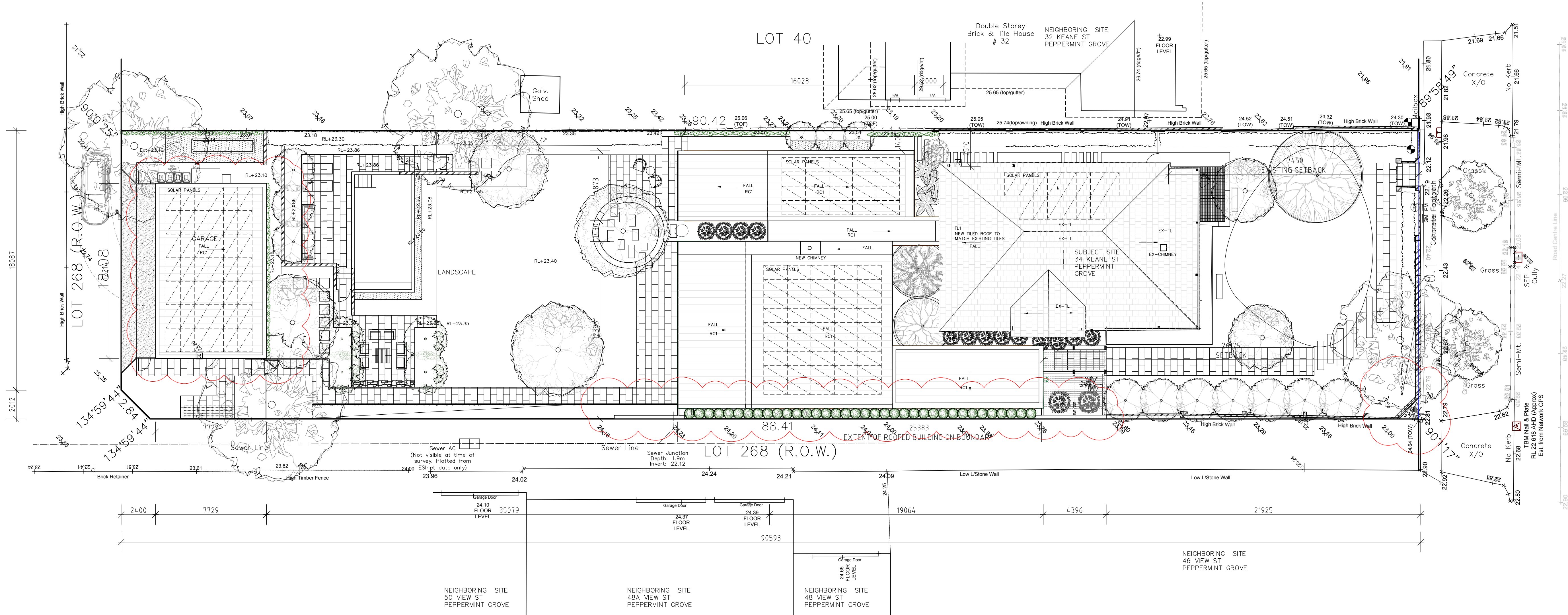


TOWN PLANNING - SHEET LIST		
NUMBER	SHEET NAME	REVISION
A101	EXISTING DEMOLITION SITE PLAN	A
A102	EXISTING DEMOLITION GROUND PLAN	A
A103	PROPOSED SITE PLAN	A
A104	PROPOSED GROUND FLOOR PLAN	A
A105	PROPOSED ROOF PLAN	A
A501	EXISTING DEMOLITION ELEVATIONS	A
A502	EXISTING DEMOLITION ELEVATIONS	A
A503	PROPOSED ELEVATIONS	A
A504	PROPOSED ELEVATIONS	A



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REV	DESCRIPTION	DATE			ELECTRONIC DRAWINGS ARE UNCONTROLLED. DOCUMENTS ARE ISSUED FOR INFORMATION ONLY. ANY DIMENSIONS NOT NOMINATED MUST BE REFERRED TO THE ARCHITECT FOR CONFIRMATION.									
A	TOWN PLANNING APPLICATION	14.08.25			THE CONCEPTS & INFORMATION CONTAINED IN THIS DOCUMENT ARE THE COPYRIGHT OF ROBSON RAK ARCHITECTS. USE OR COPYING OF THE DOCUMENT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF ROBSON RAK ARCHITECTS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.									
B	Fence in north eastern corner	09.09.25												





REVISION			
REV	DESCRIPTION	DATE	
A	TOWN PLANNING APPLICATION	14.08.25	
B	REFER TO CLOUDS	09.09.25	

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CLIENT NAME _____
CLIENT SIGNATURE _____
DATE _____

☐ SKETCH DESIGN ☐ TENDER
☐ DESIGN DEVELOPMENT ☐ CONTRACT
☐ PLANNING PERMIT ☐ DOCUMENTATION

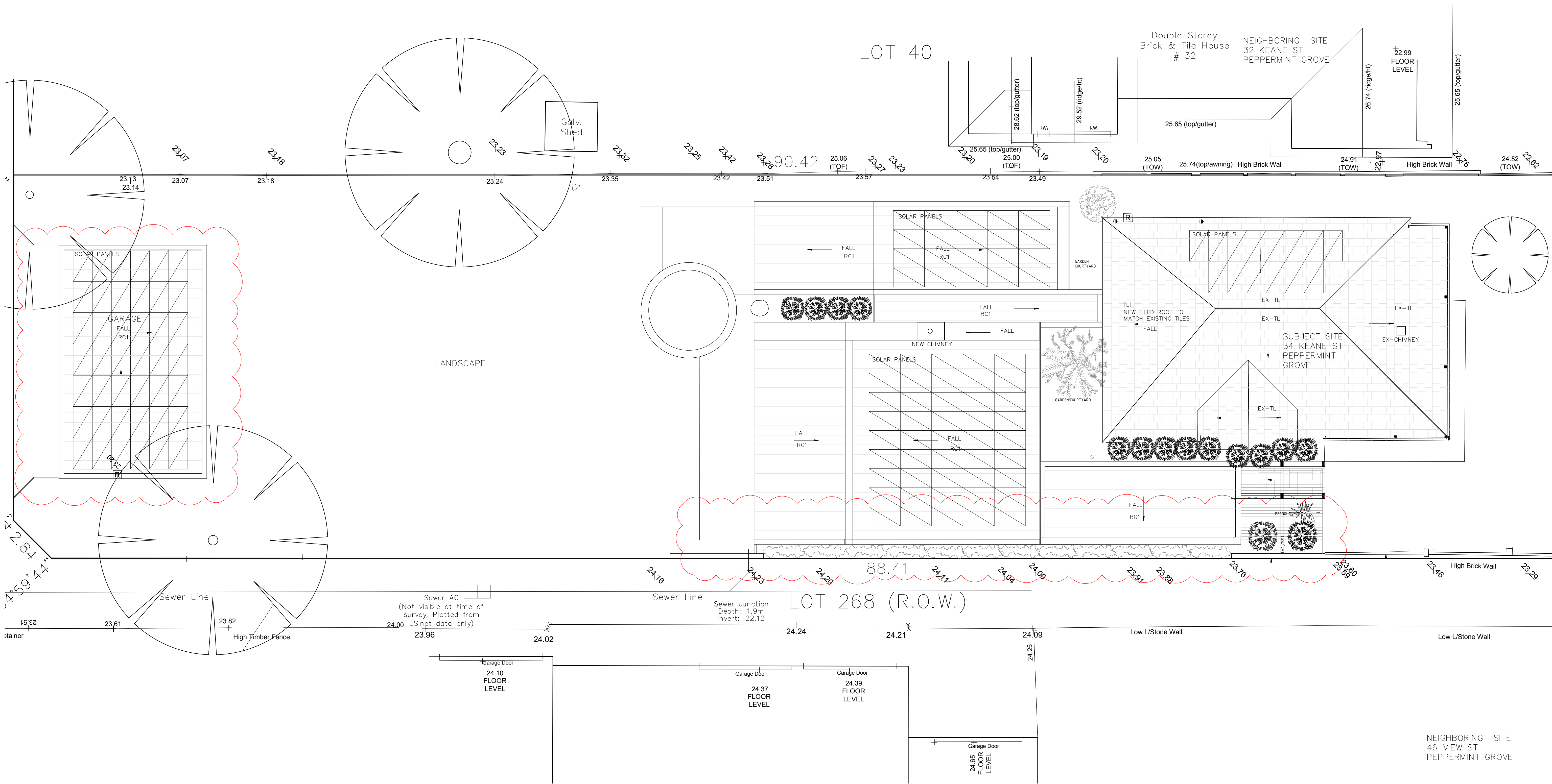
PROJECT:
GARDEN HOUSE
34 KEANE STREET
PEPPERMINT GROVE 6011
WESTERN AUSTRALIA

DRAWING TITLE:
PROPOSED SITE PLAN

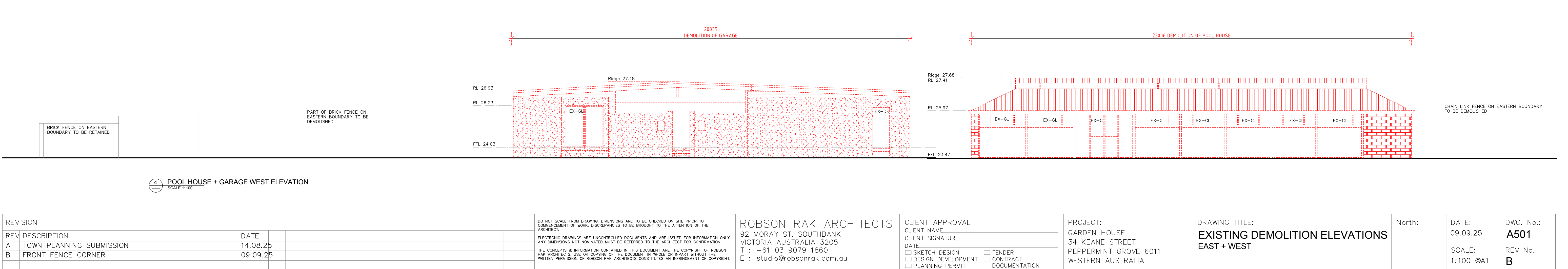
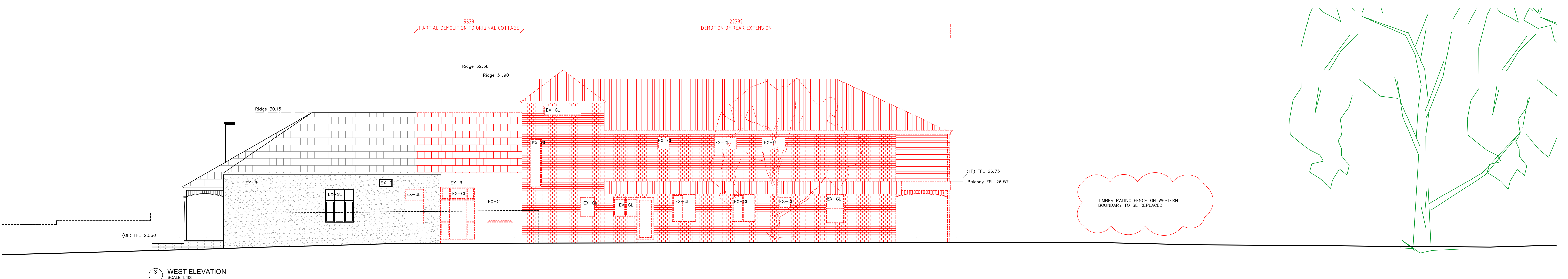
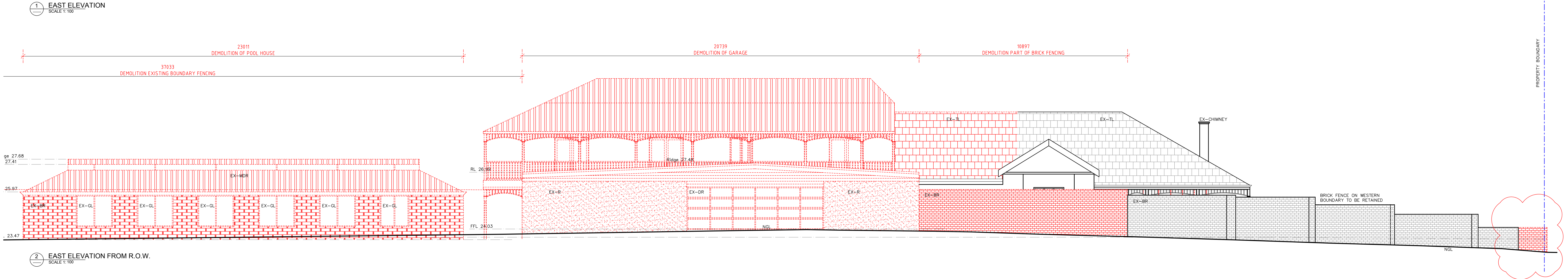
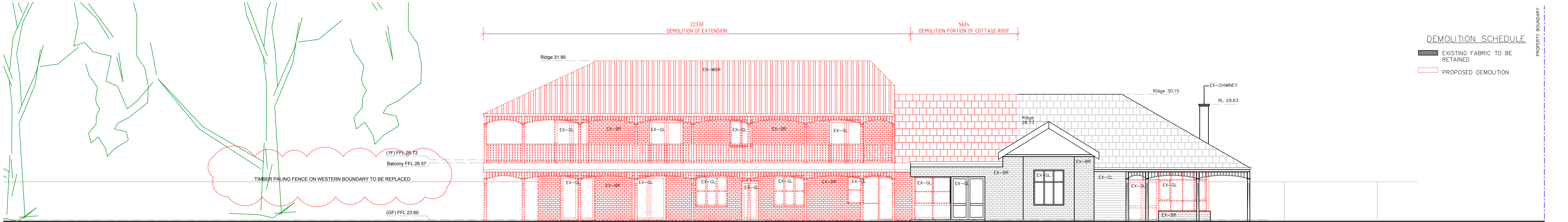
North:

DATE: 09.09.25
SCALE: 1:150 @A1

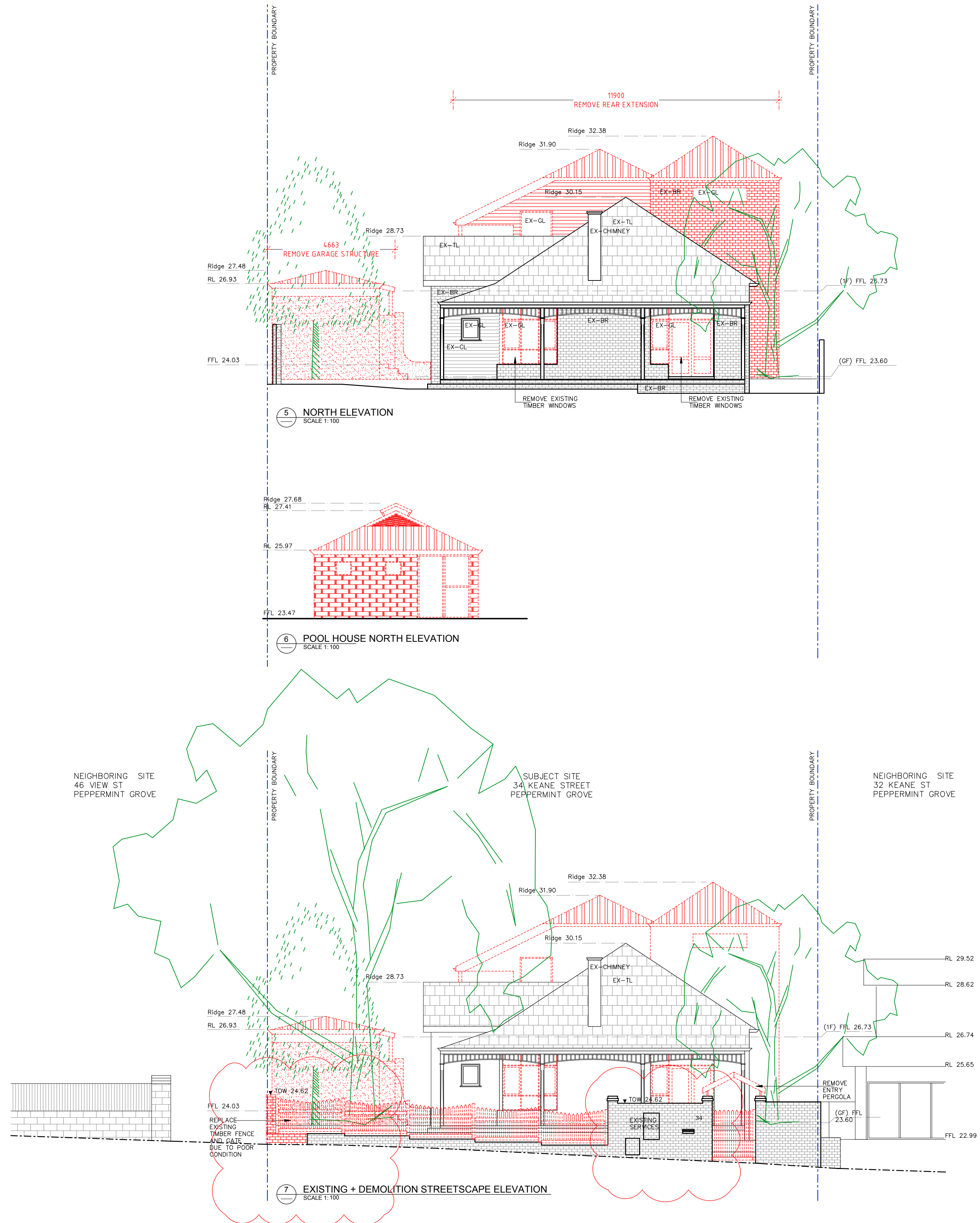
DWG. No.: **A103**
REV No.: **B**



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B	REFER TO CLOUDS	09.09.25						T : +61 03 9079 1860		DATE		PEPPERMINT GROVE 6011									
								E : studio@robsonrak.com.au		☐ SKETCH DESIGN ☐ TENDER		WESTERN AUSTRALIA						SCALE:		REV No.	
										☐ DESIGN DEVELOPMENT ☐ CONTRACT DOCUMENTATION								1:100 @A1		B	
										☐ PLANNING PERMIT											



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B FRONT FENCE CORNER								T : +61 03 9079 1860				DATE				PEPPERMINT GROVE 6011																B			
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												☐ DESIGN DEVELOPMENT ☐ CONTRACT																							
												☐ PLANNING PERMIT ☐ DOCUMENTATION																							



DEMOLITION SCHEDULE

- EXISTING FABRIC TO BE RETAINED
PROPOSED DEMOLITION

SITE REFERENCE IMAGES



PHOTO 01
EXISTING TIMBER ENTRY PERGOLA TO BE DEMOLISHED



PHOTO 02 AND PHOTO 03
EXISTING TIMBER ENTRY PERGOLA TO BE DEMOLISHED



PHOTO 04
TIMBER PERGOLA TO SIDE OF ORIGINAL COTTAGE TO BE REMOVED



PHOTO 05
EXAMPLE OF EXISTING TIMBER GLAZING PROPOSED TO BE REPLACED WITH STEEL FRAMED GLAZING

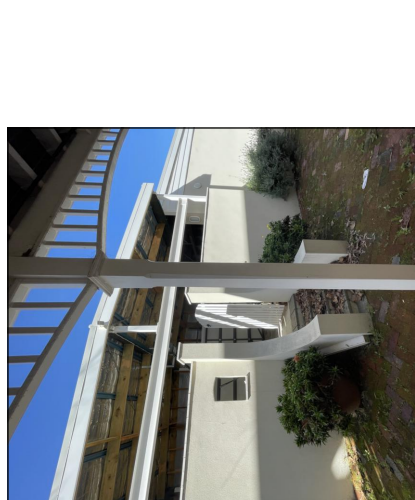


PHOTO 06 AND 07
POOL HOUSE AND POOL TO BE DEMOLISHED AND REMOVED



PHOTO 08 AND 09
GARAGE AND SURROUND LANDSCAPING TO BE DEMOLISHED AND REMOVED



PHOTO 10
EXAMPLE OF RETAINING WALL AND METAL FENCING TO BE REMOVED

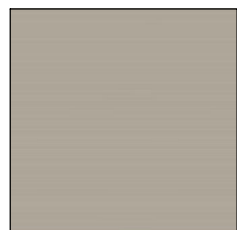


PHOTO 11
EXAMPLE OF CHAIN-LINK AND THATCHED FENCING PROPOSED TO BE REMOVED

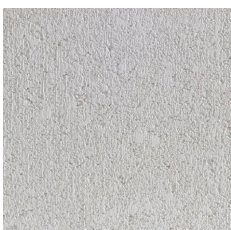
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B FRONT FENCE CORNER						DATE			PEPPERMINT GROVE 6011						1:100 @A1			B					
						☐ SKETCH DESIGN ☐ TENDER			WESTERN AUSTRALIA														
						☐ DESIGN DEVELOPMENT ☐ CONTRACT																	
						☐ PLANNING PERMIT ☐ DOCUMENTATION																	

EXTERNAL FINISHES

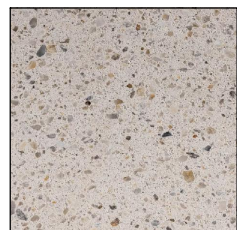
34 KEANE ST PEPPERMINT GREEN WA 6011



AL1 - ANODISED ALUMINIUM
A4F AZTEC SILVER
EVERSHIELD OR SIMILAR
NEW DOOR AND WINDOW
FRAMES TO PROPOSED
BUILT FORM.



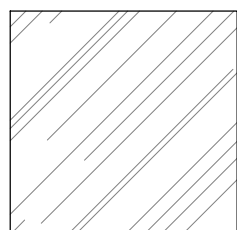
BR1 - MASONRY BLOCK
ALABASTER ARCHITECT
SMOOTH OR SIMILAR
VARIED FORMAT, TYPICAL
SIZE 300X90X190
PROPOSED EXTERNAL AND
INTERNAL WALLS



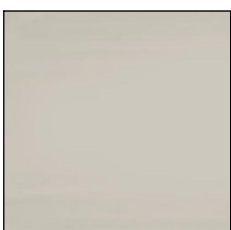
BR2 - MASONRY BLOCK
ALABASTER ARCHITECT
POLISHED OR SIMILAR
VARIED FORMAT, TYPICAL
SIZE 300X90X190
PROPOSED EXTERNAL
WALLS



BR3 - BRICK TILE PAVING
ECO OUTDOOR COTTO NEVO
OR SIMILAR TO EXISTING
COTTAGE VERANDAH



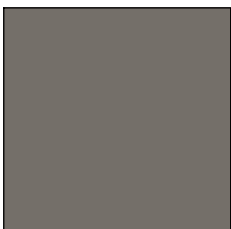
GL - NEW CLEAR GLAZING



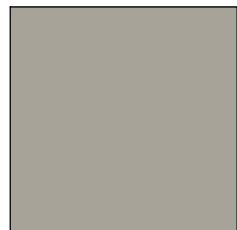
MT1 - FOLDING GARAGE
DOOR, PAINTED
COLOURSING DUNE OR
SIMILAR



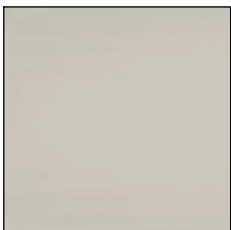
PA1 - PAINT FINISH
MURABOND BRIDGE PAINT
URBAN OR SIMILAR KEANE
ST FACADE NEW STEEL
DOORS AND WINDOWS.



PA2 - PAINT FINISH DULUX
S1446 ORGANIC PAINT OR
SIMILAR KEANE ST
HERITAGE FACADE, PAINTED
TIMBER COLUMNS AND
FENCE.



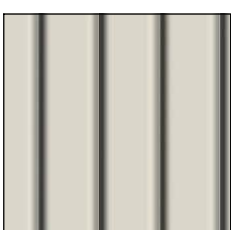
PA3 - PAINT FINISH DULUX
S1543 PAVING STONE OR
SIMILAR EXISTING PAINTED
TIMBER WINDOWS.



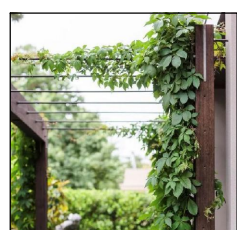
PA4 - PORTERS PAINT
DOUBLE WATERMARK OR
SIMILAR EXISTING PAINTED
FRONT FENCE PAINTED
BRICK AND TIMBER PICKETS.



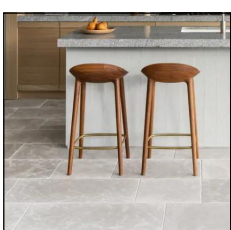
PA5 - PAINT FINISH DULUX
WOODLAND GREY PAINT OR
SIMILAR, TIMBER PAINTING
PERIMETER EXTERNAL
FENCES.



RC1 - COLOURBOND
ROOFING 'DUNE' TO
LYSAGHT LONGLINE 305
SHEET METAL ROOF.
PROPOSED FLAT AND
SKULLION ROOFS AND
ALUMINIUM EAVE SOFFIT
LININGS.



SS1 - STAINLESS STEEL
CABLES BETWEEN TIMBER
PERGOLA



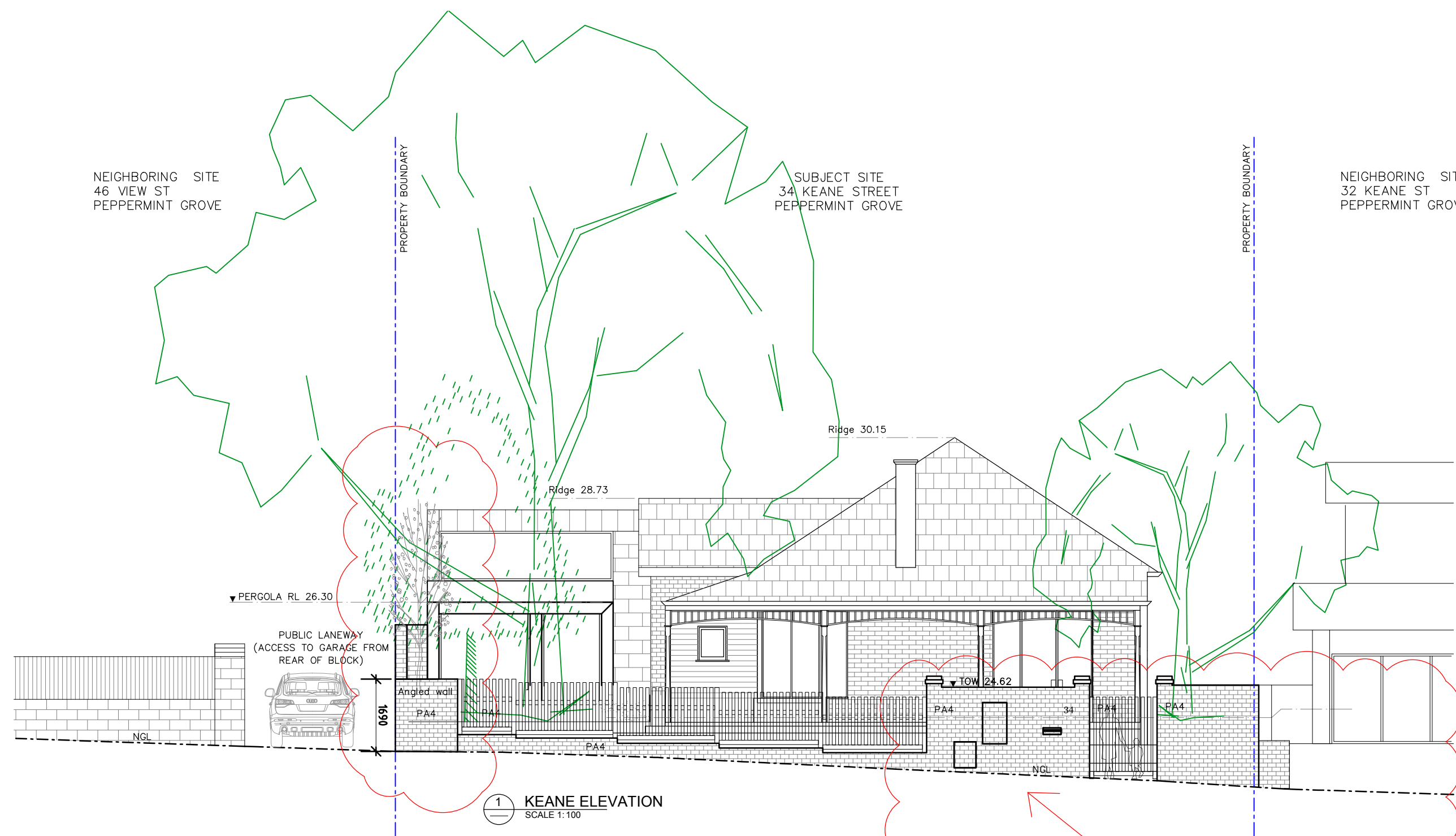
ST1 - LIME STONE EXTERNAL
AND INTERNAL TILING/
PAVING ECO OUTDOOR
LIMESTONE GARONNE PAVIER
OR SIMILAR



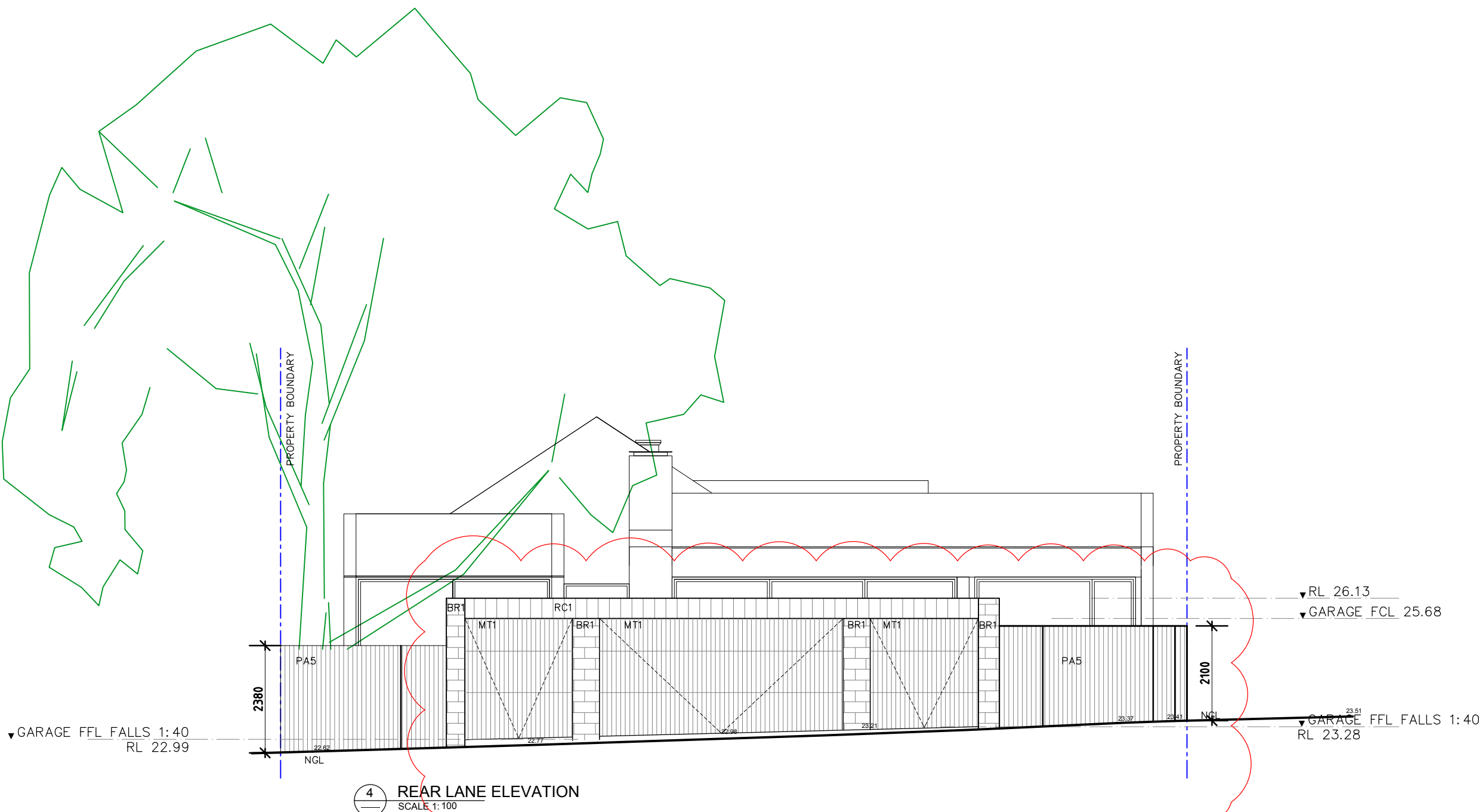
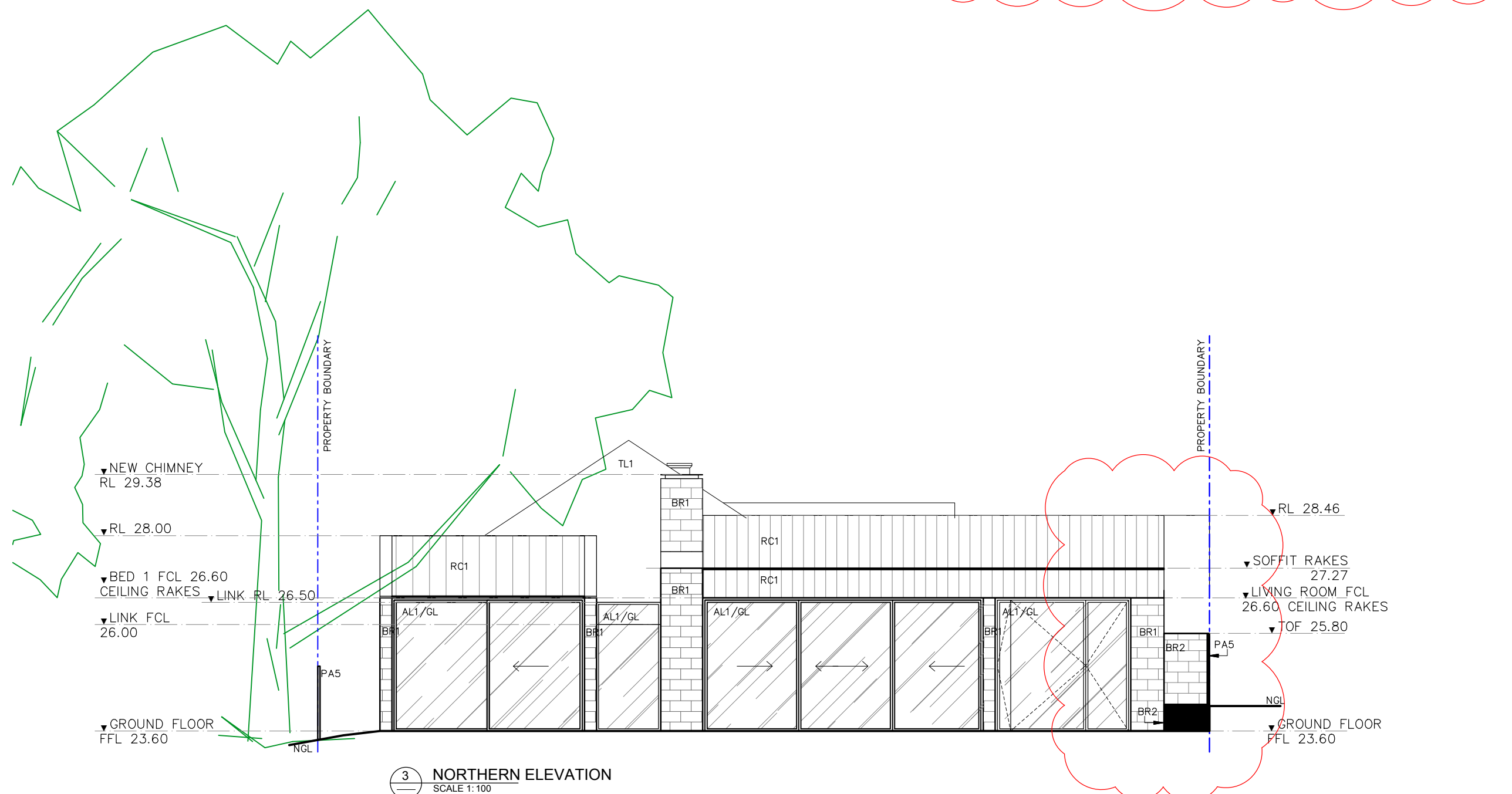
TM1 - TIMBER CLADDING
BLEACHED OAT TIMBER.
FRONT ENTRANCE DOOR
AND TIMBER PERGOLA TO
ENTRANCE



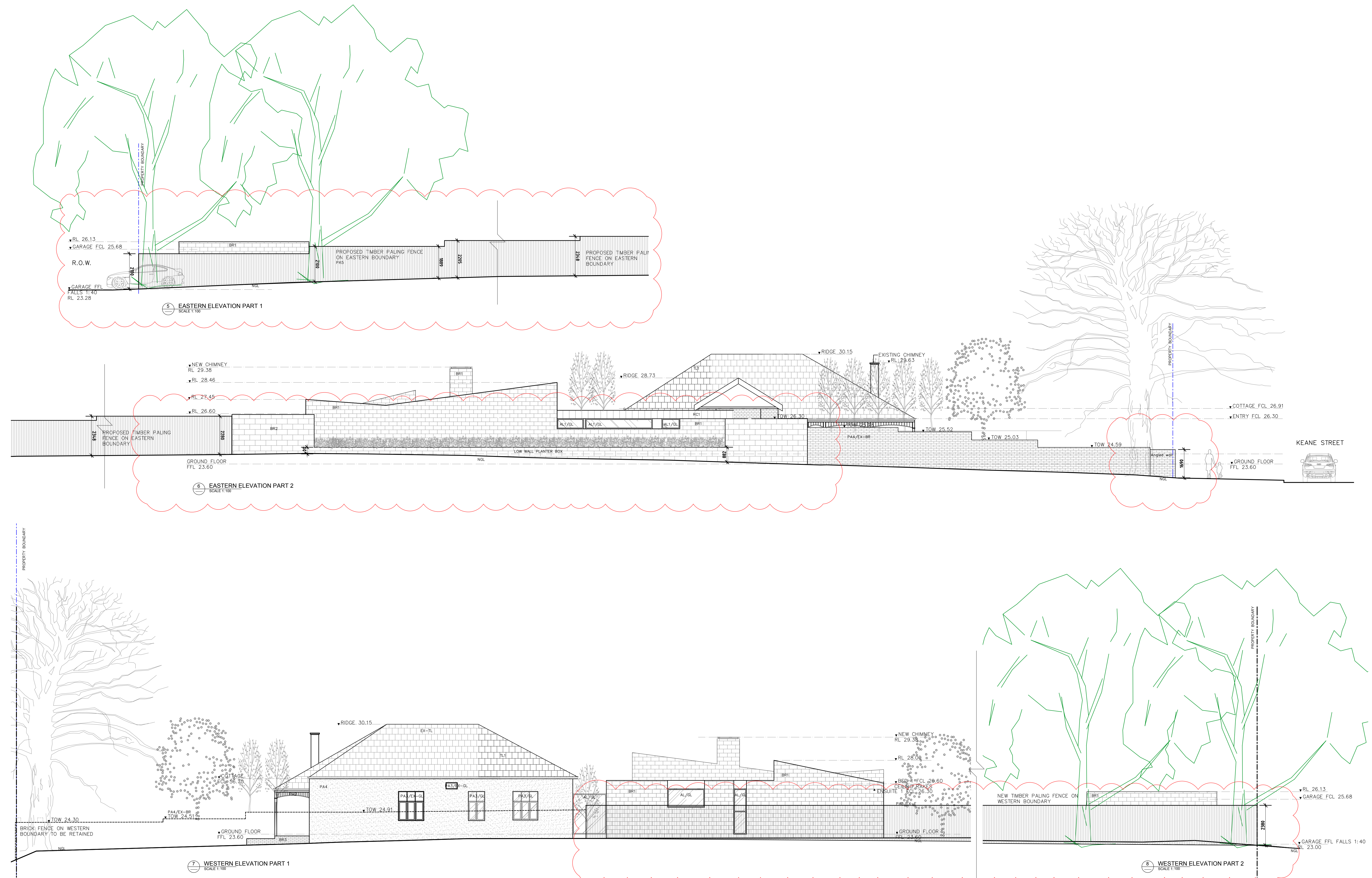
TL1 - EXISTING ROOF TILES



EXISTING
SERVICES IN
BRICK WALL



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						☐ SKETCH DESIGN ☐ TENDER			WESTERN AUSTRALIA			DWG. No.:			A503		
						☐ DESIGN DEVELOPMENT ☐ CONTRACT						REV No.			B		
						☐ PLANNING PERMIT ☐ DOCUMENTATION											



REVISION		DATE	
REV	DESCRIPTION		
A	TOWN PLANNING SUBMISSION	14.08.25	
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☐ PLANNING PERMIT

PROJECT:
GARDEN HOUSE
34 KEANE STREET
PEPPERMINT GROVE 6011
WESTERN AUSTRALIA

DRAWING TITLE:
PROPOSED ELEVATIONS
EAST + WEST

North:	DATE: 09.09.25	DWG. No.: A504
	SCALE: 1:100 @A1	REV No.: B