



SHIRE OF PEPPERMINT GROVE

ATTACHMENTS

Ordinary Council Meeting

28th March 2023

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Ordinary Council Meeting

8.1.1 – 12 The Esplanade



MRS Form 1 Application for Planning Approval

Owner/s details

Registered proprietor/s (landowner/s) or the authorised agent's details **must** be provided in this section. If there are more than two landowners please provide all relevant information on a separate page. Signature/s must be provided by all registered proprietors or by an authorised agent.

Alternatively, a letter of consent, which is signed by all registered proprietors or by the authorised agent, can be provided.

Full name Theresa Lynn Smith
 Company/agency (if applicable)
 ACN/ABN (if applicable)
 Postal address 12 The Esplanade
 Town/suburb Peppermint Grove Postcode 6011
 Signature  Date 20/10/2022
The landowner/s or authorised agent consents to the applicant submitting this application
 Print name and position Theresa Lynn Smith, landowner (registered proprietor)
(if signing on behalf of a company or agency)

Applicant details

Name/company Planning Solutions
 Contact person Oliver Basson
 Postal address GPO Box 2709
 Town/suburb Cloisters Square PO Postcode 6850
 Phone (08) 9227 7970 Email admin@planningsolutions.com.au
 Applicant signature 
 Print name and position Oliver Basson, Senior Planner Date 28/10/2022
(if signing on behalf of a company or agency)

Property details

Certificate of title description of land:	Lot No 63	Location No
Plan or diagram 3783	Vol 1133	Folio 271
Certificate of title description of land:	Lot No	Location No
Plan or diagram	Vol	Folio
Title encumbrances (e.g. easements, restrictive covenants)	Refer to Certificate of Title	
Locality of development (house no., street name, suburb, etc)	12 The Esplanade, Peppermint Grove	
Nearest street intersection	The Esplanade / Forrest Street	
Existing building/land use	Single House	
Description of proposed development and/or use	Amendment to existing development approval - Additions and Alterations to a Single House (site works and landscaping).	
Nature of any existing buildings and/or use	Residential	
Approximate cost of proposed development (excl. gst) \$	N/A - amendment to existing approval	
Estimated time of completion	Following Development Approval	

Office use only	
Acceptance officer's initials _____	Date received _____
Local government reference No. _____	Commission reference No. _____

The information and plans provided with this application may be made available by the WAPC for public viewing in connection with the application.

Additional Information to be provided on the MRS Form 1

- Is the development within a designated Bushfire Prone Area? ✓ Yes No
- If 'yes', have bushfire hazard issues been identified and addressed (e.g. by providing a BAL Assessment(s) or BAL Contour Map and a Bushfire Management Plan with the application)? Yes No
- If NA is selected and the development is in a designated bushfire prone area then a short statement justifying why SPP 3.7 does not apply should be included. ✓ N/A
- Does your application require determination by a Development Assessment Panel? (DAP) Yes ✓ No
- Please refer to the following website for DAP requirements: www.dph.wa.gov.au/daps
- If yes, please complete DAP Application Form as per DAP requirements.

Checklist (supporting information)

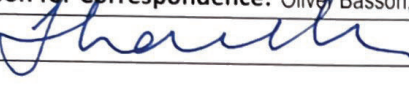
Please complete the checklist below and ensure that all the relevant information is provided with the application.

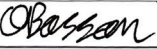
1. Completed Metropolitan Region Scheme (MRS) Form 1
2. Plans at a scale not less than 1:500 (A3) showing:-
 - (i) the location of the site including street names, lot number(s), north point and the dimensions of the site;
 - (ii) the existing and proposed ground and floor levels over the whole of the land that is the subject of the application, including details of proposed cut and fill, and retaining walls;
 - (iii) the location, metric dimensions, materials, finishes and type of all existing and proposed structures, including services, on the land that is the subject of the application and all existing structures and vegetation proposed to be removed;
 - (iv) the existing and proposed use of the site, including proposed hours of operation and buildings to be erected on the site;
 - (v) the existing and proposed means of access and egress for pedestrians and vehicles to and from the site;
 - (vi) the location, number, dimensions and layout of all car parking spaces intended to be provided, including provision for the disabled;
 - (vii) the location and dimensions of any area proposed to be provided for the loading and unloading of vehicles carrying goods or commodities to and from the site and the means of access to and from those areas;
 - (viii) the location, dimensions and design of any open storage or trade display area and particulars of the manner in which it is proposed to develop those areas;
 - (ix) the nature and extent of any open space and landscaping proposed for the site; and
 - (x) proposed external lighting and signage.
3. Plans, elevations and sections, as appropriate, of any building or structure proposed to be erected or altered and of any building or structure it is intended to retain;
4. Any specialist studies that the responsible authority may require the applicant to undertake in support of the application such as traffic, heritage, environmental, engineering or urban design studies;
5. Any management plans the responsible authority may require to support or implement the application; and
6. Any other plan or information that the responsible authority may require to enable the application to be determined. This may include scale models or information in digital formats.

For additional information please refer to Development Control Policy 1.2
www.dph.wa.gov.au/getmedia/37533b97-e0ad-4947-9d00-c4d62fa92746/DCP_1-2_general_principles



APPLICATION FOR DEVELOPMENT APPROVAL

OWNER DETAILS	
Name: Theresa Lynn Smith	
Address: 12 The Esplanade, Peppermint Grove	
	Postcode: 6011
PHONE	
Mobile:	Home:
Email: admin@planningsolutions.com.au	
Contact Person for Correspondence: Oliver Basson, Planning Solutions	
Signature: 	Date: 20-10-2022
Signature:	Date:
<i>The signature of owner(s) is required on all applications. This application will not proceed without that signature. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Scheme) Regulations 2015 clause 62(2)</i>	

APPLICANT DETAILS	
Applicant:	Owner <input type="checkbox"/> Other <input checked="" type="checkbox"/>
<i>If other please complete the details below</i>	
Name: Planning Solutions	
Address: GPO Box 2709 Cloisters Square PO	
	Postcode: 6850
ABN (If applicable):	
PHONE	
Mobile: 0433 745 682	Office: (08) 9227 7970
Email: admin@planningsolutions.com.au	
Contact Person for Correspondence: Oliver Basson, Senior Planner	
Signature: 	Date: 28/10/2022

PROPERTY DETAILS			
Lot No: 63		Street No: 12	
Street Name: The Esplanade			
Suburb: Peppermint Grove			
Nearest Street Intersection: The Esplanade / Forrest Street			
Title encumbrances (e.g. easements, restrictive covenants): Refer to Certificate of Title			
Location No:	Plan No:	Certificate of Title	
N/A	3783	Volume	Folio
		1133	271



PROPOSED DEVELOPMENT	
Nature of Development	<input checked="" type="checkbox"/> Works <input type="checkbox"/> Use <input type="checkbox"/> Works and Use
Description of Proposed works and/or use: Amendment to existing development approval - Additions and Alterations to a Single House (site works and landscaping).	
Nature of any existing buildings and/or use: Residential (Single House)	
Approximate cost of proposed development: N/A - amendment to existing approval	
Estimated completion date/project duration: Following development approval	

Separate Applications are Required for:

1. Fencing – Shire of Peppermint Grove Local Laws Relating to Fencing showing location, materials and height of all boundary fences.
2. Swimming Pools and Ornamental pool/ponds greater than 300mm in depth.
3. Floodlights.

Office Use Only

Accepting Officer: _____

Date Received: _____

Local Government Reference Number: _____

PS reference: 8214
Shire's references: DA2019/00016, DA2020/100013 and DA2022/00015

28 October 2022

Chief Executive Officer
Shire of Peppermint Grove
PO Box 221
Cottesloe 6911

Attention: Planning Services

Dear Sir/Madam,

**LOT 63 (12) THE ESPLANADE, PEPPERMINT GROVE
APPLICATION FOR APPROVAL TO COMMENCE DEVELOPMENT
AMENDMENT TO APPROVED ADDITIONS AND ALTERATIONS TO A SINGLE HOUSE AND OUTBUILDING**

Planning Solutions acts on behalf of Theresa Smith, the registered proprietor of Lot 63 (12) The Esplanade, Peppermint Grove (**subject site**). We are pleased to make this application for an amendment to the existing development approval, to modify the approved site works and landscaping generally contained within the front setback area to The Esplanade and along the southern lot boundary.

Regarding the above, please find enclosed:

1. The Shire of Peppermint Grove Development Application Form and Checklist, signed by the applicant/landowner.
2. The Metropolitan Region Scheme Form 1, signed by the applicant/landowner.
3. A copy of the amended Development Approval dated 2 September 2020 (**Attachment 1**).
4. A copy of the Development Approval dated 29 August 2022 (**Attachment 2**).
5. The development plans depicting the proposed works (modifications to the existing development approval), which generally include site works, retaining and landscaping (**Attachment 3**).
6. A copy of the Certificate of Title and Plan applicable to the subject site (**Attachment 4**).

Payment of the applicable development application fee in accordance with the Shire of Peppermint Grove's fee and charges schedule will be made following lodgement of the development application.

The following submission discusses various matters pertaining to the proposal, including:

- Background
 - Site details
 - Proposal
 - Town planning considerations
-
- We respectfully request the Shire of Peppermint Grove (**Shire**) grant approval to the proposed development.



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1 BACKGROUND

1.1 December 2019 Development approval

A development application was lodged on 13 June 2019 for 'Additions and Conservation Works' to the existing single house on the subject site. At the Ordinary Council meeting on 27 August 2019, Council resolved to refuse the application, citing encroachment into the prescribed 9-metre front setback.

An appeal was made to the State Administrative Tribunal (SAT), with mediation occurring, and Council subsequently invited to reconsider its decision based on revised plans and updated supporting information. At the 10 December 2019 Special Council meeting, Council resolved to approve 'Additions and Conservation Works' on the subject site (DA2019/00016).

1.2 September 2020 Development approval (amendments)

An application for an Amendment to DA2019/00016 – Alterations and Additions was approved by the Shire on 2 September 2020 (Shire ref DA2020/00013). The approval was valid for a period of 2 years from the approval date, expiring on 2 September 2022.

Having regard for the State of Emergency planning changes resulting from the Covid-19 pandemic, proponents are exempted from the requirement to substantially commence development for a development application approved on, or before, the date upon which the State of Emergency Declaration ceases to have effect, or is revoked. A new deadline for substantial commencement is substituted, being the day which is 2 years after the day on which the development approval would have ceased to be valid. The development approval is therefore valid until 2 September 2024.

The amended development approval for Alterations and Additions (DA2020/00013) is therefore still valid and may be enacted by the proponent. Of relevance to this proposal, we note that site works, fill and retaining was approved along the southern lot boundary at heights of RL 23.45m and RL 23.58. A northern crossover to the Esplanade is also approved.

Refer to **Attachment 1** for a copy of the September 2020 development approval.

1.3 August 2022 Development approval

An application for Additions and Alterations to a Single House and Outbuilding (DA 2022 / 00015) was approved by the Shire on 29 August 2022. The development approval excluded portions of the site subject to the approval by applying the following two conditions:

2. *This approval is limited to that extent of works hatched by red ink on the endorsed site plan (PA02A).*
3. *Further planning approval must be obtained for ancillary works including, but not limited to; site works, retaining walls, driveway and vehicular crossover, and boundary fencing not otherwise contained within the area hatched by red ink on the endorsed site plan (PA02A).*

In effect, the proponent now has two development approvals at their disposal to enact. One applying largely to the rear (western) portion of the subject site and the existing single dwelling (DA 2022 / 00015), and one applying to the southern and eastern aspects of the site (DA2020/00013).

Refer to **Attachment 2** for a copy of the August 2022 development approval.

2 PROPOSAL

As a result of the southern and eastern portions of the subject site being excluded from the August 2022 development approval, this proposal seeks to amend the valid September 2020 development approval (DA2020/00013), noting the approved site levels can be implemented, should the proponent wish (subject to satisfying the applicable conditions of development approval). In fact, there is evidence to suggest the development approval has already been substantially commenced, with building/construction works commencing on site.

The proposal seeks to obtain development approval for ancillary works, including (but not limited to):

- site works
- retaining walls
- driveway and new vehicular crossover
- boundary fencing

The works proposed are minor modifications to the existing approved development, and do not substantially change the appearance or function of the approved development.

Refer to **Attachment 3** for a copy of the Development Plans.

3 SITE DETAILS

3.1 Legal description

The subject site is legally described as "Lot 63 on Plan 3783", being the whole of the land contained within Certificate of Title Volume 1133 and Folio 271. The subject site has a total area of 1,597m². Refer to **Attachment 4** for a copy of the Certificate of Title and Plan.

3.2 Local context, land use and topography

The subject is located within the suburb of Peppermint Grove and is predominantly surrounded by detached single residential dwellings. Presbyterian Ladies College is located approximately 50m north west of the subject site and the Swan River is located approximately 55m to the east. The Esplanade is approximately 500m long, providing a connection from Bindaring Parade in the north, to Keane Street in the south.

Based on LocateWA topographical data, The Esplanade's road level increases from approximately 10m AHD at Leake Street to 35m AHD at Bindaring Parade. A 25m incline over 500m is considered steep by metropolitan Perth's standards. The road level of The Esplanade directly east of the subject site is approximately 22m AHD. There is a three (3) metre crossfall along the 25m frontage of the subject site, from north to south.

The consequence of the local streetscapes topographical features is that most dwellings sit at a higher level than The Esplanade pavement level. A consequential design response to this, implemented by most dwellings within the local streetscape, is a form of solid wall for retaining along The Esplanade's street boundary. There are several examples of dwellings with front walls within the local streetscape (and adjoining streets) which are particularly prominent – these are illustrated in **photographs 1-6** below.

The main elements/characteristics shared by these front walls include:

- A height which can be considered prominent when viewed from street level.
- A solid material of blockwork (generally limestone) and/or smooth composition.
- Soft landscaping, typically incorporated along the top of the wall for the entirety of its length.
- Open style fencing on top of the solid wall.
- A transitioned reduction of the top of wall height consistent where sites front undulating sections of the street/verge.

Refer to **Figure 1**, aerial photograph of the subject site and surrounds, and to **photographs 1-6**.



Figure 1: Aerial photograph of the subject site and surrounds (Source: Nearmap)



Photograph 1: Solid 'Pillow Face' limestone front walls at No.150 Forrest Street, with terraced landscaping and open fencing above.



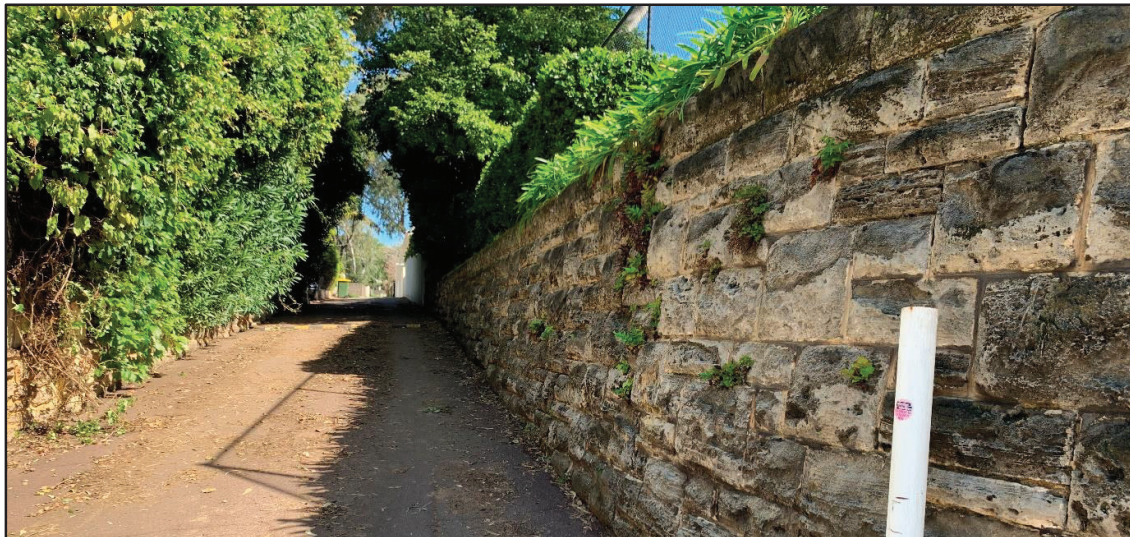
Photograph 2: Solid 'Pillow Face' limestone front walls at No.150 Forrest Street, with terraced landscaping and open fencing.



Photograph 3: No.16 The Esplanade, with a solid truncated wall fronting The Esplanade and Forrest Street.



Photograph 4: The solid wall of No.22 The Esplanade. The sloping site has been levelled out, with a high wall on the southern boundary.



Photograph 5: The solid wall of No.22 The Esplanade, with landscaping and open fencing above.



Photograph 6: The boundary wall of No.60 The Esplanade, comprising solid portions of limestone and open steel balustrades above.

4 TOWN PLANNING CONSIDERATIONS

4.1 Requirements for amendments to development approvals

This is an application made pursuant to clause 77(1) of the Deemed Provisions in Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, being an application:

(c) to amend an aspect of the development approved which, if amended, would not substantially change the development approved.

The State Administrative Tribunal discussed the tests to be applied to determine if an amendment substantially changes a proposal in the matter of *SITA Australia Pty Ltd and Wheatbelt Joint Development Assessment Panel* [2015] WASAT 40 (SITA decision), summarised at [11] as:

the issue is one of looking at the substance of the amendment or variation sought. The authorities suggest, speaking generally, that the issue of substance is to be approached liberally, and with a 'broad brush'. To some extent also a pragmatic approach may be taken on the issue of whether the amended development application remains in essence the same proposal as was considered by the decision-maker.

The question is, therefore, whether the essential character of the development remains unaffected. In our view, this is unequivocally the case. The development remains a single house, with a vehicle crossover proposed in an almost identical location to an approved crossover location. The proposed site levels are very similar to what have previously been approved, with some levels actually lower. From a streetscape perspective, the setting and design elements of the fencing are largely unchanged.

Key changes include the removal of the at-grade (but underground) garage and crossover in the south eastern aspect of the site and the relocation of the stairwell from the southern boundary. The hydrotherapy pool has been removed to accommodate the extension of the driveway to the west, but within the front setback area, the driveway is in essence the same alignment as previously approved.

Applying a liberal and broad-brush approach, the amendments proposed do not substantially change the development approved. Further analysis and comparison of proposed vs approved components of the development will be examined further in this submission.

The amendments (and previously approved components of the development) result in variations to the development standards set out in the planning framework (more on this below). This does not mean the amendments substantially change the approved development. In *Moore River Company Pty Ltd and Western Australian Planning Commission* [2006] WASAT 269 (quoted in the SITA decision at [15]), the Tribunal confirmed:

The fact that there may be arguments as to the planning merits of the configuration of the revised plan does not mean that the revised plan amounts to a substantially different proposal.

We note that under clause 77(2) of the Deemed Provisions the application shall be dealt with as if it were an application for development approval and accordingly all normal procedural matters associated with a development application (including consultation with adjoining owners/occupiers if required) applies to this application.

Numerous, extensive and significant changes to a proposal do not mean that its essence necessarily changes. The fact that modifications might lead to new arguments as to the planning merits of the amended proposal does not mean that a new proposal has eventuated, particularly if the proposed use remains the same.

Therefore, the following submission assesses only the proposed amendments against the relevant planning framework, with a new development application not required. For the above reasons, the application to amend the approved development is valid.

4.2 Metropolitan Region Scheme

The subject site is zoned Urban under the provisions of the Metropolitan Region Scheme (MRS). The land to the east of The Esplanade (adjoining the Swan River) is reserved Parks and Recreation under the provisions of the MRS. The proposal is consistent with the intent of the MRS and therefore warrants approval.

4.3 Shire of Peppermint Grove Local Planning Scheme No. 4

The Shire of Peppermint Grove *Town Planning Scheme No. 4 (LPS4)* applies to the subject site. The provisions of LPS4 are supplemented by the deemed provisions in Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*. Where a deemed provision is inconsistent with a provision of LPS4, the deemed provision prevails to the extent of the inconsistency.

4.3.1 Use class and permissibility

Pursuant to the provisions of LPS4, the subject site is zoned Residential with an applicable density of R10. The relevant objectives of the Residential zone are:

To facilitate and encourage high quality design, built form and streetscapes throughout residential areas.

To promote a residential environment consistent with the heritage of the locality and to enhance a sense of place and community identity.

To enhance those characteristics which contribute towards residential amenity, and to avoid those forms of development which have the potential to prejudice the preservation of the high amenity value of a safe and attractive residential environment.

The proposed development meets the objectives of the Residential zone by proposing high quality works and building materials that result in an enhanced outcome for the subject site and The Esplanade streetscape. The house on the subject site is Category 1 Municipal Heritage Listed and we understand is one of the Shire's oldest buildings (c.1910). The works respond to this heritage by proposing materials and a streetscape consistent with houses in Peppermint Grove (refer to photos 1-6).

The 'Pillow Face' limestone retaining wall on the eastern lot boundary is a significant improvement to the existing painted brick retaining wall. The material is aligned with the character and unique identity of Peppermint Grove and is almost directly comparable to the front (southern) fencing of No.150 Forrest Street, Peppermint Grove. In terms of a sense of place, the limestone cliffs of Peppermint Grove leading into the Swan River are referenced in the materiality of the proposal.

When considering the existing character and streetscape of the locality, we note the Shire's description, as provided in the 23 August 2022 Ordinary Council meeting agenda:

Whilst not uniform, the built form in the immediate area is dominated by expansive elevated homes with solid masonry front walls and fences. Front fencing is generally non-compliant with current policy, but typically 'steps down' the slope, enabling maintenance of a visual connection to houses when viewed from the street. Front setbacks are predominantly compliant and feature 'soft' landscaping.

The proposal does exactly this. It steps down a portion of the solid limestone front wall at its southern aspect, reducing the height of the boundary wall and perceived bulk at what is the lowest portion of the site, and therefore the highest portion of wall. For a 2.75m long portion of the eastern boundary (southern aspect) the proposed fencing height is only between 1.4m and 1.6m high. This facilitates (and maintains) a visual connection with the dwelling on the subject site when viewed from The Esplanade, particularly for vehicles travelling northbound.

In terms of existing visual connection for pedestrians, it is already limited by the existing fencing and the approved retaining wall on the lot to the south. Although the solid fence is being brought further south, truncated terraced landscaping will seek to maintain this view. Refer to **Photographs 7 and 8** below.



Photograph 7: The existing boundary wall of the subject site, as viewed from The Esplanade verge.



Photograph 8: The existing boundary wall of the subject site, as viewed from The Esplanade verge.

4.3.2 Development requirements of LPS4

LPS4 has limited provisions of relevance to this proposal, with plot ratio and street setback requirements unaffected by the proposed modifications.

4.4 Matters to be Considered

Clause 67(2) of the Deemed Provisions sets out the matters for which due regard is to be given when considering a development application. Refer to **Table 1** below for an assessment of the relevant matters.

Table 1 - Matters to be considered

Matter to be considered	Provided
(a) <i>the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;</i>	<p>The aims and provisions of LPS4 are addressed in this report. Of direct relevance to this proposal is aim (a):</p> <p><i>To maintain and encourage a high quality environment; preserve the amenity of the Shire and protect the quality and characteristics of its streetscapes;</i></p> <p>The proposal seeks to preserve and enhance the existing amenity of the subject site, which is occupied by one of the oldest buildings in the Shire. The proposed materials and site levels respond to Peppermint Grove's unique topography, built form and streetscapes.</p>
(b) <i>the requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the Planning and Development (Local Planning Schemes) Regulations 2015 or any other proposed planning instrument that the local government is seriously considering adopting or approving;</i>	<p>There are no known amendments to LPS4 that would affect the merits of this proposal.</p>
(c) <i>any approved State planning policy</i>	<p>State Planning Policy 7.3 Residential Design Codes Volume 1 is addressed in subsequent sections of this report.</p>
(fa) <i>any local planning strategy for this Scheme endorsed by the Commission</i>	<p>Of relevance, the Shire's local planning strategy states:</p> <p><i>Peppermint Grove is recognised as one of the State's most prominent suburbs. The Shire's ideal setting, including its lush tree lined streets and stately home, play a significant role in creating the suburbs unique and distinguished sense of character.</i></p> <p>The proposed works seek to ensure this prominence and uniqueness of the suburb remains.</p>
(g) <i>any local planning policy for the Scheme area;</i>	<p>The Shire's local planning policies of relevance to this proposal are addressed in section 4.6.</p>
(k) <i>the built heritage conservation of any place that is of cultural significance</i>	<p>The heritage status of the building on the subject site has been considered as part of this proposal, including the proposed works and materials to ensure the heritage values are protected and enhanced.</p>
(l) <i>the effect of the proposal on the cultural heritage significance of the area in which the development is located;</i>	<p>The Heritage Council's Inherit database provides the following description of the subject site:</p> <p><i>This elevated rendered brick, timber and tile residence, in the Federation Queen Anne style, although considerably adapted has cultural significance because it is one of the older surviving residences along The Esplanade from the pre World War I period. It is typical of the style and scale of pre World War I residences that were constructed in this part of Peppermint Grove. It has associations with several Peppermint Grove families over 9 decades. It is part of a cultural group.</i></p> <p>The proposed works seek to maintain and enhance the cultural heritage significance of the subject site, by proposing front</p>

Matter to be considered	Provided
	<p>fencing synonymous with the type of fencing seen in Peppermint Grove. The Shire should be encouraging heritage retention, as is proposed as part of this application, to ensure houses of this nature are not dominated by modern dwellings with contemporary fencing. Those types of houses can be built in any suburb, whereas the preservation of unique heritage houses is not always possible.</p>
<p>(m) <i>the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;</i></p>	<p>The proposed development is entirely compatible in its setting, being a single house in the Residential zone. The height, bulk, scale and appearance of the proposed front wall and site works are assessed throughout this report.</p>
<p>(n) <i>the amenity of the locality including the following –</i> (i) <i>environmental impacts of the development;</i> (ii) <i>the character of the locality;</i> (iii) <i>social impacts of the development;</i></p>	<p>The proposal does not result in any adverse environmental impacts. In terms of character, the proposal is consistent with the streetscape of The Esplanade, by proposing site works and retaining walls, typically, with landscaping and open fencing above. The proposed materials are consistent with the character of Peppermint Grove.</p> <p>In terms of social impacts, the proposed development (specifically the levelling of the site) facilitates the enhanced (and safe) use of the site for its residents. Historically, we understand the slope of the property has been difficult to navigate, especially given the residents are getting older.</p>
<p>(p) <i>whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;</i></p>	<p>The proposed landscaping within the front setback area is a major feature of the proposal. No significant trees are to be removed as part of this proposal. The verge tree is proposed to be relocated to accommodate the crossover. The landscaping areas will be densely planted. We expect a detailed landscape plan can be provided as a condition of development approval, if considered necessary by the Shire.</p>
<p>(q) <i>the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bushfire, soil erosion, land degradation or any other risk</i></p>	<p>The proposed development is an existing single house in a bushfire prone area, and does not seek to intensify the land use. Accordingly, no bushfire reporting is required as part of this proposal, as this proposal is only for external site works.</p>
<p>(s) <i>the adequacy of –</i> (i) <i>the proposed means of access to and egress from the site; and</i> (ii) <i>arrangements for the loading, unloading, manoeuvring and parking of vehicles;</i></p>	<p>The proposal includes one vehicle crossover to The Esplanade, for left-in, left-out movements. A crossover has previously been approved in this location.</p>
<p>(t) <i>the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;</i></p>	<p>The amount of traffic generated by the residents of a single house is negligible, with no traffic reporting required.</p>
<p>(u) <i>the availability and adequacy for the development of the following –</i> (i) <i>public transport services;</i> (ii) <i>public utility services;</i> (iii) <i>storage, management and collection of waste;</i> (iv) <i>access for pedestrians and cyclists (including end of trip storage, toilet and shower facilities);</i> (v) <i>access by older people and people with disability;</i></p>	<p>The proposed development and its site levels are adequate and have been designed for access by older people and people with a disability.</p>
<p>(v) <i>the potential loss of any community service or benefit resulting from the development other than potential loss that may result from economic competition between new and existing businesses;</i></p>	<p>The proposal will not result in the loss of a community benefit. Conversely, the proposal will result in a benefit to the public, by resulting in a significantly enhanced presentation to The Esplanade.</p>

Matter to be considered	Provided
(w) <i>the history of the site where the development is to be located;</i>	The site has previously been used for residential purposes, and will continue to be. In consideration of the historic development approvals applicable to the site, including similar site levels and retaining, the history of the site is important in establishing consistency in decision making.
(x) <i>the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals;</i>	<p>There is a clear and demonstrable positive social outcome resulting from this development. The subject site is in one of Peppermint Grove's most iconic areas. The proposal is unlikely to have adverse impacts on the amenity of the surrounding area, as the works enhance The Esplanade's streetscape in accordance with the unique character of Peppermint Grove.</p> <p>Amenity of the adjoining neighbours to the south has been considered, noting that the approved site levels are very similar to the levels proposed as part of this application.</p> <p>In terms of their amenity, this proposal removes an existing driveway and previously approved garage from the south eastern portion of the site which would have generated activity and noise in that part of the site.</p>
(y) <i>any submissions received on the application;</i>	Any submissions will be considered during public advertising of the application.

Having regard to the relevant matters to be considered, the proposed development warrants approval.

4.5 Local Planning Policies

4.5.1 Local Planning Policy 1 – Design and Streetscape

The Shire's Local Planning Policy 1 – Design and Streetscape (LPP1) was prepared in consideration of Peppermint Grove's unique garden neighbourhood character, which is highly valued by the community, residents and visitors. LPP1 requires significant additions to an existing building to be responsive to existing context and contribute positively to the prevailing streetscape. An assessment is provided in Table 2 below.

Table 2 - Assessment against the provisions of LPP 1

Provision	Assessment
Objectives	
<i>To maintain and encourage a high-quality environment; preserve the amenity of the Shire and protect the quality and characteristics of its streetscapes.</i>	Peppermint Grove undoubtedly has a unique character, evident with its large and well landscaped houses, with mature Peppermint Trees lining many of its streets. The proposed development seeks to preserve the amenity of the Shire, and not only protect, but enhance one of its most prominent streetscapes (The Esplanade). The proposed limestone front wall is entirely appropriate, with limestone being a commonly seen material in houses and front boundary fences in the locality.
<i>To maintain, enhance and encourage a high level of amenity in terms of the unique character and identity of development, streetscapes, public open spaces and lifestyle qualities within the Shire.</i>	
Primary Street Setbacks	
<i>The 9-metre prescribed setback under the Local Planning Scheme is the minimum in most instances within the Shire.</i>	There is an existing setback variation, with the existing dwelling providing a 7.35m setback (approximately) to The Esplanade.
<i>Council is able to require a greater or lesser setback based on the prevailing setbacks of adjoining houses under the provisions of Clause 67 I(m)(n) of the Deemed provisions of Planning and Development (Local Planning Scheme) Regulations 2015.</i>	

Provision	Assessment	
<i>In determining views to the street from dwellings and views from the street to dwellings, the setbacks to immediately adjoining dwellings or approved outbuildings are the primary reference points.</i>		N/A
<i>Where setbacks are greater or lesser than 9-metres for immediately adjacent houses, the proposed development setback should be stepped to the extent necessary to ensure it does not obscure views to adjoining houses or prevent their contribution to the streetscape (as outlined in figure LPP1 below)</i>		
<i>Particular attention shall be given to situations where neighbouring dwellings are on the Shire's Heritage List to ensure the heritage values of these adjoining dwellings are not diminished.</i>	Not applicable - The dwelling on the subject site is on the Shire's Heritage List (Municipal Heritage Inventory). The two adjoining houses to the north and south are not.	N/A
<i>Consideration is to be given to circumstances where changes to existing streetscape patterns may be desirable to create long term cohesion where an unsympathetic pattern of development has emerged.</i>	Not applicable - two houses are located either side of the subject site (one currently under construction).	N/A
Front Setback Area and Landscaping		
<i>Soft landscaping (garden planting), particularly in the front setback area is an essential element that contributes to the character of the Shire. Plans which provide for adequate deep planted soft landscaping (at least 50% of the front setback area) are a pre-requisite to the issue of a building permit for a new dwelling.</i>	Within the existing 7.35m front setback area, the proposal includes approximately 60m ² of soft landscaping beds. This does not include the trafficable turf paving areas. The proposal does not include a new dwelling, therefore the 50% provision of soft landscaping in the front setback area does not apply.	✓
Colours Materials and Finishes		
<i>With few exceptions, the predominant building materials in Peppermint Grove are brick and/or rendered brick, stone, with tile or coloured zincalume* roofs, and the colour palette is neutral. Alternative external construction and cladding materials as well as colour schemes can be considered subject to Council approval via the development assessment process.</i>	The proposed materials within the front setback area include 'Pillow Face' limestone and open aspect black metal railing (steel balustrades). These materials are entirely consistent with those seen in front setback areas and streetscaped of Peppermint Grove.	✓
Street Presence		
<i>New houses in the Shire should address the primary street in the traditional manner, with a clearly legible front entrance both to the site and the house itself.</i>	Not applicable - No new house is proposed.	N/A
<i>The street elevation should not be dominated by garage doors and to this end Council will not support more than one double garage (door width of up to 4.5 metres) to the primary or secondary street elevations.</i>	No garage doors are visible from the street elevation. This proposal removes the previously approved garage at the southern portion of The Esplanade frontage.	✓
Verge Crossovers for Residential Access		
<i>Where vehicular access is from a street Council will allow the construction of a verge crossover provided it conforms to the following principles:-</i>	Noted. Refer to assessment below.	Refer below
<i>One crossover per dwelling site; and</i>	Only one crossover is proposed as part of this application, which is in a location almost identical to the previously approved location.	✓
<i>Single vehicle-width crossovers are encouraged to retain and protect green street verges and street trees; and</i>		✓

Provision	Assessment	
<i>Any additional width of crossover must be justified by demonstrating a low impact on the provision of an adequate portion of green verge and street tree planting; and</i>	One single width 3m wide crossover is proposed. An immature Peppermint Tree is proposed to be relocated to the southern part of the verge.	
<i>Any additional width to a single-vehicle crossover shall comply with the Shire's crossover construction policy.</i>	Not applicable - no additional width is proposed. Specific crossover design can be confirmed at the detailed design/building permit stage.	N/A

In consideration of the assessment against the Shire's LPP1 above, the proposed development is acceptable and warrants approval.

4.5.2 Local Planning Policy 3 – Heritage Places

The existing house on the subject site is listed as a Category 1 heritage building on the Shire's municipal heritage inventory. A Category 1 heritage building is described as follows:

Buildings, which due to their character create the atmosphere of Peppermint Grove, therefore should be retained, but may be altered and extended in a manner which is both discreet and sympathetic to the original fabric and character so that a significant proportion of the original building is retained and from the street the additions are seen to be a continuation of the same fabric and character.

No works are proposed to the existing heritage building as part of this application. The proposed site works are discreet and sympathetic to the original fabric and character of the building, and do not prejudice the heritage values of the existing house. In fact, they seek to enhance its values by removing the painted brick wall and replacing it with a 'Pillow Face' limestone retaining wall, which is more aligned with the character of the Shire.

Given no works are proposed to the existing house as part of this proposal, only a brief assessment is provided against the provisions of the Shire's Local Planning Policy 3 – Heritage Places (LPP3).

Table 3 - Assessment against the provisions of LPP3

Provision	Assessment	
Objectives		
<i>To maintain and encourage a high-quality environment; preserve the amenity of the Shire and protect the quality and characteristics of its streetscapes.</i>	As discussed throughout this submission, the proposed works seek to enhance the amenity of the streetscape, in consideration of the existing character of the locality, including the heritage listed dwelling on the subject site.	✓
<i>To preserve the heritage fabric and contribution to the streetscape of existing heritage listed properties.</i>		
Planning Policy		
<i>Conservation of a heritage place, area or precinct includes managing change in such a way that the heritage significance is retained and/or enhanced in order that:</i>		
<i>The form and fabric of buildings on the Heritage List is preserved.</i>	N/A – no changes to the building proposed as part of this application.	N/A
<i>The contribution of a heritage building to the streetscape is protected.</i>	The proposed works are respectful of the heritage values of the dwelling, and have been designed in consideration of this. Unlike other more modern houses on The Esplanade, the proposal includes a limestone wall, of which the materiality and design is of a similar time to the architecture of the heritage house.	✓
<i>Alterations and additions result in architecture that is both of its time and is respectful to places of local heritage significance.</i>		

Provision	Assessment	
<i>The existing building remains the dominant structure on the site when viewed from the street.</i>	The existing dwelling will remain the dominant structure on the subject site. We understand the dwelling will still be able to be seen by vehicles driving on The Esplanade in both directions. Pedestrians will be able to view the dwelling from the northern part of the site with the portions of open style fencing. In any case, this section of The Esplanade is more frequently trafficked by vehicles than pedestrians.	✓
<i>New development within the immediate locality of a heritage area or precinct is respectful of the heritage area or precinct and does not detract from its heritage significance.</i>	The proposed works are architecturally designed and respectful of the heritage values of the existing dwelling. The heritage significance is enhanced by high quality fencing and landscaping within the front setback area.	✓
<i>All development (including maintenance, conservation, adaptation, alterations, additions, demolition and new buildings) affecting heritage places, areas and precincts (including development within the immediate locality of a heritage area or precinct) should meet the following principles;</i>		
<i>Significant heritage fabric should be retained, protected and restored with 'like for like' authentic restoration to original detail wherever possible.</i>	Not applicable - no changes to the fabric of the existing dwelling proposed as part of this application.	N/A
<i>Original front elevations and features to be retained and/or restored wherever possible.</i>		
<i>Intrusive finishes and elements where they conceal or negatively impact upon the heritage significance of a building may be removed.</i>		
<i>Work that can be reversed in the future is desirable. Work that cannot be reversed may be supported, provided the heritage significance of the building is not compromised.</i>		
<i>The location of 'new technologies' on a heritage building should be undertaken in an unobtrusive manner so they do not negatively impact upon the heritage significance of the building.</i>		
<i>Additions should not overwhelm the existing building in terms of bulk, form and scale.</i>		

In consideration of the assessment against the Shire's LPP3 above, the proposed development is acceptable and warrants approval.

4.5.3 Local Planning Policy 12 – Front Fences

The objective of Local Planning Policy 12 – Front Fences (LPP 12) is to provide guidance on the circumstances and parameters where front fencing can be approved without causing detriment to the streetscape, the character of the neighbourhood, or the loss of visibility of valued properties from the street (such as heritage listed properties).

An assessment against the relevant provisions of LPP12 is provided in **Table 4** below.

Table 4 - Assessment against the provisions of LPP12

Provision	Assessment	
Objectives		
<i>To provide design guidelines for screen fencing along the front boundary of a residential property that would exceed the 1.2-metres maximum permitted under the Deemed-to-comply provisions of the R-Codes.</i>	Noted. The proposed front wall exceeds the 1.2m maximum height.	Refer below
<i>To encourage a high-quality standard of front fencing within the Shire of Peppermint Grove that allows houses to visually contribute to the streetscape.</i>	The proposed front fencing is of an exceptional standard, and one that will make a positive contribution to the streetscape. Limestone is a material synonymous with Peppermint Grove, whether it be used for the walls of its heritage houses, front fences or seen on the cliffs of the Swan River. The proposed fencing is considered to be a significant improvement to the existing half limestone and half painted brick fencing.	✓
<i>To ensure front fencing to heritage pieces is of a complementary design, scale and materiality.</i>	The design and materiality are unquestionably complementary to the existing heritage house on the subject site. The scale/height of the fence is a direct result of the naturally steep topography of the properties on The Esplanade. The proposal seeks to reduce the extent of this bulk by providing truncated landscaped terraces at its south eastern aspect, where the portion of wall would ordinarily be at its highest.	✓
<i>To ensure that adequate physical security is available, while maintaining an open visual aspect between the houses and the street for the purpose of passive surveillance.</i>	The terraced landscaping and the feature pedestrian entry and associated stairs seeks to maintain an open visual aspect to the street from the house. For vehicles travelling south on The Esplanade, the works in the front setback area allow more of the site to be seen, with aspects of open style fencing and by bringing the site to a consistent level.	✓
Primary Street Frontage		
<i>A front boundary fence is to be of an appropriate height and open aspect design and construction in order that there is strong visual relationship between the street, the front setback area and the front of the house;</i>	The eastern boundary fence is largely solid, with open style fencing above and open style fencing to the north where the crossover is located. The truncated terraced landscaping element seeks to step down the height and scale of the wall, maintaining the visual relationship between the street and the house. The fencing will provide an attractive visual connection with the streetscape.	Variation ✓
<i>For all walls along the front boundary, where the lower portion of the wall is solid, the height shall not exceed 900mm;</i>	The solid wall exceeds the 900mm height specified by this provision due to the unique topography of the site. The intent of this provision would be understood for a flat site.	Variation
<i>Columns, piers or posts forming the structural support shall;</i> <i>a. Not exceed 2.1 metres in height above the mean natural ground level on the street side of the fence; and</i> <i>b. Not exceed 600mm in either depth or width; and</i> <i>c. Not be less than 1.8 metres clear of any other column.</i>	The proposal seeks to vary this provision due to the unique sloping topology of the site and the required finished floor levels.	Variation
<i>Infill panels (where necessary above the lower wall and between any columns, piers or posts) shall be designed for permeability of at least 50% open view with a minimum gap of 50mm between pickets.</i>	Not applicable – No infill panels proposed.	N/A

Provision	Assessment	
<p><i>Blade fencing, where the depth of the infill picket is, proportionally more than the profile section facing the street, there shall be sufficient width so that views to the house are not obscured. This can be achieved where the gap between blades is a minimum of twice the depth. For instance, 25mm deep blades shall be spaced 50mm apart.</i></p>	<p>Not applicable – No blade fencing proposed.</p>	<p>N/A</p>
<p>Heritage Places</p>		
<p><i>Compatible front fencing is an important design element that frames a site of cultural heritage significance.</i></p> <p><i>When new or replacement fences are proposed, a planning application will be required by the Shire for either a new or replacement front fence. Where there is no evidence of any original fencing with the Local History Collection, a design typical of the era in which the house was built and being complementary in terms of materials, should be submitted to Council for development approval.</i></p>	<p>We understand the proposed front fencing is of a design and comprised of materials typical of the era in which the house was built. The materials and fencing type are complimentary to the existing heritage house and nearby houses in the locality.</p>	<p>✓</p>

In consideration of the assessment against the Shire’s LPP12 above, and although variations are sought, the proposed development responds to a very unique site in terms of its topography and existing dwelling. Approval is sought and warranted for these variations.

4.6 State Planning Policy 7.3 - Residential Design Codes Volume 1

Pursuant to Clause 25 (1) of LPS4, State Planning Policy 7.3 – Residential Design Codes Volume 1 (R-Codes) is to be read as part of LPS4. Clause 26 of LPS4 modifies some provisions of the R-Codes which are of no relevance to this proposal.

The objectives of the R-Codes are:

- (a) *To ensure residential development meets community expectations regarding appearance, use and density.*
- (b) *To ensure designs respond to the natural and built features of the local context and, in the case of precincts undergoing transition, the desired future character as stated in the local planning framework.*
- (c) *To ensure adequate provision of direct sunlight and ventilation for buildings and to limit the impacts of building bulk, overlooking, and overshadowing on adjoining properties.*
- (d) *To ensure open space (private and communal) is provided on site that:*
 - *is landscaped to enhance streetscapes;*
 - *complements nearby buildings; and*
 - *provides privacy, direct sunlight and recreational opportunities.*
- (e) *To ensure that design and development is appropriately scaled, particularly in respect to bulk and height, and is sympathetic to the scale of the street and surrounding buildings, or in precincts undergoing transition, development achieves the desired future character identified in local planning framework.*

Pertinent to this proposal, the appearance of the front fencing is likely to meet community expectations for Peppermint Grove, of not just the suburb, but also the expectations of wider Perth for Peppermint Grove. The works also respond to the natural features of the locality, being a steeply sloping topography.

Part 5 of the R-Codes pertains to the provision of the design elements for all single house(s) and grouped dwellings; and multiple dwellings in areas coded less than R40.

Where a proposal does not meet a deemed-to-comply provision of the R-Codes, the decision-maker is required to exercise discretion to judge the merit of the proposal. Clause 2.5.1 of the R-Codes states:

Subject to clauses 2.5.2 and 2.5.3, the decision-maker is to exercise its judgement to consider the merits of proposals by having regard to objectives and balancing these with the consideration of design principles provided in the R-Codes Volume 1.

The decision-maker, in its assessment of a proposal that addresses the design principle(s), should not apply the corresponding deemed-to-comply provision(s). [emphasis added]

Clause 2.5.2 of the R-Codes notes the relevant considerations include:

- (a) any relevant purpose, objectives and provisions of the scheme;
- (b) any relevant objectives and provisions of the R-Codes Volume 1;
- (c) a provision of a local planning policy adopted by the decision-maker consistent with and pursuant to the R-Codes Volume 1; and
- (d) orderly and proper planning.

Under clause 7.3.1 of the R-Codes, local planning policies can amend or replace deemed-to-comply provisions of the R-Codes and/or augment the R-Codes Volume 1 by providing local housing objectives to guide judgements about the merits of proposals for any aspect of residential development covered by this volume that does not meet the requirements or is not provided for, under the R-Codes Volume 1. The Shire's local planning policies have been considered in this submission.

4.6.1 R-Codes Deemed-to-comply assessment

The following tables provide an assessment against the deemed-to-comply requirements of the R-Codes. Those elements not relevant to the proposal have been omitted. Where a deemed-to-comply requirement is not met, written justification as to how the proposal meets the design principles and objectives of the R-Codes is provided in the subsequent section of this submission.

Table 5 - Deemed-to-comply assessment tables

5.2.3 Street surveillance			
Deemed-to-comply requirement	Required	Proposed	Deemed-to-comply Yes/No
C3.1 - Entry points	Clearly definable entry points visible and accessible from the street	<p>The proposal includes two clearly defined access points, one being the vehicle crossover at the north eastern portion of the subject site and one being the pedestrian access stairs.</p> <p>Both access points are easily accessible from the street, noting the vehicle crossover accommodated left-in, left-out movements to The Esplanade.</p>	✓

5.2.3 Street surveillance			
Deemed-to-comply requirement	Required	Proposed	Deemed-to-comply Yes/No
C3.2 - Surveillance	At least one major opening from a habitable room of the dwelling faces the street and the pedestrian or vehicular approach to the dwelling	Existing major openings from the existing dwelling face The Esplanade and are able to provide surveillance to the street and entry points. The proposed front wall facilitates a similar surveillance scenario to what was previously approved by the Shire. Instead of a garage in the south eastern aspect, there is now portions of solid wall and tiered landscaping.	✓

5.2.4 Street walls and fences			
Deemed-to-comply requirement	Required	Proposed	Deemed-to-comply Yes/No
C4 - Fence height	Fencing within primary street setback area visually permeable above 1.2m	A length of approximately 15.6m of the proposed fencing to The Esplanade is non-permeable above 1.2m in height, then provided with open fencing on top of the portions of solid wall. A 6.1m portion of the eastern lot boundary is open fencing.	✗

5.2.5 Sightlines			
Deemed-to-comply requirement	Required	Proposed	Deemed-to-comply Yes/No
C5 - Sightlines	No structures higher than 0.75m within 1.5m of where walls, fences, or other structures adjoin an intersection of streets and/or driveways.	The proposed 3m wide crossover is provided with 1.5m wide areas either side of it, free from any structures which may be considered to impede sightlines.	✓

5.3.2 Landscaping				
Deemed-to-comply requirement	Required		Proposed	Deemed-to-comply Yes/No
C2.2i - Trees	Minimum no. of trees	1	The number of trees proposed is a detailed design consideration and can be confirmed at the building permit stage. However, more than one tree is likely to be provided in the substantial areas of soft landscaping.	✓
	Minimum tree planting area, free of impervious surfaces and roof cover	2m x 2m	Landscaping areas are greater than 2m x 2m in dimension in consideration of the permeable trafficable turf paving.	✓
C2.2ii - Street setback area	Landscaping of the street setback area with not more than 50% of this area to consist of impervious surfaces		Not more than 50% of the landscaping within the street setback area comprises impervious surfaces.	✓

5.3.5 Vehicular access				
Deemed-to-comply requirement	Required		Proposed	Deemed-to-comply Yes/No
C5.1 – Access to on-site parking	From communal street or right-of-way; or		No communal street, right of way or secondary street is available.	✓
	from secondary street where no right-of-way or communal street exists; or		Access is proposed from the primary street (The Esplanade).	
	from primary street where no secondary street, right-of-way or communal street exists		The existing vehicle crossover is proposed to be relocated northwards, in a similar location to the crossover that was previously approved.	
C5.2 – Driveways to primary and secondary streets	Minimum width of 3m for driveways serving four dwellings or less – otherwise refer C5.5		The new crossover is a maximum width of 6m.	✓
	Maximum width of 6m		Not applicable.	N/A
	Maximum aggregate width of 9m (where more than one driveway proposed)			
C5.3 – Driveways	Setback of 0.5m from side lot boundary		The northern edge of the crossover is set back 1.5m from the northern lot boundary.	✓
	No closer than 6m to a street corner		Not applicable.	N/A
	Align at right angle to the street		Where the crossover meets the lot boundary and the street, it is aligned at a right angle.	✓
	Avoids street trees		The location of the new crossover requires the relocation of an immature Peppermint Tree.	✗
C5.4 – Driveways where two-way access required	Driveway to be designed for two-way access to allow vehicles to enter street in forward gear if driveway serves five or more dwellings, or the distance from a car space to the street 15m or more, or the street a primary distributor or integrator arterial.		Not applicable. Two-way access is not required, however, vehicles can enter the street in forward gear.	N/A

5.3.7 Site works				
Deemed-to-comply requirement	Required		Proposed	Deemed-to-comply Yes/No
C7.1 – Retaining and site works in street setback area	Retaining, fill, and excavation between street boundary and street setback not more than 0.5m except where necessary		Retaining and fill within the street setback exceeds 0.5m and is entirely necessary. The design principle assessment in the subsequent section provides further justification for this variation to deemed-to-comply requirement	✗
C7.2 – Retaining and site works behind street setback	Height of works / excavation / retaining	1.5m	2.5m	✗
	Setback required	1.5m	2.5m	
C7.3 – Site works within 1m of lot boundary	Fill and excavation within 1m of lot boundary not more than 0.5m		The proposal seeks to introduce a maximum fill to RL 23.45m (2.53m) retained by walls on the southern lot boundary.	✗

5.4.2 Solar access				
Deemed-to-comply requirement	Density code of adjoining property	Required	Proposed	Deemed-to-comply Yes/No
C2.1 - Overshadowing of adjoining property	R10	No more than 25 per cent of the site area	We understand the proposal overshadows No.14 The Esplanade (the property to the south) by approximately 4%.	✓

4.6.2 Design principle assessment

The following assessment has been undertaken against those elements which are not deemed to comply with the R-Codes.

Table 5 - Design principle assessment

Design principle	Justification
5.2.4 Street walls and fences	
<p><i>P4 Front fences are low or restricted in height to permit surveillance (as per Clause 5.2.3) and enhance streetscape (as per clause 5.1.2), with appropriate consideration to the need:</i></p> <ul style="list-style-type: none"> for attenuation of traffic impacts where the street is designated as a primary or district distributor or integrator arterial; and for necessary privacy or noise screening for outdoor living areas where the street is designated as a primary or district distributor or integrator arterial. 	<p>The existing painted brick and limestone wall fronting The Esplanade comprises an area of approximately 46m². Refer to drawing PA06D (Proposed Streetscape Wall with Existing Wall Outlined).</p> <p>The proposed solid wall with a Nil setback to The Esplanade comprises an area of approximately 41m². Therefore, the proposal reduces the extent of solid wall fronting The Esplanade compared to the existing wall. This represents a 10.8% reduction.</p> <p>Although not considered as a low fence at the southern aspect, the fence seeks to enhance the streetscape, in consideration of Peppermint Grove's unique character. The solid wall will naturally provide noise attenuation from traffic on The Esplanade.</p> <p>The fencing acts as a retaining wall, to facilitate levelling of the site and will also provide a level of privacy for residents of the subject site, even without outdoor living areas proposed in the street setback area. The extent of solid wall seeks to strike a balance between privacy for residents of the subject site and ensuring the existing dwelling on the subject site remains able to be seen from The Esplanade.</p>
5.3.7 Site works	
<p><i>P7.1 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.</i></p> <p><i>P7.2 Where excavation/fill is necessary, all finished levels respecting the natural ground level at the lot boundary of the site and as viewed from the street.</i></p> <p><i>P7.3 Retaining walls that result in land which can be effectively used for the benefit of residents and do not detrimentally affect adjoining properties and are designed, engineered and landscaped having due regard to clauses 5.3.7 and 5.4.1.</i></p>	<p>The proposed site works / retaining arrangements meet the design principles for the following reasons:</p> <ul style="list-style-type: none"> Given the site's unique features, fill exceeding 0.5m in some areas is unavoidable. To provide a level surface on a significantly sloping site, fill of greater than 0.5m is required. In our experience, development of single houses rarely occur on sites that with a topography variance of much greater than 1.5m. The

Design principle	Justification
	<p>subject site has a crossfall of approximately 3m from north to south over its 25.11m frontage to The Esplanade.</p> <ul style="list-style-type: none"> • The proposed development addresses the prevailing topographical features of the site through finished floor levels which respond to the natural ground levels within the respective part of the site. It is a logical design response to provide a flat site. • The retaining along the eastern and southern portions of the site will largely not be evident to the neighbouring property to the south, as there is already a retaining wall on that boundary. • The earthworks and retaining within the south-eastern part of the subject site are unlikely to have intrusive impacts on the neighbouring property to the south. In particular: <ul style="list-style-type: none"> ○ There is already a retaining wall on this boundary. ○ The proposed landscaping areas will be planted with dense vegetation, separating any activity on the subject site from the property to the south. The proposed fill is therefore unobtrusive and is simply required to provide a level site. ○ The vegetation and proposed fencing provide a good level of screening. ○ There was previously a stairwell proposed at the southernmost aspect, generating higher level of activity than what is currently proposed in this portion of the site. <p>Overall, the proposed site works arrangements are site-responsive, and address the prevailing topographical features of not only the site, but the unique topography of The Esplanade in an appropriate and sensitive manner.</p> <p>The proposal represents the efficient use of topographically constrained land, in the interest of achieving a sound planning outcome with a development which will offer a clear benefit to its residents, resultant in negligible (if any) adverse impacts on neighbours, and will result in an enhanced streetscape for The Esplanade.</p>

5 CONCLUSION

The proposal should be favourably determined, on individual merit, recognising the proposal does not vary significantly from what has previously been approved by the Shire.

Site levels and levels of fill are inherently the same as what have previously been approved along the southern boundary. The only material different is that the previously approved stair case, which facilitated lower site levels (at 21.00, 20.50 and 20.00) within 1.5m of the southern boundary has been replaced with terraced landscaping beds, with slightly higher site levels. The previously approved at-grade undercroft car park has been removed, with the proposed crossover at the northern aspect of the site in an almost identical location to where it was previously approved.

The bulk and scale of the proposed front fencing is not inconsistent with the streetscape of The Esplanade or the Peppermint Grove locality. The proposed wall materials and landscaping produces an exemplary development outcome, one that adequately meets the expectations and prestige of developments within Peppermint Grove.

We therefore respectfully request the application for development approval be considered on its merits and favourably determined under Council discretion.

Should you have any queries or require further clarification in regard to the proposal, please do not hesitate to contact the writer.

Yours faithfully,


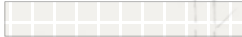

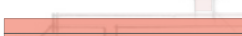


A handwritten signature in black ink that reads 'Oliver Basson'.

OLIVER BASSON
SENIOR PLANNER

221024 8214 Development Application submission - 12 The Esplanade, Peppermint Grove

EXISTING APPROVED BUILDING WORKS TO RESIDENCE

PROPOSED SITEWORKS

-  TRAFFICABLE TURF STONE
-  PEDESTRIAN PAVING
-  RETAINING WALLS (Nominated heights)
-  Open aspect metal railing fence on retaining walls
-  Solid fence to 1.0m on retaining wall
-  Brushwood fence to 1.8m on retaining wall

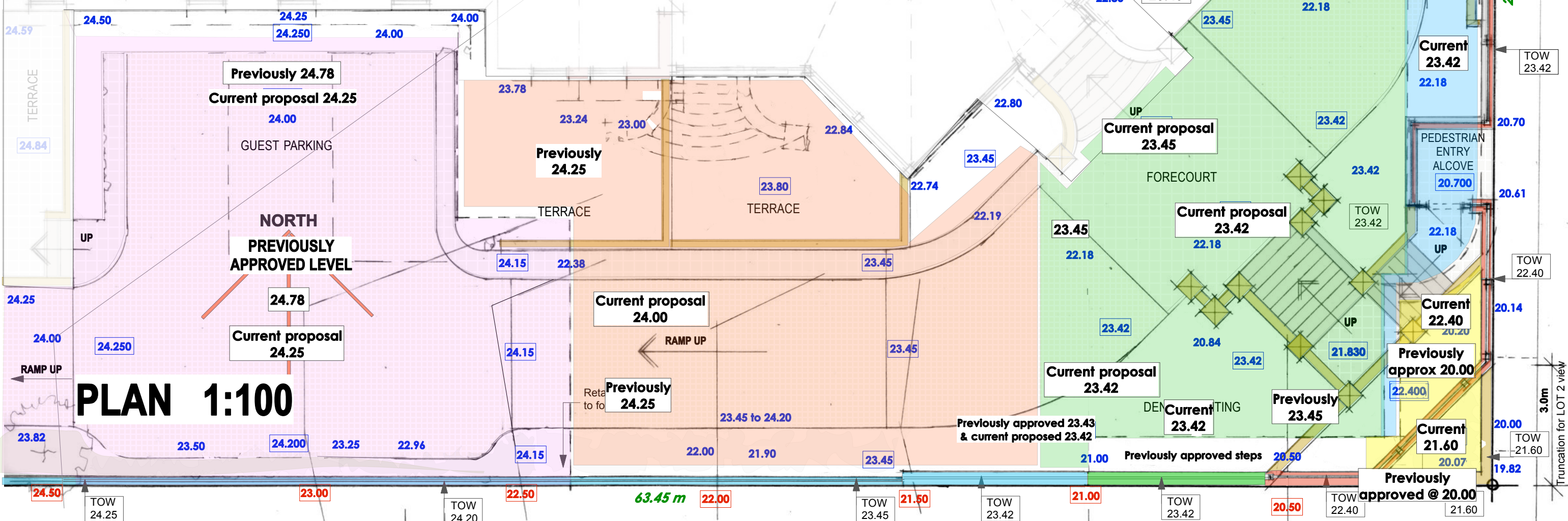
PLAN 1:100

NORTH

EXISTING APPROVED BUILDING WORKS TO RESIDENCE

OVERLAY OF PREVIOUSLY APPROVED SITEWORKS

- PREVIOUSLY @ 20.00
- PREVIOUSLY APPROVED 24.78 (CURRENT PROPOSED 23.45)
- PREVIOUSLY APPROVED RAMPED 23.45 TO 24.25 (CURRENT PROPOSED 23.45 TO 24.15)
- PREVIOUSLY APPROVED 23.45 (CURRENT PROPOSED 23.45 TO 23.42)
- PREVIOUSLY APPROVED 23.45 (CURRENT PROPOSED 23.45 & 23.42)



Existing retaining wall on LOT 7

EXISTING STORE

EXISTING BUTTRESSES

EXISTING APPROVED BUILDING WORKS TO RESIDENCE

OVERLAY OF PREVIOUSLY APPROVED SITEWORKS

25.11 m

PREVIOUSLY @ 20.00

PREVIOUSLY APPROVED 24.78
(CURRENT PROPOSED 23.45)

PREVIOUSLY APPROVED RAMPED 23.45 TO 24.25
(CURRENT PROPOSED 23.45 TO 24.15)

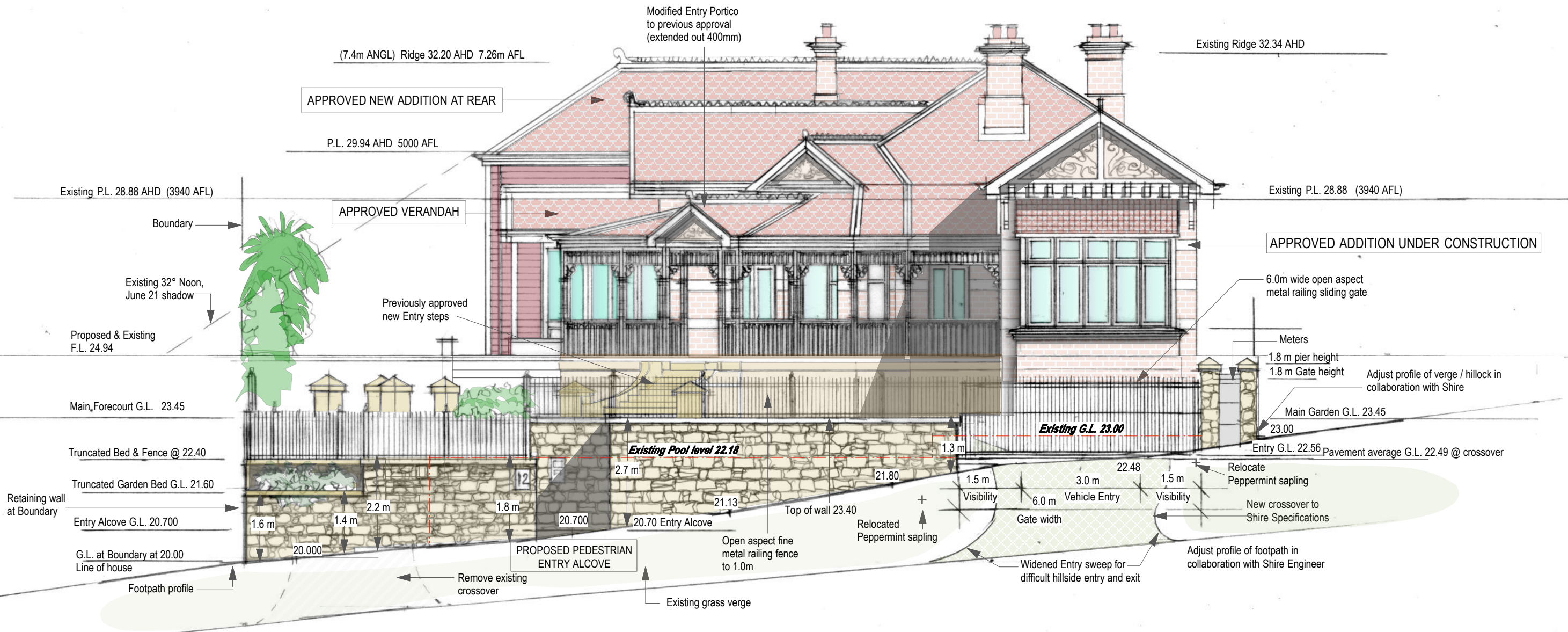
PREVIOUSLY APPROVED 23.45
(CURRENT PROPOSED 23.45 TO 23.42)

PREVIOUSLY APPROVED 23.45
(CURRENT PROPOSED 23.45 & 23.42)

NORTH

PLAN 1:100

Existing brick parapet wall on zero setback



EAST ELEVATION 1:100 Streetscape

GERARD McCANN ARCHITECT

301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M: 0419 947 890 E: gmccann@inet.net.au

SMITH

CLIENT

PROPOSED
SITWORKS

PROJECT

'LAKESIDE'
12 THE ESPLANADE
PEPPERMINT GROVE
LOCATION

ELEVATIONS EAST -
Proposed Streetscape
DRAWING

SCALE

1:100 @ A3

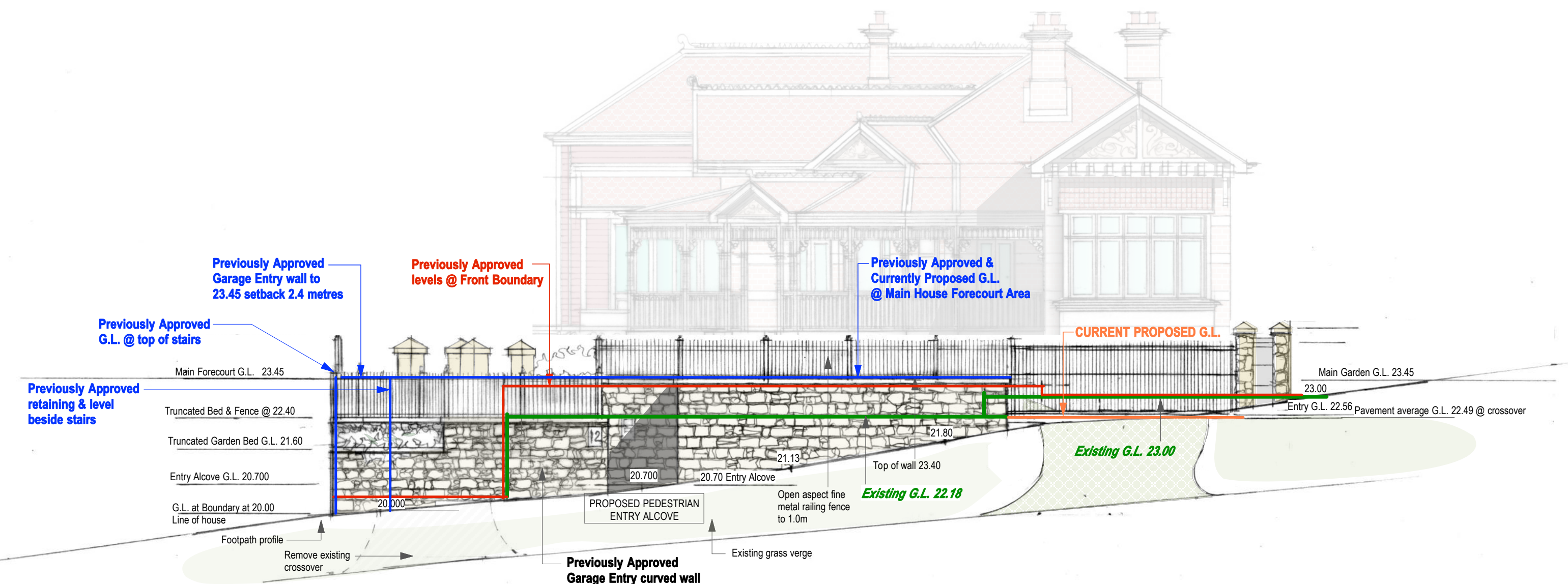
DATE

21 SEPTEMBER 2022

DRAWN

GMCC

21-746 PA04C



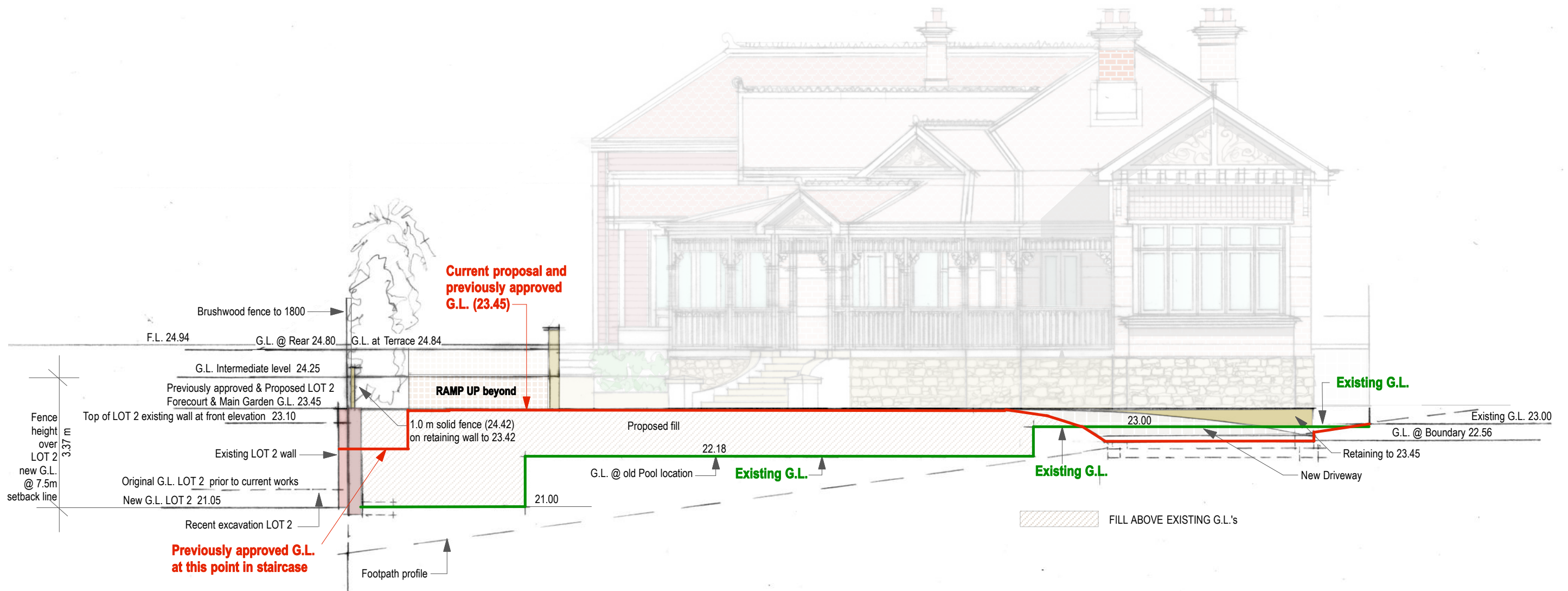
EAST ELEVATION 1:100

Current Proposed Streetscape with Previously Approved Levels Overlay

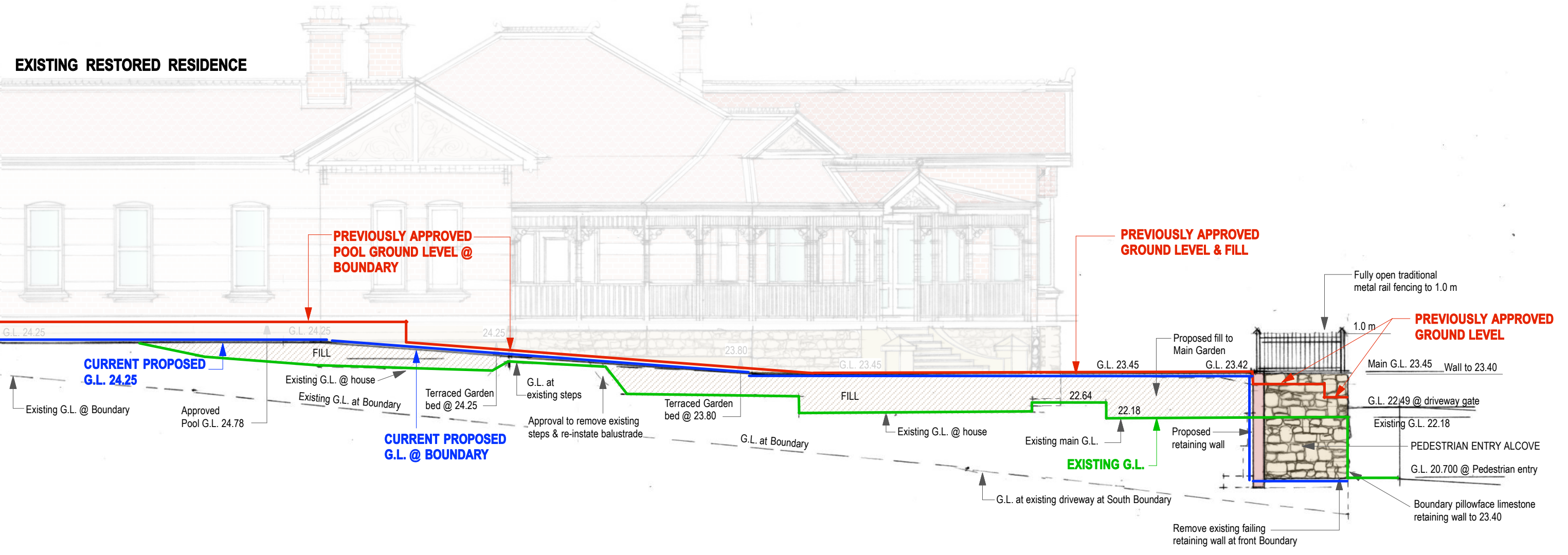


EAST ELEVATION 1:100

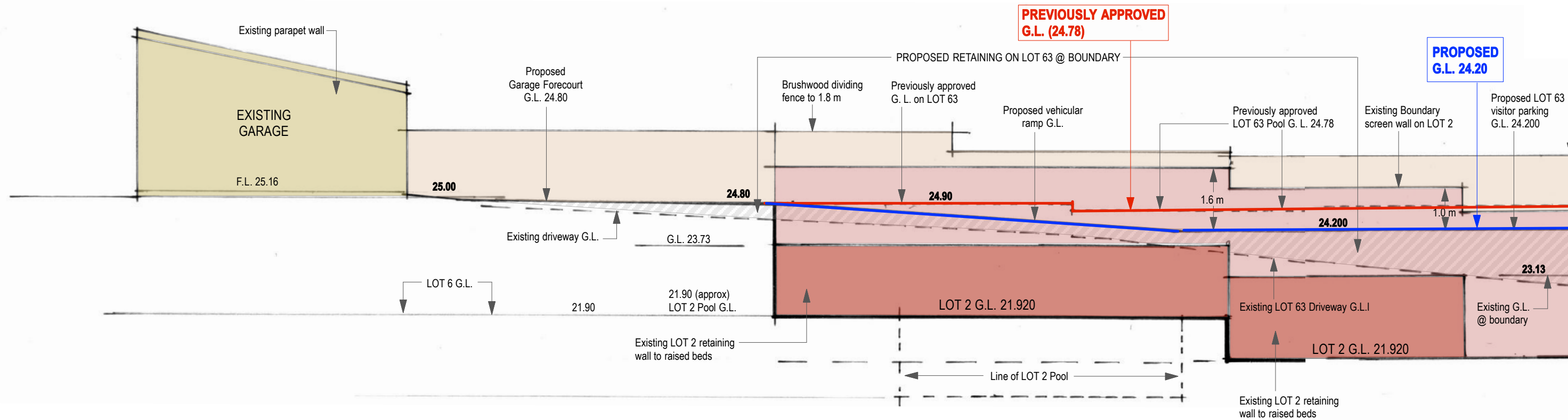
Proposed Streetscape Wall with Existing Wall Outlined

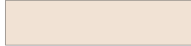





EAST ELEVATION 1:100 EXISTING RESIDENCE
 Section through front setback area at 7.5m setback line



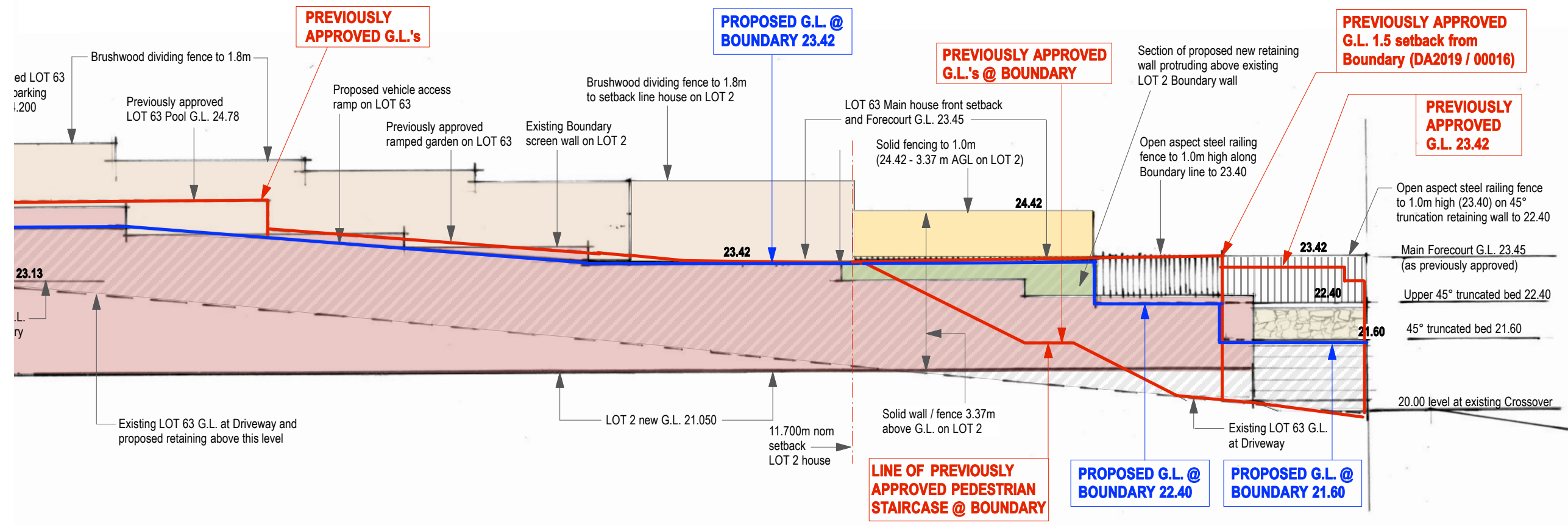
SOUTH ELEVATION 1:100
East End
CROSS SECTION OF FRONT SETBACK
WALL & FILL AT PEDESTRIAN ENTRY ALCOVE



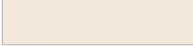





-  BRUSHWOOD DIVIDING FENCE TO 1.8m
-  EXISTING BOUNDARY SCREEN WALL ON LOT 2
-  RETAINING WALLS TO RAISED BEDS ON LOT 2
-  PROPOSED NEW RETAINING WALL ON LOT 63 TO NEW PROPOSED FINISHED GROUND LEVELS

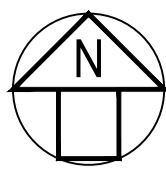
ELEVATION - SOUTH BOUNDARY RETAINING & FENCE West End

1:100



ELEVATION - SOUTH BOUNDARY RETAINING & FENCE 1:100 East End

-  BRUSHWOOD DIVIDING FENCE TO 1.8m
-  EXISTING BOUNDARY SCREEN WALL ON LOT 2
-  RETAINING WALLS TO RAISED BEDS ON LOT 2
-  SECTION OF LOT 63 PROPOSED RETAINING WALL TO 23.45 EXPOSED ABOVE LOT 2 EXISTING BOUNDARY WALL
-  PROPOSED NEW RETAINING WALL ON LOT 63 TO PROPOSED FINISHED GROUND LEVELS
-  SELECTED BRUSHWOOD OR SIMILAR SOLID FENCE TO 1.0m AGL (24.42)

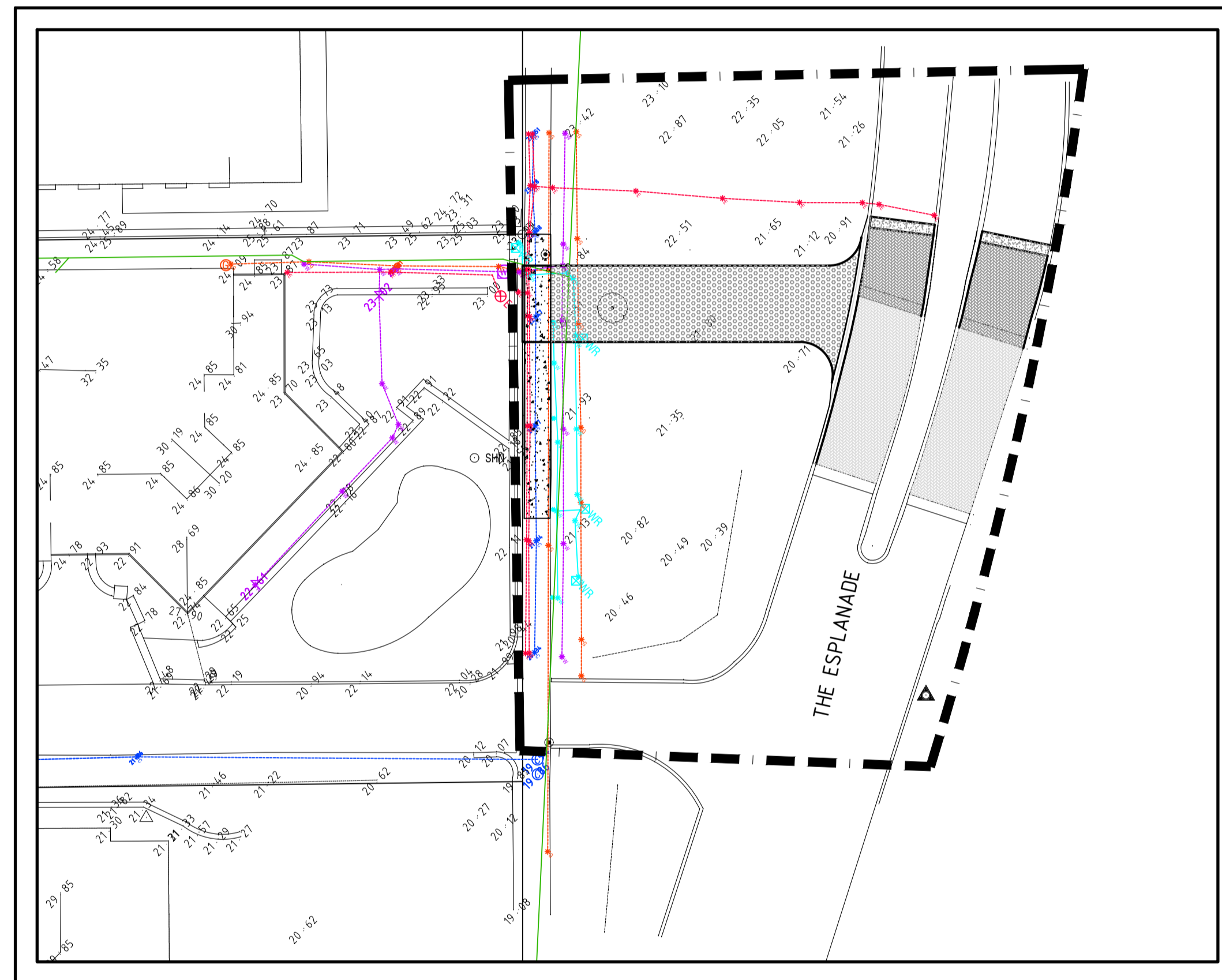


12 THE ESPLANADE

12 THE ESPLANADE PEPPERMINT GROVE, WA
CIVIL WORKS

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NOTES:



DRAWING SCHEDULE	
SHEET NUMBER	SHEET TITLE
CI-00.00	COVER SHEET
CI-01.00	STANDARD NOTES
CI-03.10	CROSSOVER GRADING PLAN
CI-03.50	LINEMARKING PLAN AND TYPICAL DETAILS

1:200 AT A1
0 2m 4m 8m 12m

NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DRAWN	DATE
A	ISSUED FOR INFORMATION	LAR	10/02/2023



PERTH P: 08 6336 9299 MELBOURNE P: 03 8657 9292
A: 74 GOODWOOD PDE, BURSWOOD, WA 6100 A: 1 QUEENS ROAD, MELBOURNE, VIC 3004
E: ENQUIRE@PERITASGROUP.COM.AU E: ENQUIRE@PERITASGROUP.COM.AU

CLIENT:
PLANNING SOLUTIONS

DESIGNED:	DRAWN:	CHECKED:
L.RONCHI	L.RONCHI	E.BIAGIONI-FROUDIST
SURVEY DATUM:	WAFC No:	SCALE:
PCG94		1:1000 @ A1
DWG IS NOT FOR CONSTRUCTION UNLESS SIGNED BELOW:		DATE CREATED:
		10/02/2023

PROJECT:
12 THE ESPLANADE
PEPPERMINT GROVE

TITLE:
COVER SHEET

PROJECT NUMBER:	DWG NUMBER:	REV:
PC22460	CI-00.00	A

GENERAL NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH PERITAS CIVIL SPECIFICATION . BOTH THE CONTRACTOR AND SUBCONTRACTOR ARE DEEMED TO BE FULLY INFORMED OF THE CONTENTS AND REQUIREMENTS OF THE RELEVANT SECTION OF CIVIL SPECIFICATION.
- THE CONTRACTOR SHALL REVIEW ALL DRAWINGS, TOGETHER WITH OTHER ENGI/ARCHITECT DISCIPLINES AND NOTIFY PERITAS IMMEDIATELY OF ANY DISCREPANCIES
- PRIOR TO THE COMMENCEMENT OF THE WORKS, THE CONTRACTOR SHALL CONFIRM THE ALIGNMENTS AND LEVELS OF THE EXISTING SERVICES AT ALL LOCATIONS WHERE THE PROPOSED SERVICES AND OTHER WORKS ARE TO CROSS, CONNECT TO, INSTALLED NEAR TO, OR ARE LOCATED IN CLOSE PROXIMITY TO THE EXISTING SERVICES. ANY WORKS WITHIN THE VICINITY OF THESE SERVICES TO BE CARRIED OUT TO SERVICE AUTHORITIES REQUIREMENTS.
- THE CONTRACTOR SHALL LIAISE WITH ALL RELEVANT AUTHORITIES/SERVICE PROVIDERS TO DETERMINE ALL RELOCATIONS WITHIN THE CONTRACT AREA TO PROGRESS CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN THE QUOTATIONS WHICH ARE TO BE FORWARDED TO THE PRINCIPAL VIA THE SUPERINTENDENT FOR PAYMENT OF THE INVOICES.
- ALL LEVELS ARE IN m TO AHD.
- HORIZONTAL DATUM IS PERTH COASTAL GRID (PCG94).
- THE CONTRACTOR SHALL OBTAIN ALL LEVELS FROM ESTABLISHED BENCHMARK AS PROVIDED BY THE PROJECT SURVEYOR. ALL BENCHMARKS ARE TO BE PROTECTED.
- ALL CO-ORDINATES SHOWN ON THESE DRAWINGS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR TO LIMIT ACCESS ONLY TO THOSE AREAS WITHIN THE EARTHWORKS BOUNDARY UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT. NO MACHINERY MOVEMENTS TO OCCUR OUTSIDE OF THE EARTHWORKS BOUNDARY AS SHOWN ON THE EARTHWORKS DRAWING.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION, COUNCIL REQUIREMENTS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED BY THE SUPERINTENDENT. ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION PRIOR TO PROCEEDING WITH THE WORKS.
- ANY AREAS DISTURBED BY THE WORKS SHALL BE MADE GOOD UPON COMPLETION OF THE WORKS AT THE CONTRACTORS EXPENSE.
- DETAIL DRAWINGS INCLUDED IN THIS SET TO BE PRECEDENCE OVER REFERENCED DRAWINGS.
- NO BURNING OR BLASTING IS PERMITTED ON SITE.

SITE INSPECTION

- THE CONTRACTOR SHALL NOTIFY PERITAS CIVIL OF THE DATE OF WORK COMMENCEMENT ON SITE.
- SITE INSPECTIONS AT ANY STAGES OF CONSTRUCTION WILL BE REQUIRED TO BE CARRIED OUT BY REPRESENTATIVES OF PERITAS CIVIL. THE CONTRACTOR SHALL LIAISE WITH PERITAS CIVIL TO ARRANGE FOR NECESSARY INSPECTIONS.
- A MINIMUM OF 24 HOURS NOTICE IS REQUIRED FOR ANY SITE INSPECTION.

ROADS NOTES

- THE CONTRACTOR SHALL INSTALL ALL DUCTS FOR SERVICE PROVIDERS AT ROAD CROSSINGS.
- ALL KERBING TO BE MOUNTABLE TYPE UNLESS OTHERWISE SHOWN. KERBING ON CORNER SWEEPS TO BE SEMI MOUNTABLE. REFER TO THE COUNCIL STANDARD DETAILS.
- TRANSITIONS BETWEEN DIFFERENT KERB SECTIONS SHALL BE MADE OVER A LENGTH OF 2m AND SHALL COMMENCE AT THE TANGENT POINT OF KERB RETURNS IN THE CASE OF INTERSECTIONS
- ALL CONSTRUCTION SHALL MAKE SMOOTH CONNECTION TO EXISTING WORK.
- TRAFFIC ISLANDS TO HAVE SEMI-MOUNTABLE KERBING WITH BRICK INFILL OR EQUIVALENT.
- ALL PAVEMENT TO BE CONSTRUCTED USING BLACK ASPHALT UNLESS OTHERWISE NOTED. ALL INTERSECTIONS TO BE SURFACED WITH RED ASPHALT.
- WHERE POSSIBLE STREET NAME PLATES TO BE INSTALLED TO LIGHT POLES OR ALTERNATIVELY USE SIGN POST WITH PLATES.
- ALL STREET SIGNS ARE TO BE APPROVED COUNCIL STREET SIGNS.

EARTHWORKS NOTES

- ALL LOTS TO BE CLEARED AND STRIPPED OF 150mm TOPSOIL.
- THE CONTRACTOR SHALL BE BOUND TO THE "A GUIDELINE FOR MANAGING THE IMPACTS OF DUST AND ASSOCIATED CONTAMINANTS FROM LAND DEVELOPMENT SITES, CONTAMINATED SITES REMEDIATION AND OTHER RELATED ACTIVITIES" PUBLISHED BY THE D.E.C. - MARCH 2011.
- AREAS OF FILL TO BE COMPACTED IN LAYERS IN ACCORDANCE WITH THE SPECIFICATION.
- REFERENCE SHALL BE MADE TO THE RELEVANT CLAUSES OF THE EARTHWORKS SPECIFICATION WHERE WORK IS WITHIN PROPOSED ROAD RESERVES.
- THE ENTIRE EARTHWORKED AREA (EXCEPT ROAD PAVEMENTS) SHALL BE STABILISED WITH HYDROMULCH IN ACCORDANCE WITH THE SPECIFICATION. THE CONTRACTOR SHALL PROVIDE DUSTWIND FENCING AND ADEQUATE DUST CONTROL DURING CONSTRUCTION. REFER TO SPECIFICATION.
- THE CONTRACTOR SHALL TAKE CARE WITH THE USE OF COMPACTION EQUIPMENT WITHIN THE VICINITY OF THE EXISTING RESIDENCES SO AS TO AVOID VIBRATION DAMAGE TO BUILDINGS. COST OF REPAIRS FOR ANY DAMAGE INCURRED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WHERE SOME EXISTING TREES WITHIN FINISHED SURFACE AREA ARE IDENTIFIED FOR RETENTION THEY WILL BE FLAGGED AND ARE NOT TO BE DISTURBED. CLEARING IS NOT TO COMMENCE UNTIL THE TREES ARE IDENTIFIED BY THE SUPERINTENDENT. TREES FLAGGED ARE TO BE PROTECTED FROM MACHINERY AND CONSTRUCTION ACTIVITIES. (MIN. SEPARATION 3m FROM HAUL ROUTE TO BASE OF TREE)
- FOR VEGETATION NOTED TO BE CLEARED, THE CONTRACTOR SHALL MULCH THE VEGETATION AND DISPOSE OFF SITE.
- CONTRACTOR TO STRIP TOPSOIL AND STOCKPILE ON SITE IN AREAS AGREED TO BY THE SUPERINTENDENT. TOPSOIL TO BE REMOVED OFF SITE.
- FINISHED SURFACE CONTOURS SHOWN ARE TOP OF PAVEMENT. CONTRACTOR TO CONSTRUCT EARTHWORKS TO BOX OUT STAGE.
- CONTRACTOR TO REMOVE FROM SITE ALL RUBBISH (ie. CAR BODIES, DRUMS, ETC) WITHIN THE EARTHWORKS BOUNDARY TO AN APPROVED LOCAL AUTHORITY DISPOSAL SITE. ALL FEES TO BE PAID BY THE CONTRACTOR.
- AT EDGE OF EARTHWORKS BOUNDARY, CONTRACTOR TO BATTER AT 1 IN 6 TO NATURAL SURFACE. UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTE THAT NON-TRAFFICABLE SUBTERRANEAN STRUCTURES AND/OR VOIDS (SOAKWELLS, ETC.) MAY EXIST ON THE SITE AND SHALL TAKE ADEQUATE MEASURES TO LOCATE THESE PRIOR TO COMMENCING WORKS AND SHALL ADOPT SAFE WORK PRACTICES THAT OBTAIN ANY RISK THAT SUCH STRUCTURES MAY PRESENT.
- THE SUPERINTENDENT HAS NOT INVESTIGATED THE SITE & MAKES NO REPRESENTATION AS TO WHAT MAY EXIST ON OR BELOW THE SITE. THE CONTRACTOR SHALL MAKE THEIR OWN INVESTIGATIONS AS TO THE NATURE OF THE SUBSURFACE CONDITIONS OF THE SITE.
- PRIOR TO EARTHWORKS THE CONTRACTOR SHALL LOCATE ANY SOAKWELLS, SEPTIC TANKS, BORES, STRUCTURES AND DELETERIOUS MATERIAL AND REMOVE AND BACKFILL. ANY UNUSED PIPEWORK LOCATED SHALL BE REMOVED. SEPTIC TANKS SHALL BE DECOMMISSIONED AS PER THE LOCAL AUTHORITY REQUIREMENTS.
- BORES SHALL BE DECOMMISSIONED IN ACCORDANCE WITH THE "MINIMUM CONSTRUCTION REQUIREMENTS OF WATER BORES IN AUSTRALIA" PUBLISHED BY NATIONAL UNIFORM DRILLERS LICENSING COMMITTEE - FEBRUARY 2012.
- THE CONTRACTOR SHALL RAKE THE SITE AND STOCKPILES AND REMOVE UNSUITABLE MATERIAL OFF SITE. THE STOCKPILES MAY REQUIRE SCREENING TO SEPARATE THE UNSUITABLE MATERIAL.
- DELETERIOUS AND UNSUITABLE MATERIAL SHALL BE REMOVED OFF SITE.
- IMPORTED FILL SHALL BE CLEAN AND FREE DRAINING SAND. CLEAN FILL CERTIFICATION IS TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING TO EXISTING LOTS WHERE REQUIRED.
- THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND COMPACTION CERTIFICATES UPON COMPLETION OF EARTHWORKS.
- THE MAXIMUM SLOPE FROM VERGE TO BUILDING PAD SHALL BE 1 VERTICAL TO 6 HORIZONTAL. (SEE STANDARD DETAIL).
- EARTHWORKS TO MATCH NEATLY TO EXISTING LEVELS AND ADJOINING PROPERTIES. IF A BATTER IS REQUIRED, THE FILL SHALL BE CARRIED 1m INSIDE THE DEVELOPMENT (NOT ADJOINING PROPERTY) AND BATTERED AT A MAXIMUM GRADE 1:4.

QUALITY ASSURANCE

- THE FOLLOWING QUALITY ASSURANCE DOCUMENTATION SHALL BE SUBMITTED AND APPROVED BY THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF SITE WORKS
 - IMPORT FILL - CLEAN FILL CERTIFICATE
 - IMPORT FILL - PARTICLE SIZE DISTRIBUTION, ATTERBERG LIMITS, PERMEABILITY & ORGANIC CONTENT
 - ROAD SUB-BASE - PARTICLE SIZE DISTRIBUTION, CALIFORNIA BEARING RATIO AND MATERIAL PROPERTIES AS OUTLINED IN THE CONTRACT SPECIFICATION.
 - ROAD BASE - PARTICLE SIZE DISTRIBUTION, CALIFORNIA BEARING RATIO AND MATERIAL PROPERTIES AS OUTLINED IN THE CONTRACT SPECIFICATION.
 - PRIME MIX
 - ASPHALT - MIX PROPERTIES
 - LIMESTONE BLOCKS - MATERIAL PROPERTIES AS OUTLINED IN THE CONTRACT SPECIFICATION
- THE FOLLOWING QUALITY ASSURANCE DOCUMENTATION SHALL BE SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL UPON COMPLETION OF WORKS
 - COMPACTION CALIBRATION CERTIFICATE
 - EARTHWORKS - CUT/FILL COMPACTION CERTIFICATE
 - ROAD SUB-GRADE - COMPACTION CERTIFICATE
 - ROAD SUB-BASE - COMPACTION CERTIFICATE
 - ROAD BASE - COMPACTION CERTIFICATE
 - ASPHALT - CORE SAMPLE TESTS
 - DRAINAGE & SERVICES - COMPACTION CERTIFICATE
 - RETAINING WALL - COMPACTION CERTIFICATE
 - RETAINING WALL - ENGINEERING CERTIFICATE
- REFER TO CONTRACT SPECIFICATION FOR FULL QUALITY ASSURANCE REQUIREMENTS.

DRAINAGE NOTES

- UNLESS OTHERWISE DETAILED, STORMWATER DRAINAGE DETAILS SHALL BE REFERRED TO THE COUNCIL STANDARD DRAWINGS.
- STORMWATER PIPES ARE TO BE 300 DIA. REINFORCED CONCRETE RUBBER RING JOINT (CLASS '2'). UNLESS OTHERWISE NOTED.
- JUNCTION AND ENTRY PITS ARE TO BE LOCATED IN ACCORDANCE WITH THE SETTING OUT INFORMATION SUPPLIED, IRRESPECTIVE OF THE INDICATED PIPE LENGTHS.
- ALL PIPE DISTANCES ARE MEASURED CENTRE TO CENTRE OF PITS AND PIPES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ALL EXISTING SERVICES. ALL SEWER CROSSINGS SHALL BE PROVIDED WITH EITHER TIMBER BEARERS OR KEEL WITH TIMBER PILES AS REQUIRED.
- WHERE CONNECTING INTO EXISTING DRAINAGE, THE CONTRACTOR IS TO PICK UP UPSTREAM AND DOWNSTREAM INVERT LEVELS OF EXISTING DRAINAGE LINE IMMEDIATELY DOWNSTREAM OF PROPOSED CONNECTION. THE CONTRACTOR TO SUPPLY THIS SURVEY INFORMATION TO THE SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF ANY DRAINAGE CONSTRUCTION. THE CONTRACTOR TO THEN AWAIT NOTIFICATION FROM THE SUPERINTENDENT THAT DRAINAGE CONSTRUCTION MAY COMMENCE.
- PIPE CONNECTIONS TO PITS TO BE MORTARED INSIDE/OUTSIDE WITH APPROVED MIX IN ACCORDANCE WITH SPECIFICATIONS.
- LOT CONNECTION PIT LIDS TO BE SET TO MATCH LOT EARTHWORKS.

AS CONSTRUCTED DOCUMENTATION

- THE FOLLOWING AS CONSTRUCTED DOCUMENTATION SHALL BE SUBMITTED TO THE SUPERINTENDENT UPON COMPLETION OF THE WORKS
 - EARTHWORKS AS CONSTRUCTED PLAN - INCLUDING CLAY SURFACE AND OTHER SURFACES WHICH MAY BE REQUIRED BY THE PROJECT SCOPE.
 - DRAINAGE AS CONSTRUCTED PLAN
 - ROADS AS CONSTRUCTED PLAN
- THE FOLLOWING AS CONSTRUCTED DOCUMENTATION SHALL BE DRAFTED TO THE RELEVANT AUTHORITIES STANDARD AND SUBMITTED TO THE SUPERINTENDENT UPON COMPLETION OF THE WORKS DRAINAGE AS CONSTRUCTED PLAN - D-SPEC STANDARDS.
 - ROADS AS CONSTRUCTED PLAN - R-SPEC STANDARDS.
- REFER TO CONTRACT SPECIFICATION FOR AS CONSTRUCTED REQUIREMENTS AND RESPONSIBILITIES. IT SHALL BE NOTED THAT LICENSED SURVEY IS REQUIRED FOR WATER CORPORATION'S AS CONSTRUCTED DOCUMENTATION.

NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DRAWN	DATE
A	ISSUED FOR INFORMATION	LAR	10/02/2023



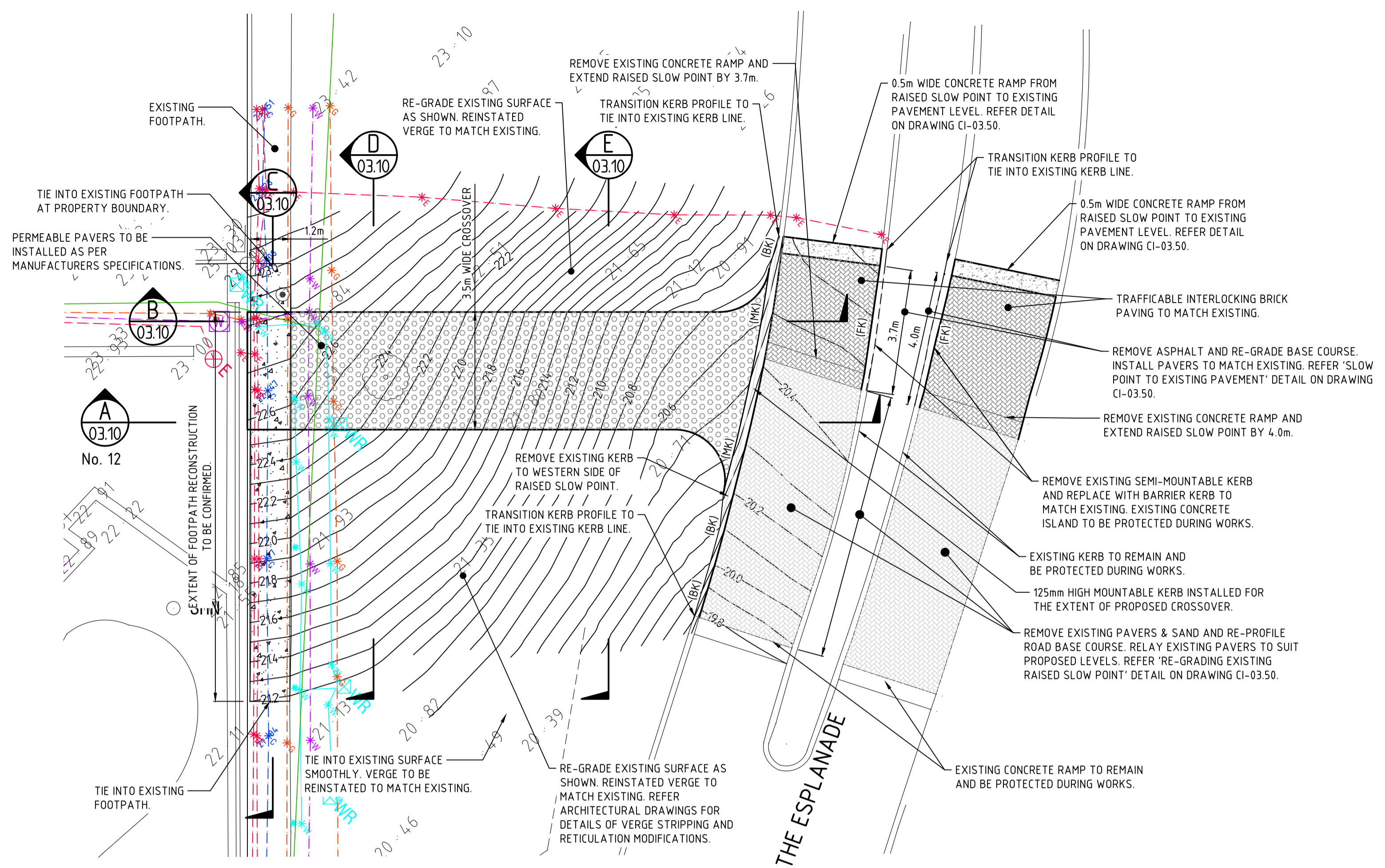
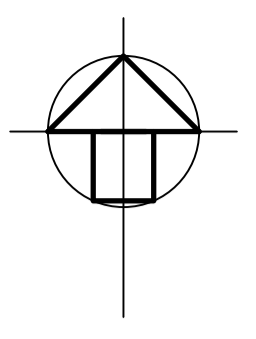
CLIENT:
 PLANNING SOLUTIONS

DESIGNED:	DRAWN:	CHECKED:
L.RONCHI	L.RONCHI	E.BIAGIONI-FROUDIST
SURVEY DATUM:	W.A.P.C. No:	SCALE
PCG94		1:1000 @ A1
DWG IS NOT FOR CONSTRUCTION UNLESS SIGNED BELOW:		DATE CREATED:
		10/02/2023

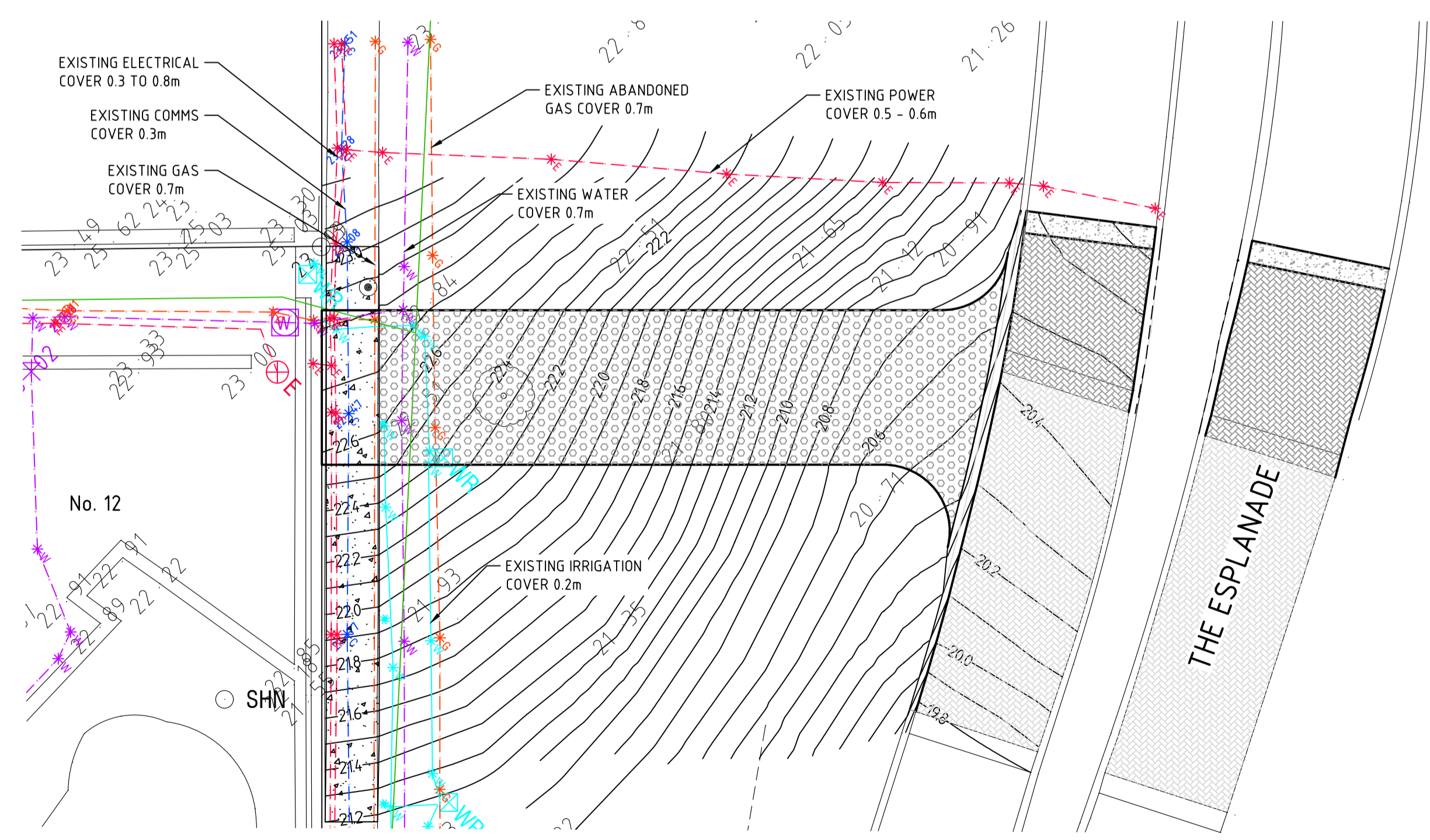
PROJECT:
 12 THE ESPLANADE
 PEPPERMINT GROVE

TITLE:
 STANDARD NOTES

PROJECT NUMBER	DRG NUMBER	REV
PC22460	CI-01.00	A 85



CROSSOVER GRADING PLAN
SCALE 1:100



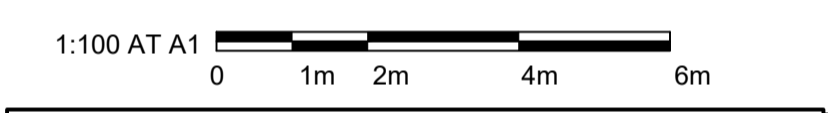
CROSSOVER EXISTING SERVICES PLAN
SCALE 1:100

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NOTES:
1. REFER DRAWING PC22460-CI-03.10 FOR SECTIONS

LEGEND

- - - - - EXISTING POWER
- - - - - EXISTING GAS
- - - - - EXISTING COMMS
- - - - - EXISTING SEWER
- - - - - EXISTING WATER
- - - - - EXISTING IRRIGATION
- 23.7 — FINISHED SURFACE CONTOUR
- 22 — EXISTING SURFACE CONTOUR
- (BK) PROPOSED BARRIER KERB
- (MK) PROPOSED MOUNTABLE KERB
- (FK) PROPOSED FLUSH KERB
- 23.7 — FINISHED SURFACE CONTOUR (MAJ)
- 22 — EXISTING SURFACE CONTOUR
- [Pattern] PROPOSED CONCRETE RAMP / FOOTPATH
- [Pattern] EXISTING BRICK PAVING
- [Pattern] PROPOSED BRICK PAVING
- [Pattern] PROPOSED PERMEABLE PAVERS (MOODIE GRASS PAVER OR SIMILAR APPROVED)
- [Pattern] AREA OF VERGE TO BE RE-GRADED



NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DRAWN	DATE
A	ISSUED FOR INFORMATION	LAR	10/02/2023

peritas

PERTH P: 08 6336 9299 A: 74 GOODWOOD PDE, BURSWOOD, WA 6100 E: ENQUIRE@PERITASGROUP.COM.AU

MELBOURNE P: 03 8657 9292 A: 1 QUEENS ROAD, MELBOURNE, VIC 3004 E: ENQUIRE@PERITASGROUP.COM.AU

CLIENT: PLANNING SOLUTIONS

DESIGNED:	DRAWN:	CHECKED:
L.RONCHI	L.RONCHI	E.BIAGIONI-FROUDIST
SURVEY DATUM:	WAPC No:	SCALE:
PCG94		1:1000 @ A1
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		10/02/2023

PROJECT: 12 THE ESPLANADE PEPPERMINT GROVE

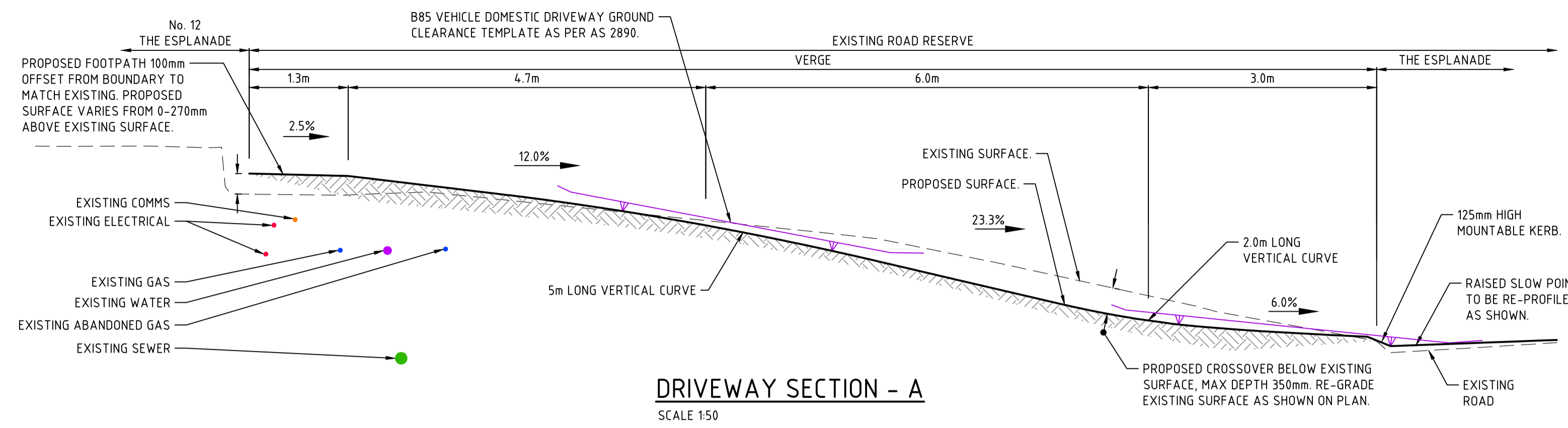
TITLE: CROSSOVER GRADING PLAN

PROJECT NUMBER:	DRG NUMBER:	REV:
PC22460	CI-03.00	A

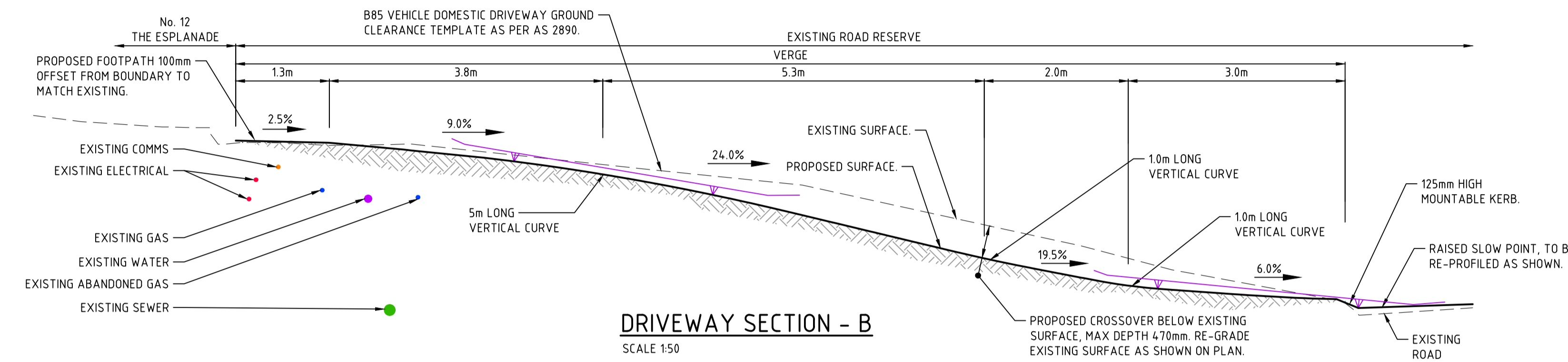
WARNING
BEWARE OF UNDERGROUND SERVICES

The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

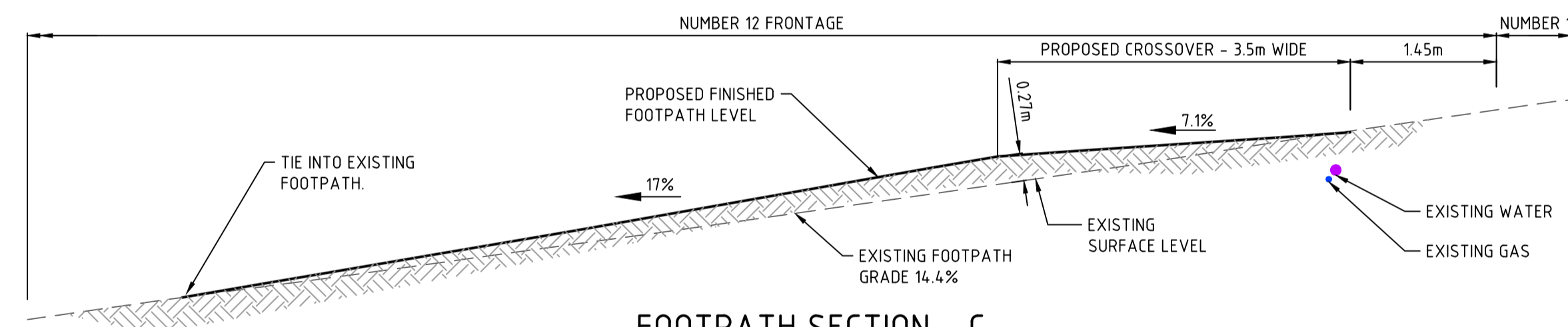
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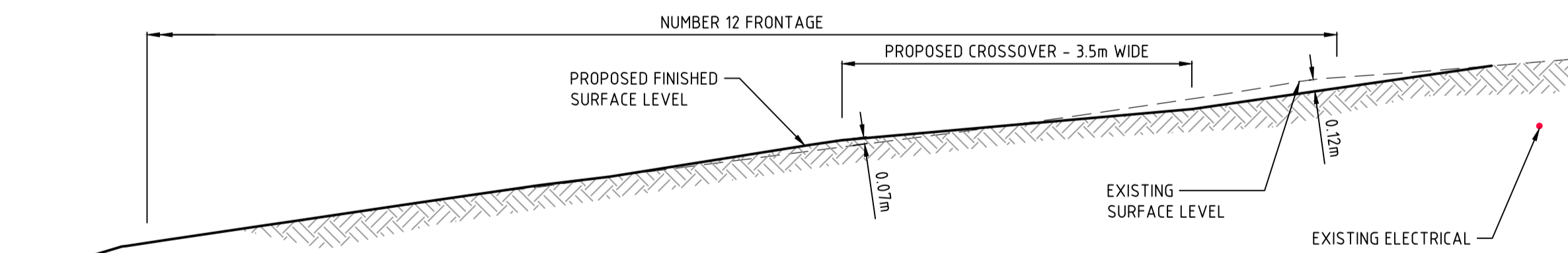
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 SCALE 1:50



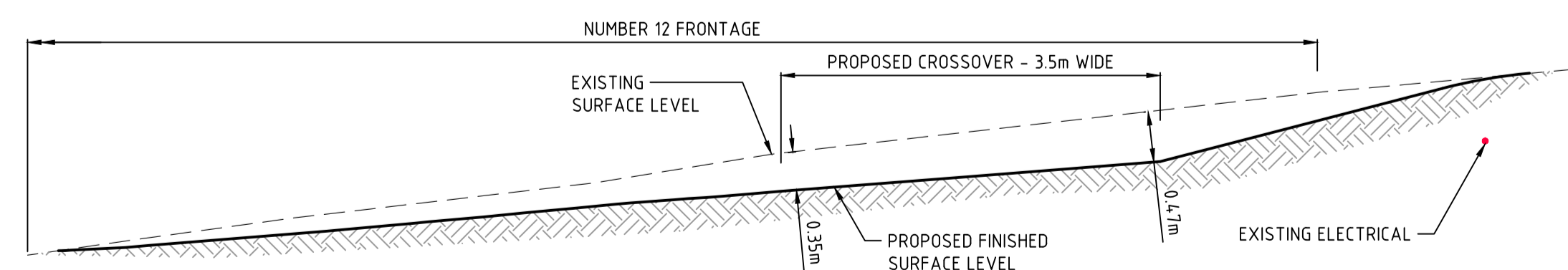
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 SCALE 1:50



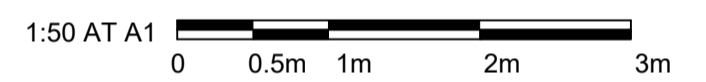
FOOTPATH SECTION - C
 SCALE 1:50



SECTION - D
 SCALE 1:50



SECTION - E
 SCALE 1:50



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 PLANNING SOLUTIONS

DESIGNED:	DRAWN:	CHECKED:
L.RONCHI	L.RONCHI	E.BIAGIONI-FROUDIST
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		10/02/2023

PROJECT:
 12 THE ESPLANADE
 PEPPERMINT GROVE

TITLE:
 CROSSOVER SECTIONS

PROJECT NUMBER	DRG NUMBER	REV
PC22460	CI-03.10	A

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NOTES:

ROAD WORKS NOTES:

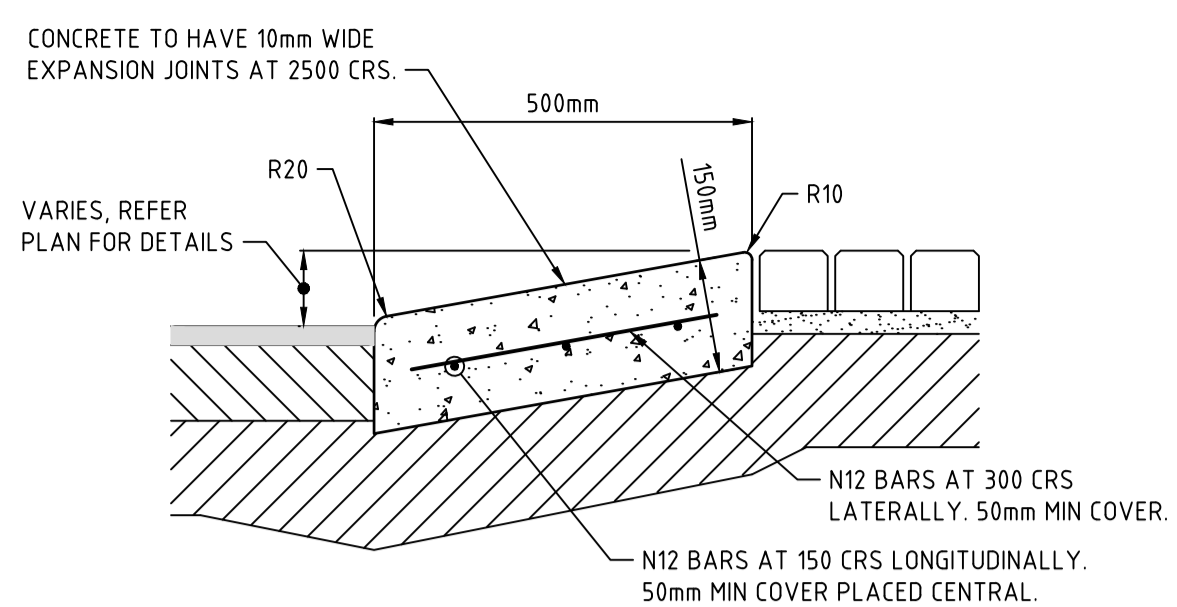
1. CONTRACTOR TO NOTE THAT CONTOURS SHOWN DETAIL FINISHED SURFACE. CONTRACTOR TO MAKE ALLOWANCE FOR BOX CUT.
2. DRAWING TO BE READ IN CONJUNCTION WITH STANDARD NOTES AND TYPICAL DETAILS.

KERB NOTES:

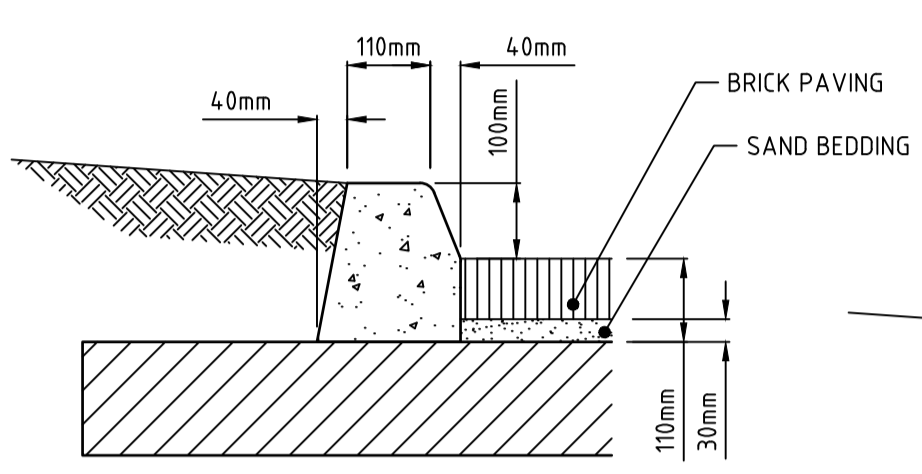
1. EXPANSION JOINTS AND CRACK CONTROL JOINTS SHALL BE IN ACCORDANCE WITH THE SPECIFICATION.
2. BACKFILL BEHIND KERB SHALL BE COMPACTED TO 90% MDD IN ACCORDANCE WITH THE SPECIFICATION.
3. CONCRETE TO BE 32MPa COMPRESSIVE STRENGTH AT 28 DAYS.
4. MAXIMUM AGGREGATE 10mm.
5. MAXIMUM SLUMP 50mm.
6. NEW KERB TO BE PROTECTED FROM TRAFFIC FOR A MINIMUM OF 7 DAYS.
7. ALL KERBS TO BE FIBRE REINFORCED. (AS PER PERITAS SPECIFICATION)
8. ALL KERBS TO BE KEYS ON RADII LESS THAN 40m, ALL ISLANDS AND PARKING EMBAYMENTS.

FOOTPATH NOTES:

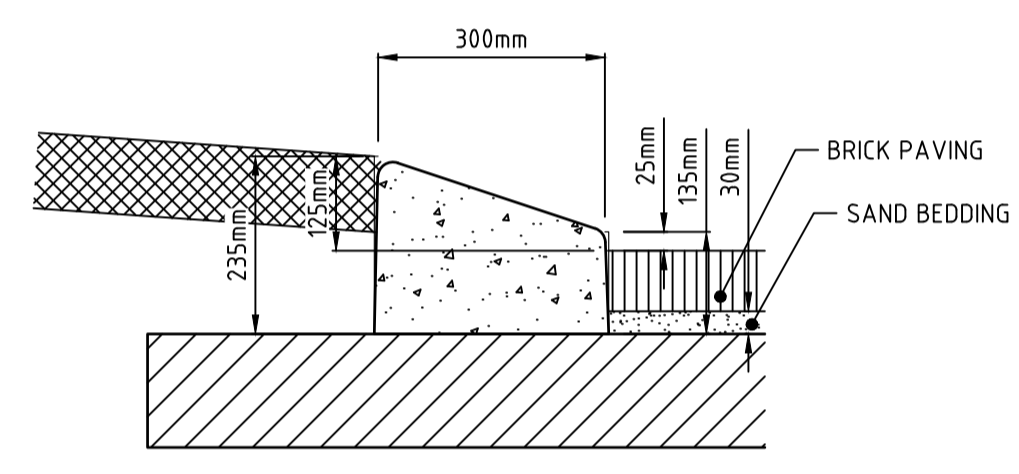
1. CONCRETE SHALL BE 32 MPa COMPRESSIVE STRENGTH AT 28 DAYS FROM AN APPROVED PRE-MIX BATCH PLANT.
2. MAXIMUM AGGREGATE SIZE 20mm AND MAXIMUM SLUMP OF 80mm.
3. CONTRACTOR TO INSTALL "ABEFLX" OR APPROVED EQUIVALENT IN LOCATIONS WHERE CONCRETE PAVEMENT ABUTS STRUCTURES.
4. FOOTPATH ADJACENT RETAINING WALLS TO HAVE FULL DEPTH EXPANSION JOINT FULL LENGTH ABUTTING WALL. CONTRACTION JOINTS TO BE LOCK JOINT TYPE. GROOVING OF CONCRETE IS NOT ACCEPTABLE.
5. FOR KERB ALIGNED PATHS JOINTS LOCATIONS ARE TO MATCH KERB JOINTS WHERE POSSIBLE.



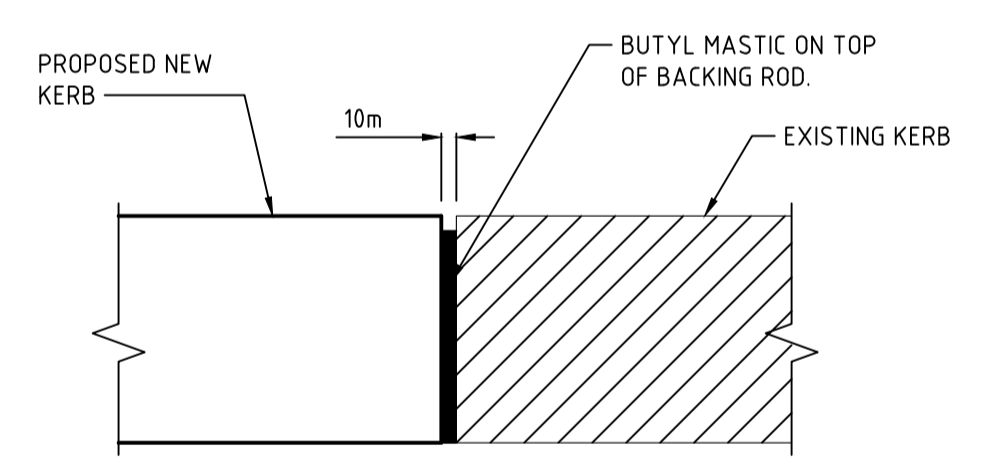
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 SCALE 1:10



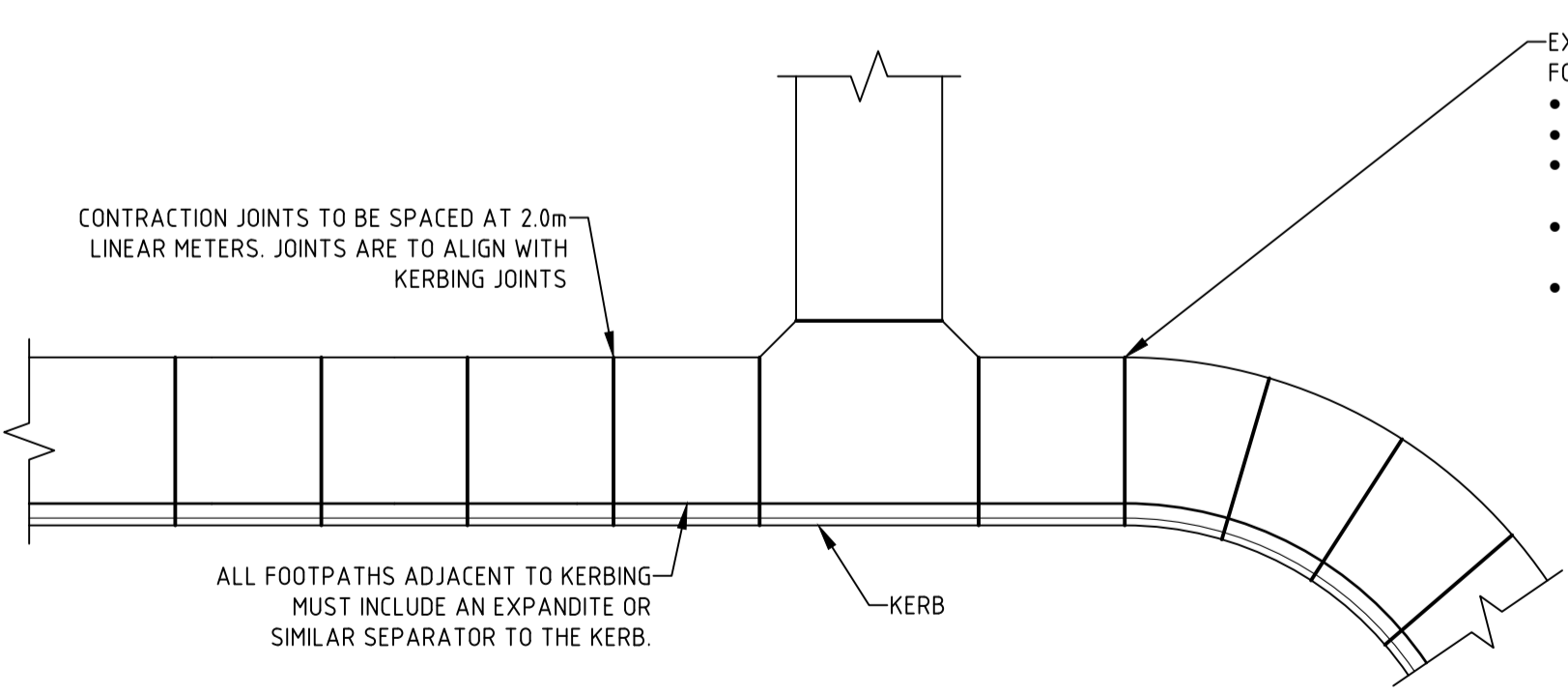
BARRIER KERB DETAIL
 SCALE 1:10



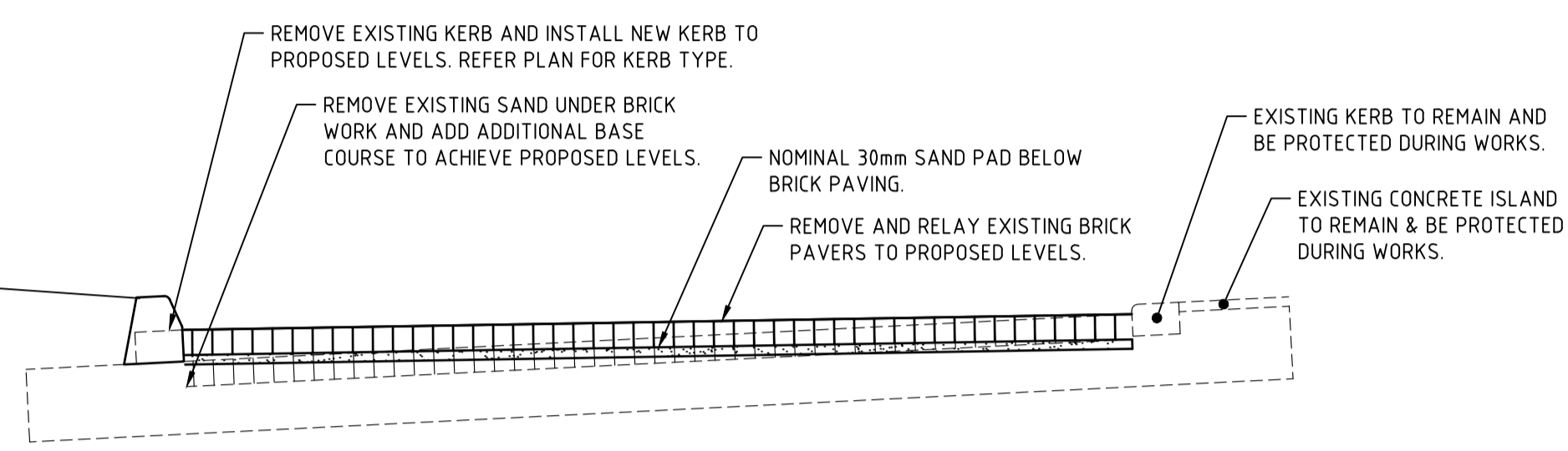
MOUNTABLE KERB DETAIL
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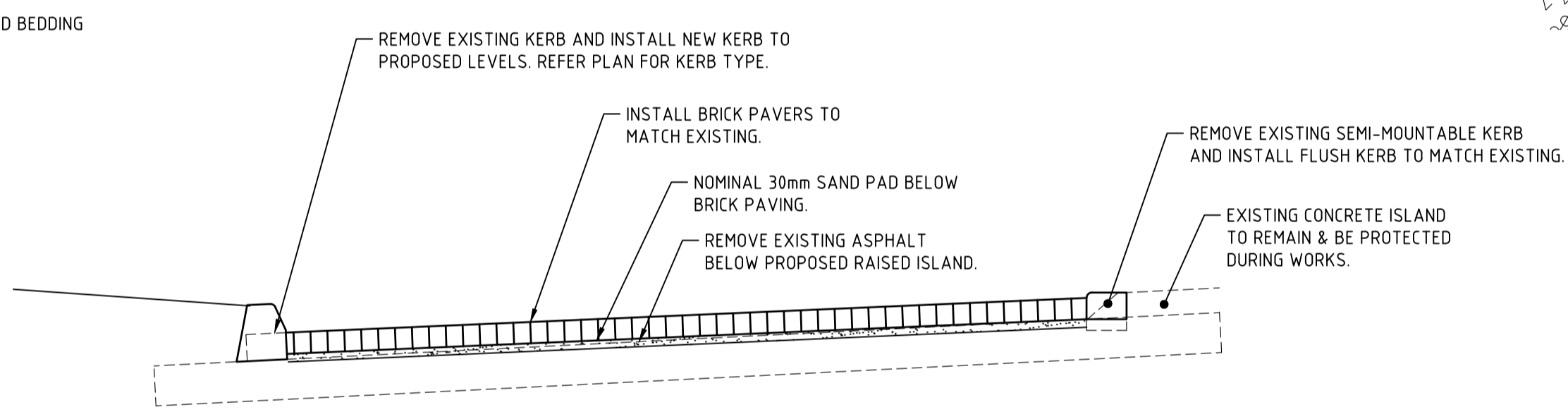
KERB JOINT DETAIL
 SCALE 1:5



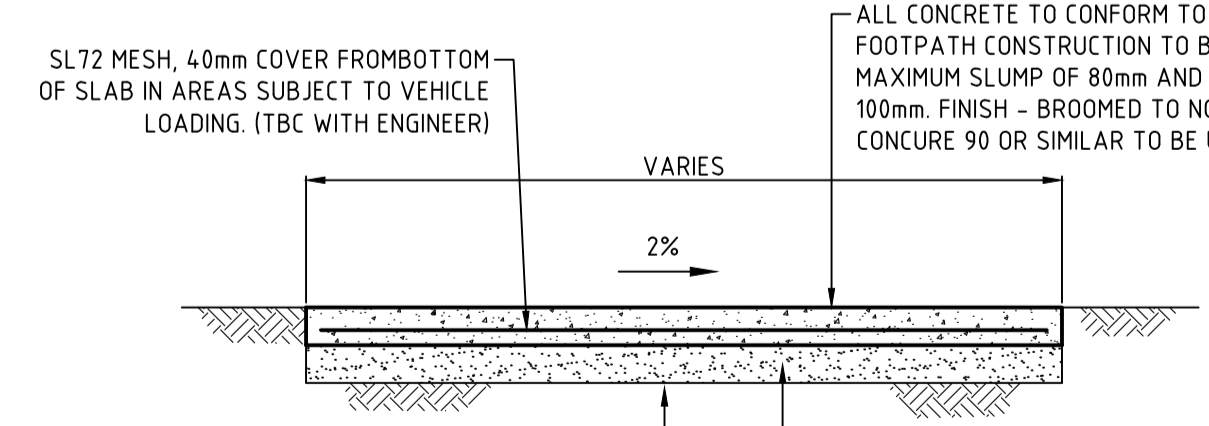
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 SCALE 1:100



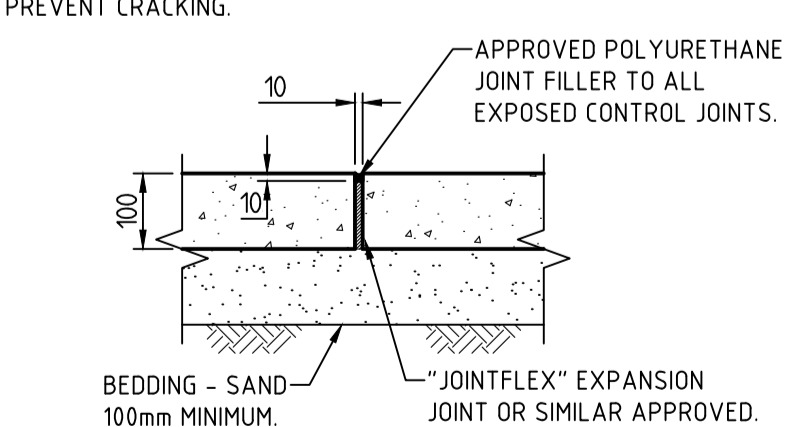
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 SCALE 1:20



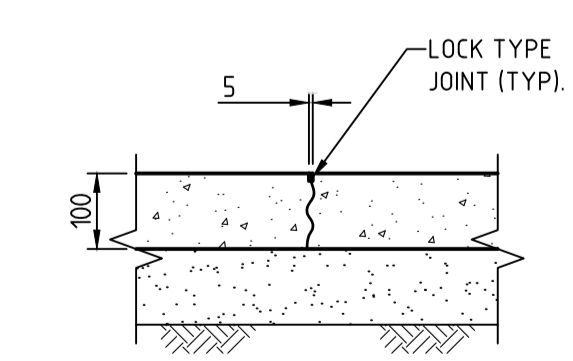
RAISED SLOW POINT TO EXISTING PAVEMENT
 SCALE 1:20



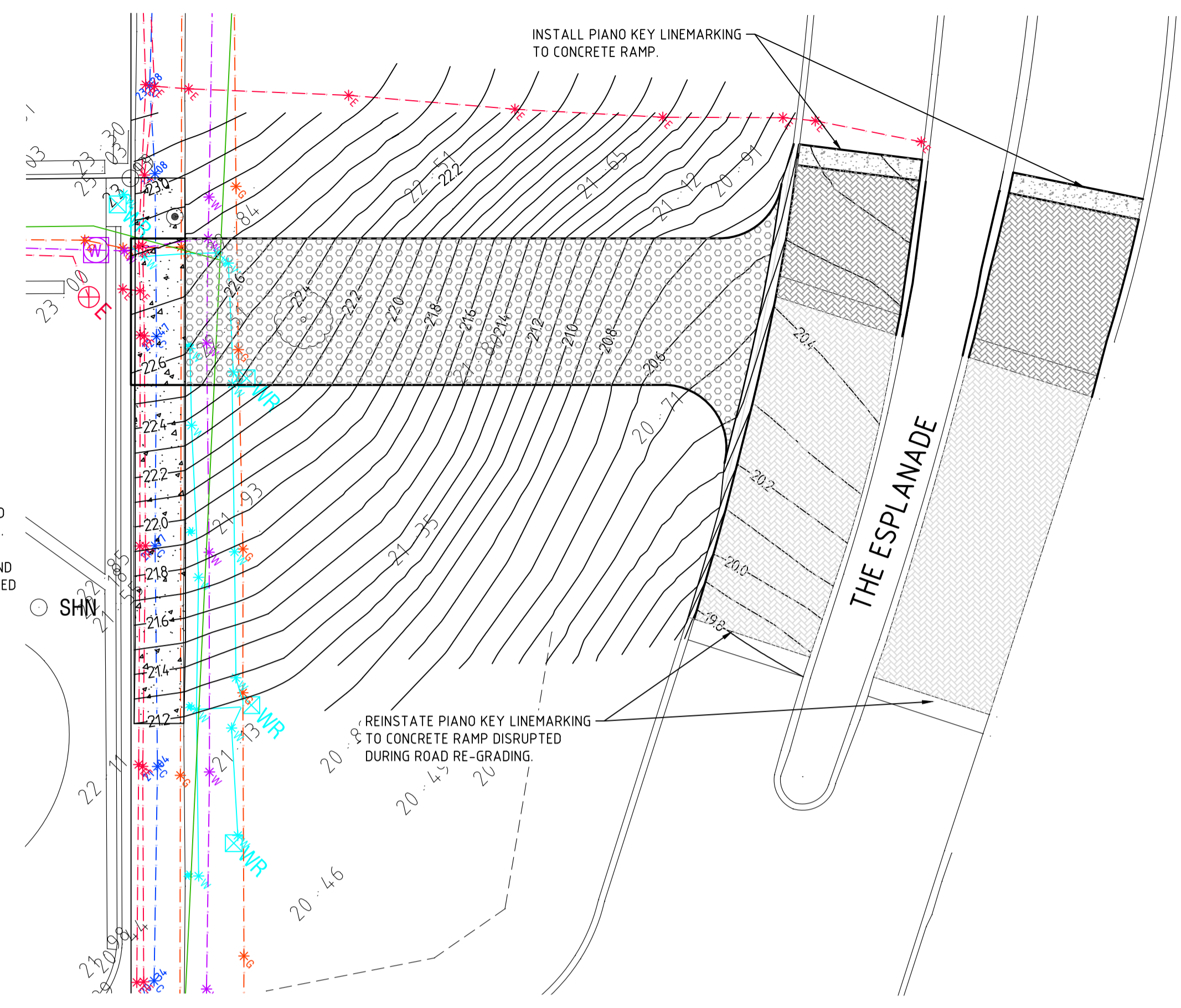
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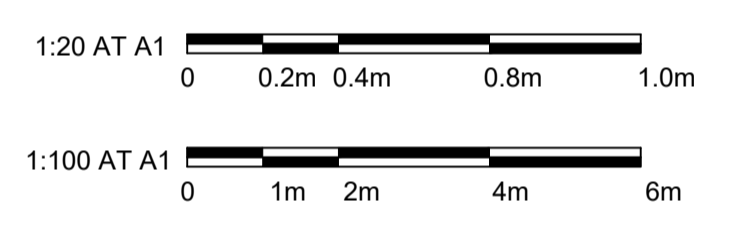
CONCRETE FOOTPATH EXPANSION JOINT
 SCALE 1:100



CONCRETE FOOTPATH CONTRACTION JOINT
 SCALE 1:100



LINEMARKING PLAN
 SCALE 1:100



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TITLE:
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 AND TYPICAL DETAILS

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Ordinary Council Meeting

8.1.2 – 28 The Esplanade

**Withdrawn by proponent
10th March 2023**



Ordinary Council Meeting

8.1.3 – Scheme Amendment No.2
Recoding Lot 24 and Lot 26 Johnston



ROWE
GROUP

REQUEST TO INITIATE SCHEME AMENDMENT

RECODING FROM RESIDENTIAL 'R15' TO 'R40'
LOT 24 & LOT 26 (NO.12) JOHNSTON STREET,
PEPPERMINT GROVE

DOCUMENT CONTROL

Printed 16 February 2023

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VERSION	FILE NAME	PREPARED BY	APPROVED BY	DATE
1	9673_22sep01R_km	Kieran McGovern	David Maiorana	17/11/2022
2	9673_22sep01Rv2_km	Kieran McGovern	David Maiorana	08/02/2023

This report has been authorised by;



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Manager Town Planning



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▲ ATTACHMENTS

1. CERTIFICATES OF TITLE
2. GOOGLE STREET VIEW – LOT 24 JOHNSTON STREET & LOT 26 JOHNSTON STREET (MARCH 2021)

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1. RESIDENTIAL DESIGN CODES – R40 PROVISIONS



1. INTRODUCTION

Rowe Group acts on behalf of the Shire of Peppermint Grove and a private landowner in relation to this proposal for Lot 24 & Lot 26 (No.12) Johnston Street, Peppermint Grove (**the subject site**).

The subject site is located directly opposite Cottesloe Primary School and is situated approximately 125m from commercial tenancies (including IGA) along Stirling Highway, 600m from Mosman Park Train Station and 700m from Cottesloe Train Station.

Proximity to commercial development and public transport supports the Mixed Use 'R80' zoning of land to the west of the site along Stirling Highway and similarly, supports the proposed recoding of the subject site to R40. To the east of the subject site, the adjoining properties are coded R15. Properties to the south of the subject site within the Town of Mosman Park are zoned Residential 'R40'.

This report has been prepared to facilitate a Scheme Amendment to recode the subject site from Residential 'R15' to Residential 'R40'. In turn, the proposal will enable the redevelopment of the land in a manner that is appropriate given its location between Residential 'R80', 'R40' and R15 coded lots.

This report addresses the following matters:

- ▲ Location of the subject site;
- ▲ Description of existing land use;
- ▲ Overview of relevant planning considerations; and
- ▲ Justification for the proposed scheme amendment having regard to the relevant planning framework.



2. DESCRIPTION OF SITE

2.1 LOCATION

The subject site is located in the Municipality of the Shire of Peppermint Grove (**the Shire**), approximately 11km south-west of the Perth City Centre.

Refer **Figure 1 – Regional Context**.

The subject site is bound by Johnston Street to the north and is otherwise adjoined by Residential zoned land to the east, south and west. Johnston Street is a sealed, gazetted road.

As mentioned previously, the subject site is located directly opposite Cottesloe Primary School across Johnston Street and is situated approximately 125m from 'commercial' tenancies (including IGA) along Stirling Highway, 500m from Mosman Park Train Station and 700m from Cottesloe Train Station.

Refer **Figure 2 – Local Context**.

2.2 CADASTRAL INFORMATION

The subject site comprises two land parcels, being:

- ▲ Lot 24 on Plan 654 Certificate of Title Volume 685 Folio 2.
- ▲ Lot 26 on Plan 654 Certificate of Title Volume 989 Folio 7.

The subject site has a total approximate land area of 1503m², with a frontage of approximately 30.2m to Johnston Street.

Refer **Figure 3 – Site Plan** and **Attachment One – Certificates of Title**.

2.3 EXISTING IMPROVEMENTS

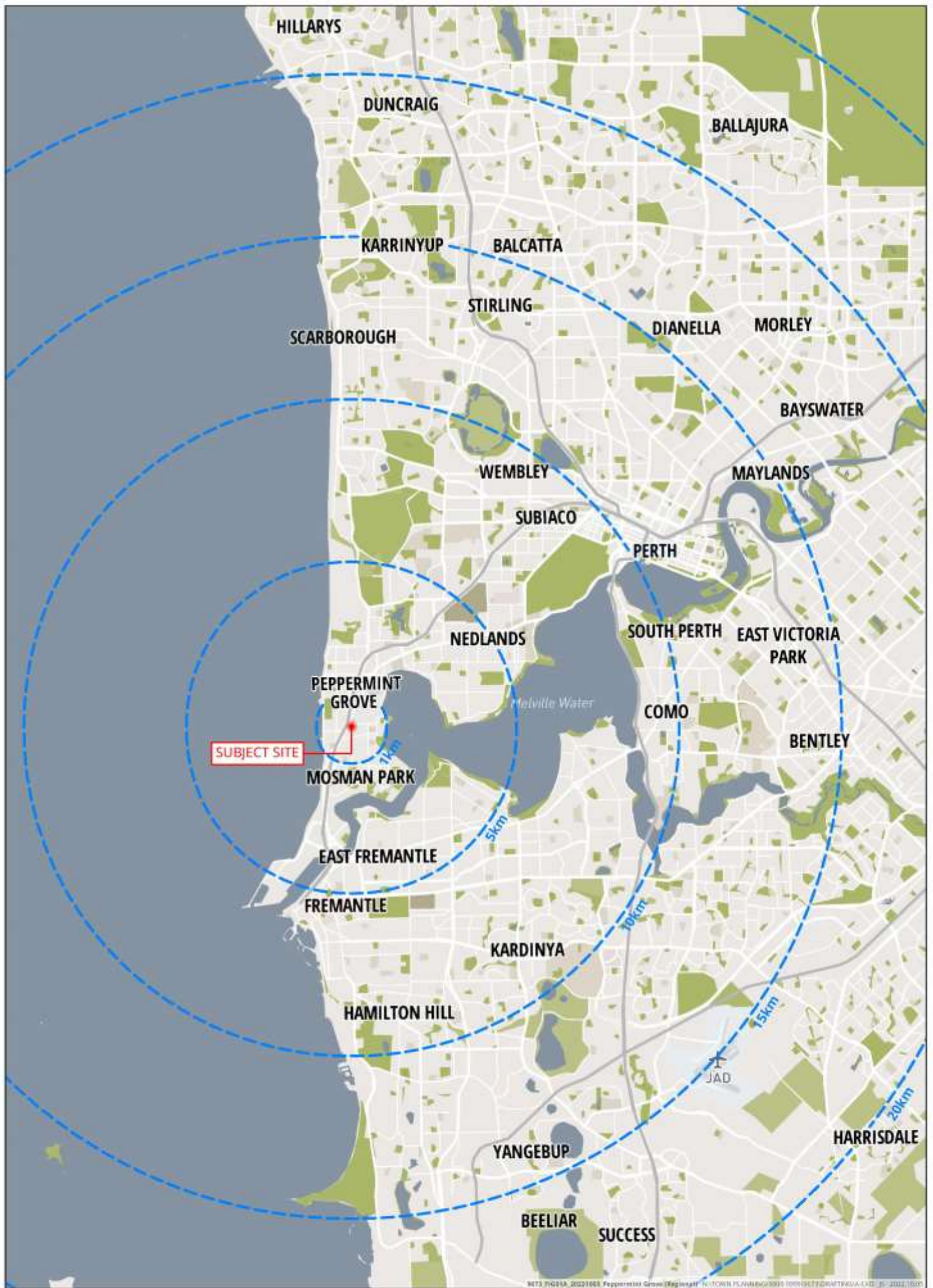
Lot 24 is owned by the Shire in freehold and is currently being utilised for drainage purposes and incidental storage. Aside from a Western Power transformer on the northeast corner, Lot 24 presents as vacant land.

The existing development on Lot 26 presents as a two-storey dwelling of contemporary design and was constructed sometime between December 2008 and February 2010 to replace the original dwelling.

The previous dwelling on Lot 26 was setback some 10.5m from the northern lot boundary (Johnston Street), whereas the current dwelling is setback approximately 20.0m from (Johnston Street). This setback accommodates driveway access to the dwelling and landscaping.

Refer **Attachment Two – Google Street View – Lot 24 Johnson Street & Lot 26 Johnson Street (March 2021)**.





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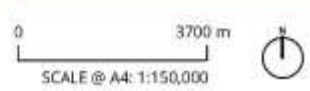


FIGURE 1
REGIONAL LOCATION

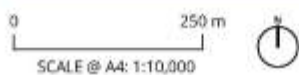
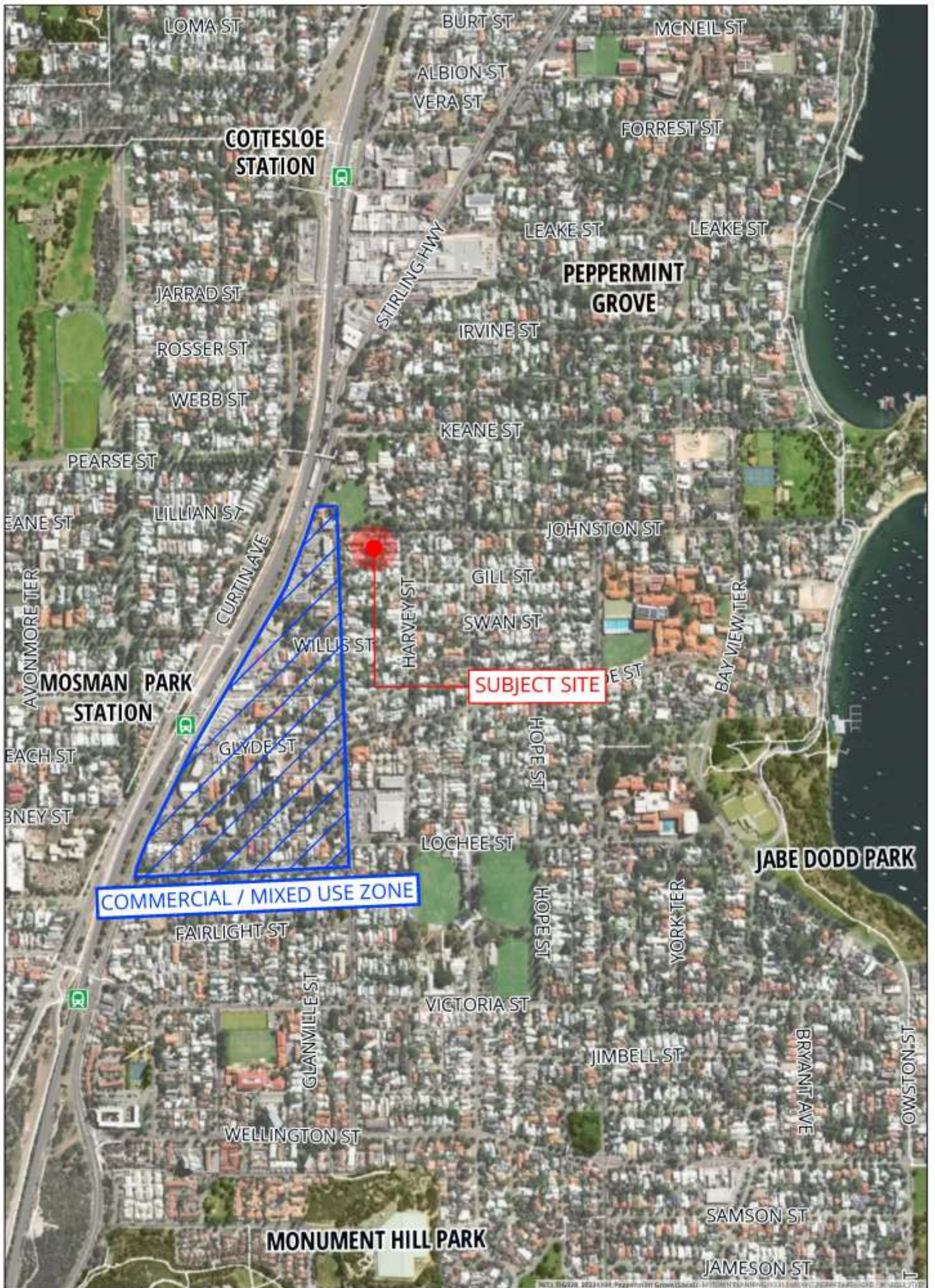


FIGURE 2
LOCAL CONTEXT



FIGURE 3
1967E PLAN

3. DESCRIPTION OF PROPOSAL & PLANNING RATIONALE

3.1 PROPOSED SCHEME AMENDMENT

This Scheme Amendment proposes to recode the subject site from Residential 'R15' to Residential 'R40'.

Preliminary advice was initially sought from the Shire in relation to progressing a Scheme Amendment to recode Lot 26 (No.12) Johnston Street. The Shire had since 2016 been investigating the viability of diverting stormwater from abutting Shire land (Lot 24) and selling the freehold lot. Until this time the diversion of stormwater was not considered financially viable. This advice indicated recoding Lot 26 (No.12) Johnston Street had planning merit and it would be logical for Rowe Group to progress a Scheme Amendment to concurrently recode both Lot 24 and Lot 26 to an 'R40' residential density.

Investigations continue to be progressed in relation to the current use of Lot 24 for drainage purposes. A number of reports on the diversion of stormwater have been previously prepared for the Shire by Consulting Engineers, with the most likely scenario to divert the stormwater into underground storage units either on the verge opposite Lot 24 or into the Cottesloe Primary School (School) grounds. Recent informal discussions have taken place with the Shire and the Principal. The School is supportive of the project as the proposed area to potentially accommodate underground storage tanks currently used for staff parking would be formalised and sealed.

Figure 4 overpage illustrates the effect of the proposed Scheme Amendment in the context of surrounding the existing zones (and density codes).

Refer **Figure 4 – Proposed Scheme Amendment**.

3.2 PLANNING RATIONALE

The subject site is situated approximately 125m from commercial tenancies along Stirling Highway. These commercial tenancies include fast food outlets, a supermarket (IGA) and shops (Chemist Warehouse). The site is within 600m of Mosman Park Train Station and 700m from Cottesloe Train Station and as such is very well serviced by public transport. Further, the site is located directly opposite Cottesloe Primary School which contributes to the range of established facilities available to (future) residents.

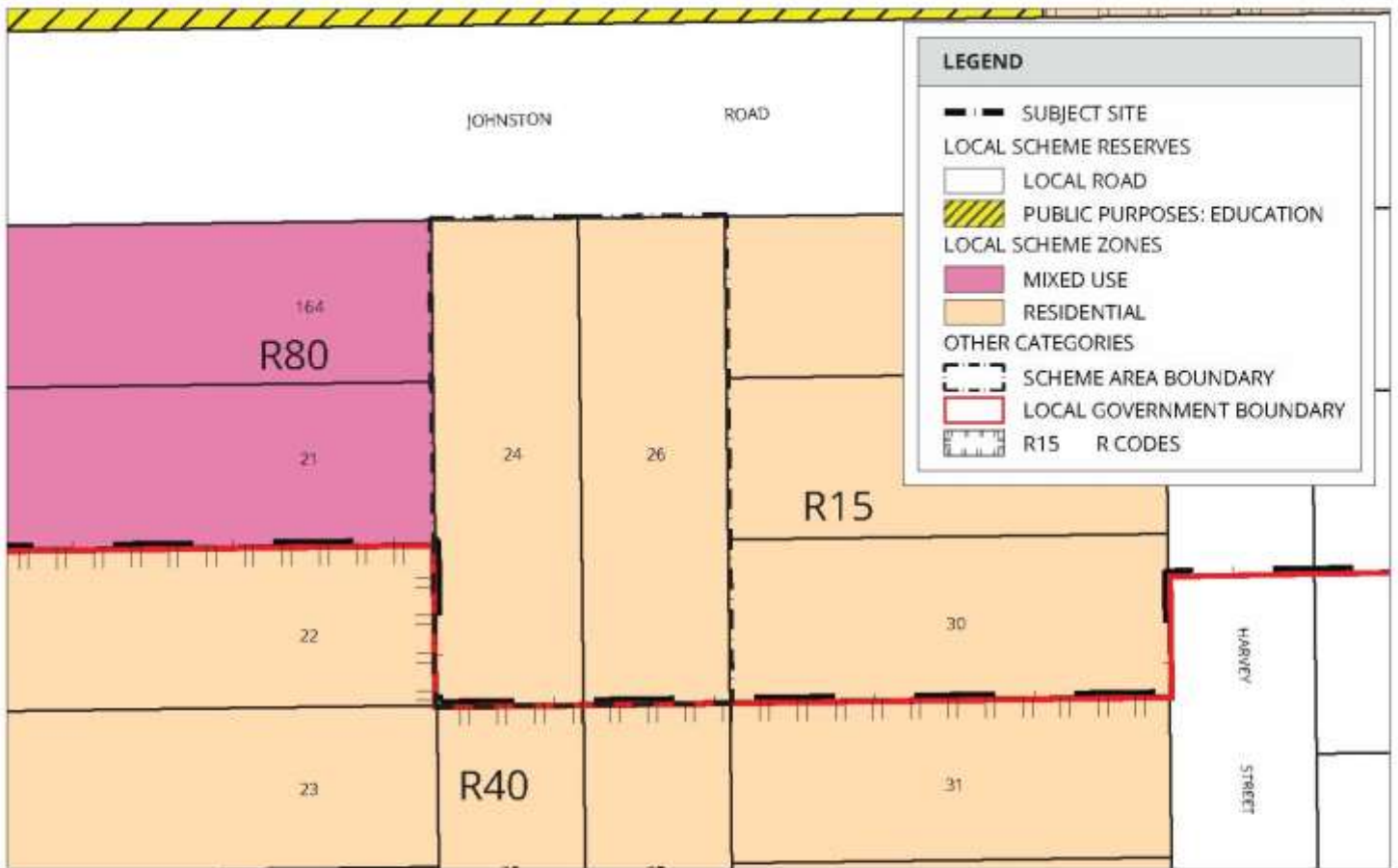
Proximity to commercial development and public transport supports the Mixed Use 'R80' zoning of land to the west of the site along Stirling Highway and similarly, supports the proposed recoding of the subject site to R40. Properties to the south of the subject site within the Town of Mosman Park are zoned Residential 'R40'. Accordingly, the proposed residential density of 'R40' on the subject site responds to the surrounding residential density by providing a logical 'step down' to the 'R15' zoning. Overall, recoding the subject site to 'R40' aligns with surrounding residential densities and in a location with excellent access to a range of established facilities and services.



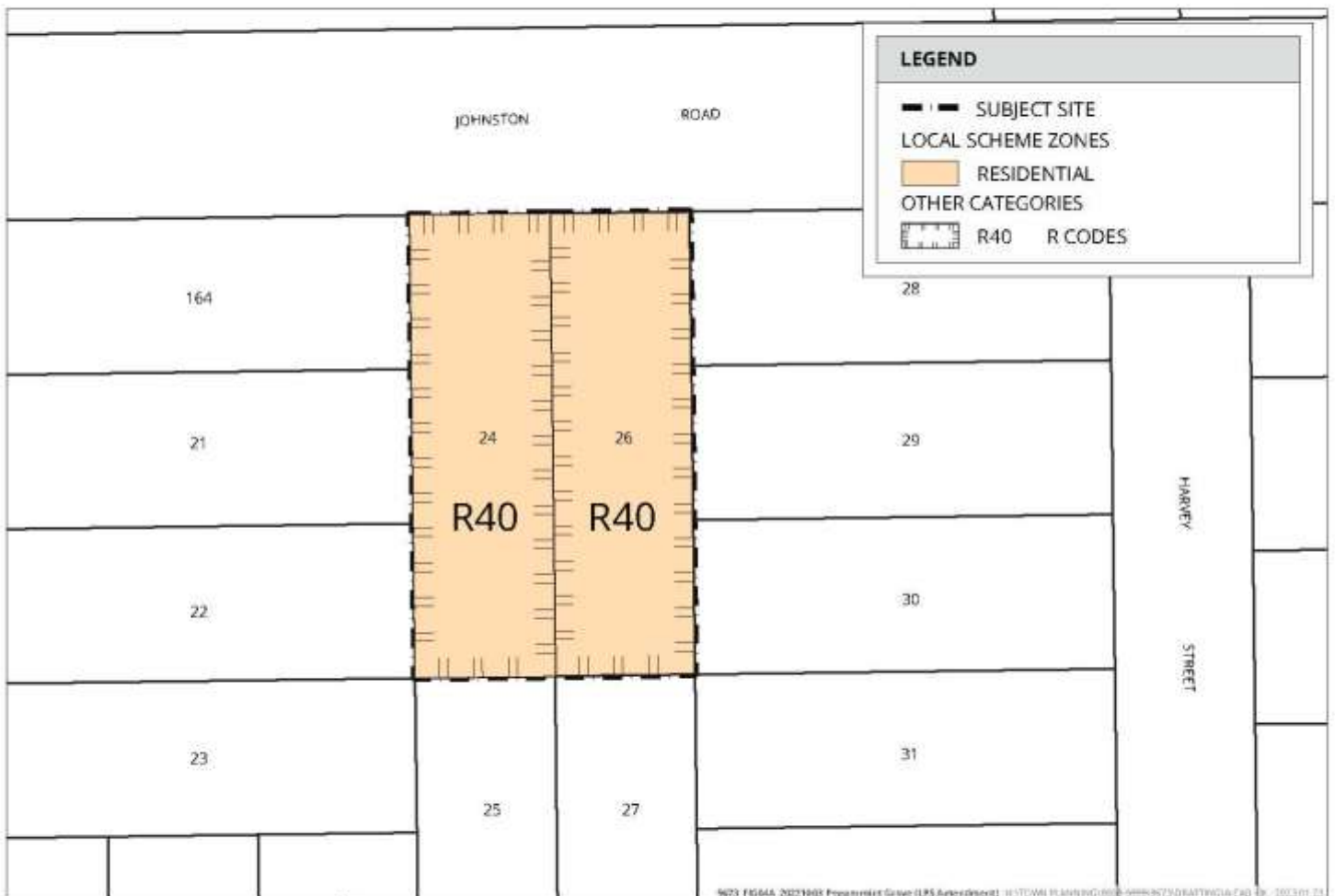
3.3 DEVELOPMENT CONTROLS

Appropriate controls to guide the future development of the subject site are already available under the Local Planning Scheme, the Residential Design Codes (Volumes 1 and 2) and the associated planning framework.





EXISTING ZONING



PROPOSED ZONING



FIGURE 4
PROPOSED SCHEME AMENDMENT

4. TOWN PLANNING CONSIDERATIONS

4.1 ZONING

4.1.1 METROPOLITAN REGION SCHEME

Under the provisions of the Metropolitan Region Scheme (**MRS**), the subject site is zoned 'Urban'.

Recoding the subject site under the Local Planning Scheme from 'Residential' with a density coding of 'R15' to 'Residential' with a density coding of 'R40' is consistent with the 'Urban' zoning under the MRS.

4.1.2 SHIRE OF PEPPERMINT GROVE TOWN PLANNING SCHEME NO. 4

Under the provisions of the Shire of Peppermint Grove Planning Scheme No. 4 (**LPS4**) the subject site is zoned 'Residential' with a density coding of 'R15'.

It is proposed that the subject site be recoded to 'Residential' with a density coding of 'R40' to reflect the nature and residential density of the surrounding area including Mixed Use 'R80' to the west of the site and the abutting Residential 'R40' land in the Town of Mosman Park.

It is noteworthy that the first objective of the 'Residential' zone is:

- *To provide for a range of housing and a choice of residential densities to meet the needs of the community*

This proposal to recode the subject site to introduce a density coding of 'R40' is consistent with the abovementioned objective and entirely logical having regard to the context of the site.

4.2 PERTH AND PEEL @ 3.5 MILLION & CENTRAL METROPOLITAN SUB-REGIONAL PLANNING FRAMEWORK

Perth and Peel @ 3.5 million comprises a suite of strategic land use planning documents that aim to accommodate 3.5 million people in the Perth and Peel regions by 2050. The four planning frameworks for the Central, North-West, North-East and South Metropolitan Peel sub-regions were finalised and approved in 2018. The subject site is located within the Central Metropolitan Sub-region.

The Central Metropolitan Sub-Region Planning Framework strongly encourages urban consolidation and infill development. The Central Metropolitan Sub-Region Planning Framework identifies an infill housing target of 480 dwellings within the Shire of Peppermint Grove.

Section 6.3 of the Central Metropolitan Sub-Region Planning Framework states that there are a number of measures, statutory mechanisms or provisions available to Local Government to enable urban consolidation. These include local planning policies, up-coding (increasing residential density) and split coding (permitting development at a higher density if a number of requirements are met). This proposed Scheme Amendment will assist in promoting urban consolidation and support the Shire in achieving this infill target by increasing the density coding of the site.



4.3 STATE PLANNING POLICIES

4.3.1 STATE PLANNING POLICY NO. 1 – STATE PLANNING FRAMEWORK POLICY

State Planning Policy No. 1 – State Planning Framework Policy (**SPP1**) brings together all existing state and regional policies, strategies and guidelines within a central framework which provides a context for decision-making on land use and development in Western Australia.

It is important to note that Clause 3.1(a) of SPP 1 states that the Western Australian Planning Commission (**WAPC**) and Local Government is to have due regard to the provisions that form part of this framework in making decisions on planning matters, including Scheme Amendments.

The following sections of this Report provide an assessment of this Scheme Amendment against the relevant planning framework.

4.3.2 STATE PLANNING POLICY NO. 3 – URBAN GROWTH AND SETTLEMENT POLICY

State Planning Policy No. 3 – Urban Growth and Settlement Policy (**SPP3**) sets out the principles and considerations that apply to planning for urban growth and settlement.

In the Perth Metropolitan Area, much of the Central Metropolitan area has been developed in the form of low-density suburban communities. This pattern of growth was a response to consumer preference and market forces. This form of development is unsustainable.

The key element derived from SPP 3, which is relevant to this Scheme Amendment include:

- *giving priority to infill development in established urban areas, particularly through urban regeneration and intensification of development of under-utilised urban land, whilst respecting neighbourhood character.*

Further, the following ‘*requirement for sustainable communities*’ set out in SPP 3 is particularly relevant to this proposal:

- *supporting higher residential densities in the most accessible locations, such as, in and around town and neighbourhood centres, high frequency public transport nodes and interchanges, major tertiary institutions and hospitals, and adjacent to high amenity areas such as foreshores and parks;*

The proposed Scheme Amendment is consistent with the aforementioned elements of SPP3 as the proposal will facilitate infill residential development within an area well serviced by public transport and employment nodes and education services (including Cottesloe Primary School, Mosman Park Pre Primary School, Iona Presentation College, Presbyterian Ladies’ College and St Hilda’s Anglican School for Girls) located in close proximity to the site.

4.3.3 STATE PLANNING POLICY NO. 5.4 – ROAD AND RAIL NOISE

The subject site is affected by State Planning Policy 5.4 – Road and Rail Noise (**SPP5.4**) as it is located within 250m of the Fremantle Train Line and Stirling Highway. This notwithstanding, any considerations arising from SPP5.4 can be addressed at the development application stage.



4.3.4 STATE PLANNING POLICY NO. 7.3 – RESIDENTIAL DESIGN CODES

State Planning Policy No. 3.1 – Residential Design Codes (**R-Codes**) applies to all residential development within Western Australia.

This Scheme Amendment proposes to recode the subject site to designate a density coding of 'R40'. The following table summarises the requirements applicable to this density coding under the R-Codes in the event the site is redeveloped for grouped dwellings:

R-Code	Dwelling type	Min. site area per dwelling (m ²)	Min. lot area/rear battlease (m ²)	Min. frontage	Open Space		Min. Setbacks (m)		
					Min. total (%)	Min. outdoor living (m ²)	Primary street	Secondary street	Other/rear
R40	Single House or Grouped Dwelling	Min 180 Ave 220	380	-	45	20	4	1	*

* See Tables 2a and 2b and Clause 5.1.3 of the R-Codes.

In the event a multiple dwelling development is proposed at development application stage, it would be assessed against the R-Codes (Volume 2).

4.4 LIVEABLE NEIGHBOURHOODS

Liveable Neighbourhoods is a Western Australian Planning Commission (WAPC) operational policy that guides the structure planning and subdivision for greenfield and large brownfield (urban infill) sites. This notwithstanding, the principles set out in relation to providing housing diversity and increased density are relevant. In this regard, Liveable Neighbourhoods notes:

Smaller lots and lots capable of supporting higher density should be located close to town and neighbourhood centres, public transport and adjacent to high amenity areas such as parks.

Liveable neighbourhoods identifies a radius of 800m as defining a walkable catchment from a train station. Two train stations (Mosman Park and Cottesloe) are within 800m of the subject site. A range of commercial facilities are also located in close proximity to the site. Accordingly, the proposed recoding of the site to R40 is consistent with the abovementioned housing diversity and density planning principles.

4.5 LOCAL PLANNING FRAMEWORK

4.5.1 SHIRE OF PEPPERMINT GROVE LOCAL PLANNING STRATEGY

The Shire of Peppermint Grove's Local Planning Strategy 2016 (**LPS 2016**) identifies the subject site as a 'Low-Medium Density Residential (To Provide Interface With Shire Of Mosman Park And Respond To Existing Patterns Of Subdivision And Development R10-R40)'. The range of density codes identified



by LPS 2016 clearly supports the proposed Scheme Amendment, which aims to recode the site to 'R40' in response to the adjoining R80, R40 and R15 'Residential' lots.

It is logical to apply the higher end of this range (R40) to the subject site to provide a transition from the 'R80' mixed use sites. Similarly, the proposal aligns with the adjoining 'R40' lots contained in the Town of Mosman Park. This proposal would facilitate an improved streetscape outcome in terms of built form in a manner that would be compatible with existing (and future) patterns of development in this locality. An R40 coding would facilitate a 4m front setback, which better aligns with the 2.7m and 1.6m setbacks to the Harvey Street and Monument Street corner properties respectively (despite them being secondary street setbacks).

It is acknowledged it would also be logical for the Shire to recode the adjoining Lot 24 to align with this new 'R40' coding as part of a separate/concurrent Scheme Amendment.

The Shire has held discussions with the Department of Planning, Lands and Heritage to progress a Report of Review. The Report of Review will inform any recommendations for a new Local Planning Strategy and will foreshadow an Omnibus Scheme Amendment. The recoding of similarly positioned land to more logically step down from Mixed Use 'R80', as well as from District Centre and Residential 'R80' is seriously entertained and necessary to achieve infill development targets under Perth and Peel @ 3.5 million.

4.5.2 SHIRE OF PEPPERMINT GROVE LOCAL PLANNING POLICY NO. 3 – HERITAGE PLACES

Local Planning Policy No. 3 – Heritage Places (**LPP3**) outlines the requirements for any historically significant sites identified under the local heritage register.

On 19 July 1999 the Shire placed Lot 26 on their Municipal Heritage Inventory as a Category 2 site. However, the original building was demolished (between December 2006 and December 2008) and the current dwelling constructed between December 2008 and February 2010.

Given demolition of the original dwelling has previously occurred, and the place is not identified on the Heritage List any future development of the site facilitated by this proposal would not affect, or be affected by, heritage considerations. In any event, appropriate streetscape outcomes will be ensured by the relevant planning framework.



5. CONCLUSION

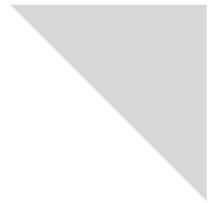
This Report supports a Scheme Amendment to the Shire of Peppermint Grove's Local Planning Scheme No. 4 to recode Lot 24 and Lot 26 (No. 12) Johnston Street, Peppermint Grove from Residential 'R15' to Residential 'R40'.

This Scheme Amendment is appropriate and justified for the following reasons:

- ▲ The site is within 125m of a range of existing commercial uses along Stirling Highway in a Mixed Use zone which is intended to facilitate mixed-use developments with a residential density code of R80.
- ▲ Given the 'R80' coding of land on Johnston Street, a coding of 'R40' would be a logical 'step down' to the 'R15' zoning;
- ▲ The site is situated 600m from Mosman Park Train Station and 700m from Cottesloe Train Station.
- ▲ The subject site is located directly adjacent to Cottesloe Primary School across Johnston Street which contributes to the range of facilities and services located in close proximity to the site.
- ▲ The proposed residential density of 'R40' on the subject site is compatible with the R40 density coded land to the south within the Town of Mosman Park.
- ▲ The proposal is supported by the relevant planning framework, including SPP 3 – Urban Growth and Settlement Policy, Liveable neighbourhoods and the Shire of Peppermint Grove Local Planning Strategy.
- ▲ The proposal will help facilitate infill development targets under Perth and Peel @ 3.5 million.
- ▲ The proposal is consistent with the Shire's foreshadowed recommendations that will be contained in the Report of Review for a new Local Planning Strategy.

On the basis of the above, it is respectfully requested that the Shire of Peppermint Grove initiate this Scheme Amendment.





ATTACHMENT 1

CERTIFICATES OF TITLE



ROWE
GROUP

WESTERN



AUSTRALIA

REGISTER NUMBER 24/P654	
DUPLICATE EDITION N/A	DATE DUPLICATE ISSUED N/A

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **865** FOLIO **2**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 24 ON PLAN 654

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

SHIRE OF PEPPERMINT GROVE OF LEAKE STREET, PEPPERMINT GROVE

(T T6049/1924) REGISTERED 25/7/1924

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: P654
PREVIOUS TITLE: 129-59
PROPERTY STREET ADDRESS: LOT 24 JOHNSTON ST, PEPPERMINT GROVE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF PEPPERMINT GROVE

NOTE 1: A000001A LAND DESCRIPTION AMENDED ON ORIGINAL CERTIFICATE OF TITLE - BUT NOT SHOWN ON CURRENT EDITION OF THE DUPLICATE.
NOTE 2: SKETCH ON ORIGINAL SUPERSEDED PAPER TITLE AMENDED - BUT NOT SHOWN ON CURRENT EDITION OF THE DUPLICATE.

WESTERN



AUSTRALIA

REGISTER NUMBER 26/P654	
DUPLICATE EDITION 3	DATE DUPLICATE ISSUED 20/2/2008

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME 989 FOLIO 7

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 26 ON PLAN 654

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

SUI LI YU OF 12 JOHNSTON STREET, PEPPERMINT GROVE

(T K480631) REGISTERED 18/1/2008

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

1. K499425 MORTGAGE TO WESTPAC BANKING CORPORATION REGISTERED 6/2/2008.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

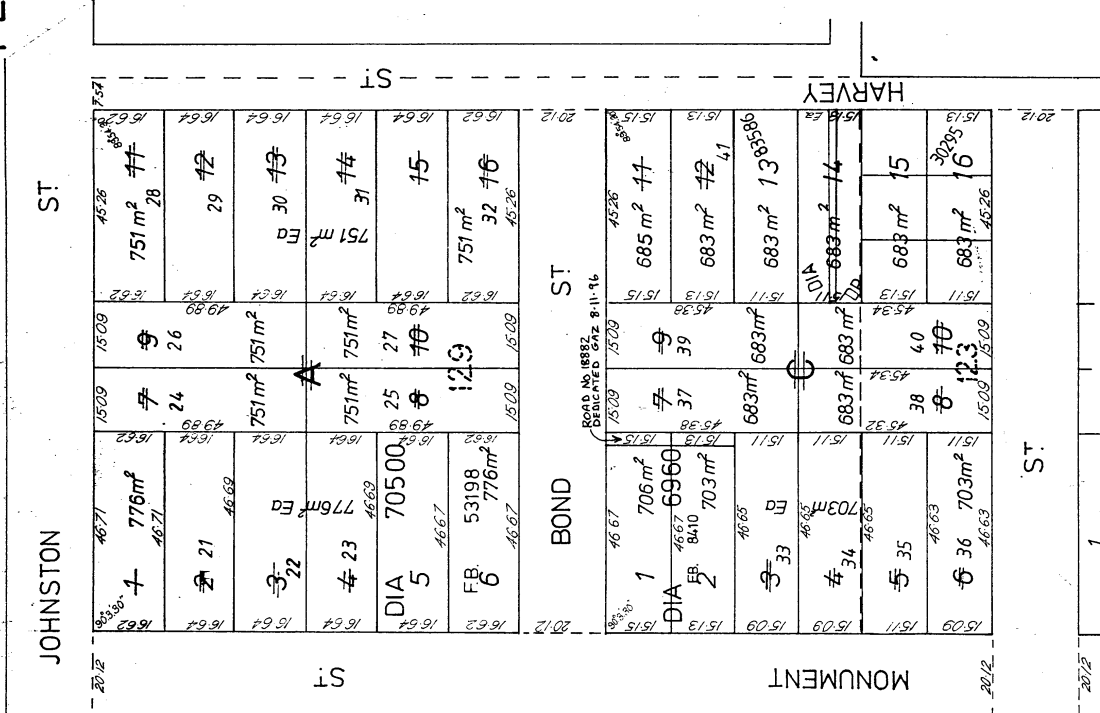
STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: P654
PREVIOUS TITLE: 157-125
PROPERTY STREET ADDRESS: 12 JOHNSTON ST, PEPPERMINT GROVE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF PEPPERMINT GROVE

PLAN 654(1)
(2 SHEETS)

P 000654 F 01



JOHNSTON ST

ST

APPROVED
3-7-1913

MOSMAN PARK SUBURBAN LOTS 123,126 & 129

SCALE 1:1250
CORR. 2138-1912
FB# 3460, 5192
INDEX PLAN PERTH 1000 14.37
C/T 47-307



Land Parcel Identifier amended -
Regulation 6 of Transfer of Land
(Surveys) Regulations 1985
Corr. 1775-2000-01
Date: 7.1.2012

MONUMENT ST

BOND ST

ST

HARVEY ST

WILLIS ST

JOIN

PLAN

654

SHEET

1

2

PLAN 654(1)
(2 SHEETS)

STIRLING HMY



PLAN 654(2)

(2 SHEETS)

JOINS PLAN 654 SHEET 1

16

6

1663

127, 128, 129

PLAN

EB'S

21099

27920

27920

27920

27920

27920

WILLIS ST

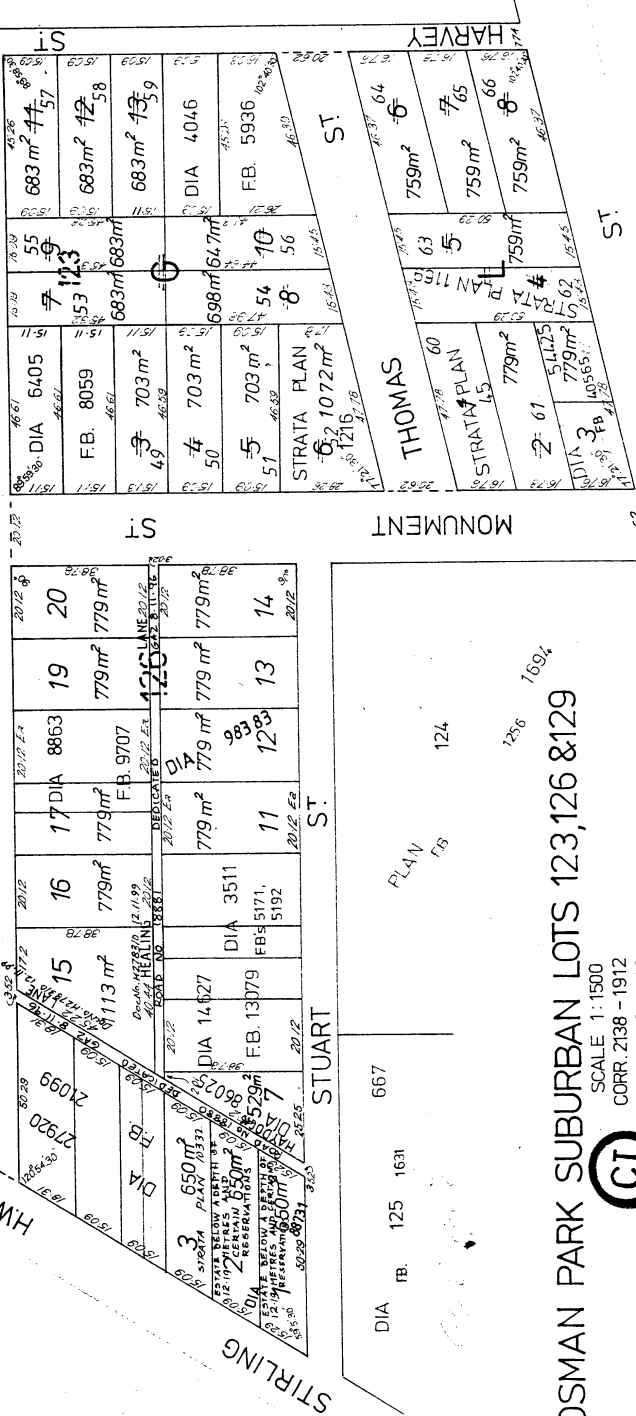
MONUMENT ST

THOMAS ST

STRATA PLAN

STUART ST

GLYDE ST



MOSMAN PARK SUBURBAN LOTS 123, 126 & 129

SCALE 1:1500
 CORR. 2138 - 1912
 FBS. 3460, 5192
 INDEX PLAN PERTH 1000 14.37
 C/T 47-307 " 1000 14.36



APPROVED
 : 3-7-1913

Land Parcel Identifier amended -
 Regulation 6 of Transfer of Land
 (Surveys) Regulations 1995
 Corr. 1775-2000-01
 Date: 7.2.02 KS

PLAN 654(2)

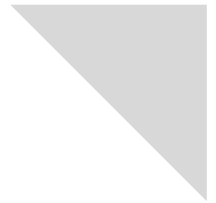
(2 SHEETS)

Plan 654

Lot	Certificate of Title	Lot Status	Part Lot
3	SP10332	Strata'd	
11	1663/232	Registered	
13	1930/728	Registered	
14	1796/689	Registered	
14	N/A	Retired	
15	N/A	Retired	Yes
15	157/6	Registered	
16	N/A	Retired	Yes
16	1073/477 (Cancelled)	Retired	
17	1402/402	Registered	
19	1547/299	Registered	
20	1938/936	Registered	
21	971/140	Registered	
22	1008/409	Registered	
23	1008/410	Registered	
24	865/2	Registered	
25	1357/316	Registered	
26	989/7	Registered	
27	989/8	Registered	
28	476/122A	Registered	
29	1897/440	Registered	
30	1646/5	Registered	
31	2209/133	Registered	
32	1190/23	Registered	
33	2097/171	Registered	
34	1503/73	Registered	
35	1285/642	Registered	
36	1682/478	Registered	
37	1235/170	Registered	
38	1394/700	Registered	
39	1703/995	Registered	
40	1159/753	Registered	
41	2046/984	Registered	
49	1006/490	Registered	
50	1403/692	Registered	
51	318/156A	Registered	
52	SP1216	Strata'd	
53	1544/170	Registered	
54	1295/167	Registered	
55	1242/189	Registered	
56	2076/411	Registered	
57	498/42A (Cancelled)	Strata'd	
57	SP82038	Strata'd	
58	1934/744	Registered	
59	1659/984	Registered	

Plan 654

Lot	Certificate of Title	Lot Status	Part Lot
60	SP45	Strata'd	
61	2061/814	Registered	
62	SP1169	Strata'd	
63	1750/708	Registered	
64	1279/824	Registered	
65	1349/844 (Cancelled)	Strata'd	
65	SP79304	Strata'd	
66	1349/845	Registered	



ATTACHMENT 2

GOOGLE STREET VIEW - LOT 24 JOHNSTON STREET & LOT
26 JOHNSTON STREET

(MARCH 2021)





NO PARKING
IN FRONT OF
THIS GATE



Ordinary Council Meeting

8.3.1 – List of Accounts Paid February 2023

Accounts Paid - February 2023

Payment / Invoice	Date Description	Amount
EFT Payment		
EFT Payment - EFT00506		
3000 - SuperChoice AwareWASuperannuation		
PJ000746	12/01/23 FORTNIGHT 2023-14 - From Payroll	4,823.09
PJ000748	26/01/23 FORTNIGHT 2023-15 - From Payroll	4,873.14
JANUARY 2023	31/01/23 Superannuation Contribution	23,835.77
	Total 3000	33,532.00
	Total EFT00506	33,532.00
EFT Payment - EFT00507		
1 - Australia Post		
1012166646	03/02/23 Mail and postage - Jan 2023	591.69
	Total 1	591.69
109 - Professional PC Support Pty Ltd (PPS)		
24647M	16/01/23 Managed IT Svcs - February 2023	5,862.82
	Total 109	5,862.82
162 - Western Metropolitan Regional Council		
M-2301426	15/01/23 Green Pass Waste Management - 01-15 Jan 2023	4,749.00
M-2302126	31/01/23 Green Pass Waste Management 16-31 Jan 2023	5,310.65
VV230131-4	31/01/23 Verge Valet - Jan 2023	3,444.09
	Total 162	13,503.74
2414 - Open Systems Technology Pty Ltd (Council First)		
SI007559	18/01/23 Microsoft Office 365 - Feb 2022	1,288.34
SI007578	20/01/23 IT Services - December 2022	4,493.50
SI007594	06/02/23 Microsoft Azure - January 2023	824.84
SI007597	13/02/23 Avepoint Cloud backup - Jan and Feb 2023	222.75
SI007598	13/02/23 Jet Reports Subscription - 230223-220323	374.00
	Total 2414	7,203.43
300 - VEOLIA RECYCLING & RECOVERY (PERTH) PTY LTD		
166616	31/01/23 Residential Waste - MSW collection	16,090.65
51982876	31/01/23 Depot Waste - Skip Bin	343.83
	Total 300	16,434.48
3002 - Winc Australia Pty Ltd		
9041490583	24/01/23 Library Stationery	194.75
	Total 3002	194.75
3012 - Bunnings Trade		
2433/01297968	04/01/23 Pot plants as door prizes for Seniors Morning Tea 2022	144.43
	Total 3012	144.43
3013 - Heritage Tree Surgeons		
3099	27/01/23 25 McNeil Street - Emergency Works	1,320.00
30731	27/01/23 McNeil St and various clearance pruning	990.00
002744	08/02/23 Keane St maintenance pruning	10,890.00
	Total 3013	13,200.00
3015 - CREATION LANDSCAPE SUPPLIES		
271289	18/01/23 Landscaping supplies	134.10
	Total 3015	134.10
3047 - PERTH IRRIGATION CENTRE (PIC)		
H6100	03/02/23 Retic supplies	229.86

Accounts Paid - February 2023

Payment / Invoice	Date	Description	Amount
H7602	03/02/23	Reticulation spare parts	24.65
Total 3047			254.51
3048 - Western Australian Local Government Assoc. (WALGA)			
SI-003849	07/02/23	WALGA Urban Forest Conference 2023	440.00
Total 3048			440.00
3050 - ENVIRO SWEEP PTY LTD (EWCS)			
105876	10/01/23	Contract Road Sweeping	1,430.00
Total 3050			1,430.00
3051 - TEMPTATIONS CATERING			
E28076	14/02/23	ABF/OCM Council Meetings Catering 2022-23	459.36
Total 3051			459.36
3057 - CTI Couriers			
CISC4551755	31/01/23	Library van courier - Jan 2023	491.99
Total 3057			491.99
3061 - DEPT OF TRANSPORT - DOI REGO SEARCHES			
8041329	09/02/23	DOI Fees 1x search - Jan 2023	4.10
Total 3061			4.10
3081 - DATA DOCUMENTS			
12088	07/02/23	Printing of 2021-2022 Annual Report as per quote 0116444	476.30
Total 3081			476.30
3120 - Westbooks			
333568	30/01/23	Adult books selected online	648.39
332324	09/11/22	Adult books as selected	840.49
332565	18/11/22	Adult books as selected	1,385.04
333146	15/12/22	Adult books selected online	627.87
333367	11/01/23	Adult books selected online	1,028.02
Total 3120			4,529.81
3141 - TOTALLY WORKWEAR - CANNING VALE			
CV25612.D1	23/01/23	PPE - boots, pants, shirts, safety glasses	283.32
CV25612.D2	23/01/23	Items received on back order PO03080	271.27
PO03080			
Total 3141			554.59
3167 - SHINE COMMUNITY SERVICES			
00119172	05/01/23	Combined Councils Contrib to Comm. Svc. 2022-2023	9,995.15
Total 3167			9,995.15
3221 - NAPOLEON PAPIER & CO			
2444,2465,2479,2491	30/01/23	magazines as selected	271.42
Total 3221			271.42
3224 - ACTION LOCK SERVICE			
1063896	10/01/23	Depot padlocks	815.00
Total 3224			815.00
3230 - Sontec Integrated Systems			
19393	25/01/23	Service Call Out - 19/801/23	255.75
Total 3230			255.75
3378 - STYLUS DESIGN			
INV-11914	02/02/23	2021-2022 Annual Report as per your quote 13/01/2023	4,235.00
Total 3378			4,235.00

Accounts Paid - February 2023

Payment / Invoice	Date Description	Amount
340 - TOWN OF COTTESLOE		
14159	06/01/23 Health Svcs - 01 Oct to 31 Dec 2022	2,351.25
14160	06/01/23 Ranger Svcs - 01 Oct to 31 Dec 2022	7,820.00
Total 340		10,171.25
3431 - Salary Packaging Australia Pty Ltd (SPA)		
23012023	23/01/23 Novated DB 23012023	10.54
PJ000748	26/01/23 FORTNIGHT 2023-15 - From Payroll	358.35
PJ000750	09/02/23 FORTNIGHT 2023-16 - From Payroll	358.35
06022023	06/02/23 Novated DB 06022023	10.54
Total 3431		737.78
3439 - ATM AUSTRALIAN TRAINING MANAGEMENT PTY. LTD.		
23478	06/12/22 Quick Cut Saw training	530.00
Total 3439		530.00
3453 - SHRED-X PTY LTD		
01936442	31/12/22 240L Perm. Security Bin 12/12/22	33.00
01952547	31/01/23 240L Perm Security bin swap - 30/01/23	33.00
Total 3453		66.00
3466 - REPCO - GPC ASIA PACIFIC PTY LTD		
4500597531	01/01/23 Vehicle parts and cleaning products	94.39
Total 3466		94.39
3550 - Connect Call Centre Services		
00113510	15/01/23 Overcalls fee - Dec 2022	46.48
Total 3550		46.48
3604 - Officeworks		
605089208	10/01/23 Stationery	235.05
Total 3604		235.05
3611 - MICHAEL COSTARELLA E0005		
REIMBURSEMENT E0005 MC 221004	04/10/22 REIMBURSEMENT E0005 MC 221004 - Phone & Data	359.34
REIMBURSEMENT MC 230202	02/02/23 Phone & data Dec 22 and Jan 23	359.34
Total 3611		718.68
3621 - QTM PTY LTD		
30405	31/01/23 Leake Street median island TMP	531.92
Total 3621		531.92
3660 - Iconic Property Services		
PSI025761	01/02/23 Cleaning of Depot Building	10,955.56
PSI025546	27/01/23 Cleaning consumables	668.04
Total 3660		11,623.60
3735 - Vocus Ltd		
P953423	01/01/23 Council Site A WIFI - Jan 2023	603.90
81094-040123	04/01/23 Yealink phones to 31/12/22	592.02
Total 3735		1,195.92
3808 - Market Creations Agency		
1125-5	20/01/23 Additional Support hours for Intranet and website	3,080.00
Total 3808		3,080.00
3832 - Forms Express Pty Ltd		
243358	30/01/23 Printing & delivery of Instalment Reminder 4 Rates notices	620.64

Accounts Paid - February 2023

Payment / Invoice	Date Description	Amount
Total 3832		620.64
3875 - Open Book Australia		
33635	27/10/22 Junior books as chosen	451.94
Total 3875		451.94
3878 - Market Creations Technology Pty Ltd T/as Intergrated ICT		
24558A	24/11/22 Lease of PC for Library to 30 June 2023	682.00
24977A	30/12/22 Lease of PC for Library to 30 June 2023	682.00
25301A	30/12/22 Lease of PC for Library to 30 June 2023	110.00
25352	17/01/23 Lease of PC for Library to 30 June 2023	1,985.50
25353	17/01/23 Lease of PC for Library to 30 June 2023	585.75
25707	31/01/23 Lease of PC for Library to 30 June 2023	374.00
25736	31/01/23 Lease of PC for Library to 30 June 2023	1,141.25
Total 3878		5,560.50
3892 - Telstra Limited		
4074199292 T311 10 JAN 23	10/01/23 TW Depot to 09 Jan 23	109.98
Total 3892		109.98
3897 - The Home Away from Home Inc. RMHC WA		
230123 REFUND RMHCWA	23/01/23 REFUND MHP 15/09/2022 recpt. 13529	500.00
Total 3897		500.00
3898 - E0015 Jennifer Court		
REIMBURSEMENT E0015 JC 230202	02/02/23 REIMBURSEMENT E0015 JC 230202 - Aust. Day	16.00
Total 3898		16.00
3901 - Zara Bryson		
REFUND Z BRYSON 230125	25/01/23 Refund MHP - Z Bryson 230125	550.00
Total 3901		550.00
428 - TOWN OF CLAREMONT		
SI10115	24/01/23 TOC WHS Officer Shared Resource 2023	13,408.93
Total 428		13,408.93
448 - LANDGATE		
1244417	03/01/23 Copy Land Act document - DA2022/0028 16 Dec 22	28.20
Total 448		28.20
516 - McLeods Barristers & Solicitors		
127937	30/01/23 Matter No.50321 Lease Tennis Club	1,479.97
Total 516		1,479.97
52 - Iron Mountain Australia Group Pty Ltd		
AUD225589	31/01/23 Storage Archive - Feb 2023	14.82
Total 52		14.82
693 - Clean City Group Pty Ltd		
1494 PO02819	16/01/23 Residential Waste - Bin Return Service	825.00
1495 PO02819	23/01/23 Residential Waste - Bin Return Service	825.00
1496 PO02819	29/01/23 Residential Waste - Bin Return Service	825.00
1501 PO02819	05/02/23 Residential Waste - Bin Return Service	825.00
Total 693		3,300.00
Total EFT00507		136,554.47

Accounts Paid - February 2023

Payment / Invoice	Date Description	Amount	
EFT Payment - EFT00508			
3029 - Australian Taxation Office			
PJ000746	12/01/23 FORTNIGHT 2023-14 - From Payroll	18,336.00	
PJ000748	26/01/23 FORTNIGHT 2023-15 - From Payroll	18,632.00	
	01/02/23 GST Settlement	2,185.00	
	01/02/23 GST Settlement	16,605.00	-\$ 16,605.00
	Total 3029	22,548.00	
	Total EFT00508	22,548.00	
	Grand Total - EFT Payment	192,634.47	\$ 192,634.47
Other - BPAY296			
3158 - City of Nedlands			
69594	10/01/23 Building compliance assistance	1,782.00	
	Total 3158	1,782.00	
	Total BPAY296	1,782.00	
	Total BPAY		\$ 1,782.00
Other - DD00392			
3899 - Grenke GC Leasing Melbourne Pty Ltd			
240/2023	22/01/23 Lease contract - Handling fee additional equip.	104.50	
	Total 3899	104.50	
	Total DD00392	104.50	
Other - DD00393			
3899 - Grenke GC Leasing Melbourne Pty Ltd			
241/2023	22/01/23 Interim fee 11/01/23 to 31/03/23	5,042.49	
	Total 3899	5,042.49	
	Total DD00393	5,042.49	
Other - DD00394			
3062 - WATER CORPORATION			
9001300655 0109	11/01/23 Bay View Tce Tennis Courts - 08 Nov 22 to 10 Jan 23	165.43	
	Total 3062	165.43	
	Total DD00394	165.43	
Other - DD00395			
3062 - WATER CORPORATION			
9001305640 0108	11/01/23 The Esplanade - 08 Nov 22 to 10 Jan 2023	5.42	
	Total 3062	5.42	
	Total DD00395	5.42	
Other - DD00396			
3062 - WATER CORPORATION			
9016499388 0072	11/01/23 Leake St - 07 Nov 22 to 10 Jan 2023	1,301.33	
	Total 3062	1,301.33	
	Total DD00396	1,301.33	
Other - DD00397			
3377 - WESTNET PTY LTD T/AS iinet			
135260434	01/02/23 Web hosting - January 2023	15.99	
	Total 3377	15.99	
	Total DD00397	15.99	
Other - DD00398			

Accounts Paid - February 2023

Payment / Invoice	Date Description	Amount
123 - Synergy		
2025735467	13/01/23 Leake St - 10 Dec 22 to 12 Jan 2023	3,226.70
	Total 123	3,226.70
	Total DD00398	3,226.70
Other - DD00399		
3062 - WATER CORPORATION		
9001298815 0133	25/01/23 63 Johnston St - 24 Nov to 24 Jan 2023	560.02
	Total 3062	560.02
	Total DD00399	560.02
Other - DD00400		
3062 - WATER CORPORATION		
9001298479 0061	25/01/23 Johnston St - 23 Nov to 24 Jan 2023	13.56
	Total 3062	13.56
	Total DD00400	13.56
Other - DD00401		
123 - Synergy		
3000193362	25/01/23 Foreshore - 22 Nov to 24 Jan 2023	342.41
	Total 123	342.41
	Total DD00401	342.41
Other - DD00402		
123 - Synergy		
2041738821	01/02/23 Streetlights - 25 Dec 22 to 24 Jan 2023	3,493.03
	Total 123	3,493.03
	Total DD00402	3,493.03
Other - DD00403		
123 - Synergy		
2061729238	01/02/23 Streetlights 2 MHP - 28 Dec to 27 Jan 2023	37.46
	Total 123	37.46
	Total DD00403	37.46
Total Direct Debits		\$ 14,308.34
Other - DD00404		
3084 - Shire Credit Cards -NAB Visa flexi purchase		
FEES NAB VISA 30/12/2022-	28/01/23 FEES NAB VISA 30/12/2022-27/01/2023	110.00
ALSLH VISA 30/12/2022 TO	27/01/23 ALSLH VISA 30/12/2022 TO 27/01/2023	2,258.94
CLS SF VISA 30/12/22 TO	27/01/23 CLS SF VISA 30/12/22 TO 27/01/23	1,367.16
DEPOT RY VISA 30/12/22 TO	27/01/23 DEPOT RY VISA 30/12/22 TO 27/01/23	531.71
DEPOT TW VISA 30 DEC TO 27 JAN	27/01/23 DEPOT TW VISA 30 DEC TO 27 JAN 2023	503.72
MIS DN VISA 30 DEC TO 27 JAN	27/01/23 MIS DN VISA 30 DEC TO 27 JAN 2023	868.23
CEO DB VISA 30 DEC 22 TO 27	27/01/23 CEO DB VISA 30 DEC 22 TO 27 JAN23	28.81
MCCS MC VISA 30 DEC TO 27 JAN	27/01/23 MCCS MC VISA 30 DEC TO 27 JAN 2023	773.82
MDS JG VISA 30 DEC TO 27 JAN	27/01/23 MDS JG VISA 30 DEC TO 27 JAN 2023	579.88
	Total 3084	7,022.27

Accounts Paid - February 2023

Payment / Invoice	Date Description	Amount		
	Total DD00404	7,022.27		
	Total Credit Cards		\$	7,022.27
	Grand Total - Other	23,112.61	\$	23,112.61
Grand Total Accounts Paid - February			\$	215,747.08



FlexiPurchase
Account Statement

Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023
Cardholder Name: Lance Hopkinson



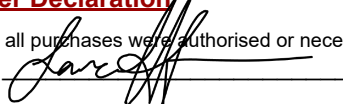
JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
06 Jan 2023	Veritas Engineering Pt Perth		Approval Req'd	<input checked="" type="checkbox"/>	\$62.95
28770	129	1005	\$57.23	\$5.72	\$62.95
Purchase Veritas Engineering Pt sally police clearance					
05 Jan 2023	Officeworks Bentleigh Eas		Approval Req'd	<input checked="" type="checkbox"/>	\$165.00
27160	139	1106	\$150.00	\$15.00	\$165.00
Purchase Officeworks usb's and camera					
06 Jan 2023	Post Cottesloe Post Co Cottesloe		Approval Req'd	<input checked="" type="checkbox"/>	\$87.00
28770	129	1005	\$79.09	\$7.91	\$87.00
Purchase Post Cottesloe Post Co Sally police clearance ID check					
12 Jan 2023	Sp Jb Hi-Fi Online Southbank		Approval Req'd	<input checked="" type="checkbox"/>	\$360.66
28473	139	1106	\$327.87	\$32.79	\$360.66
Purchase Sp Jb Hi-Fi Online dvds					
15 Jan 2023	Adobe Creative Cloud Sydney		Approval Req'd	<input checked="" type="checkbox"/>	\$43.99
28545	129	1005	\$39.99	\$4.00	\$43.99
Purchase Adobe Creative Cloud Adobe Suite monthly					
18 Jan 2023	Peppermint News Agc Peppermint Gr		Approval Req'd	<input checked="" type="checkbox"/>	\$215.70
27180	139	1106	\$196.09	\$19.61	\$215.70
Purchase Peppermint News Agc library newspapers					
18 Jan 2023	Www.Connectingup.Org Richmond		Approval Req'd	<input checked="" type="checkbox"/>	\$765.60
27160	129	1106	\$696.00	\$69.60	\$765.60
Purchase Www.Connectingup.Org 12 MS OFFICE NOT FOR PROFIT LICENCES					

18 Jan 2023	Cafe Zamia Kings Par Kings Park	Approval Req'd	<input checked="" type="checkbox"/>	\$15.40
28770	139	1106	\$14.00	\$1.40
Purchase Cafe Zamia Kings Par wslg MEETING				
19 Jan 2023	Officeworks Bentleigh Eas	Approval Req'd	<input checked="" type="checkbox"/>	\$529.72
28770	139	1005	\$481.56	\$48.16
Purchase Officeworks A3/A4 exhibition frames				
24 Jan 2023	Woolworths/Cottesloe Grov Cottesloe	Approval Req'd	<input checked="" type="checkbox"/>	\$6.10
28770	139	1106	\$5.55	\$0.55
Purchase Woolworths/Cottesloe Grov KITCHEN				
27 Jan 2023	Account Fees	No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82
27130	129	1106	\$6.20	\$0.62
Account Fees Cc Fp User Fee bank charges				
Total for this period:				\$2,258.94

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature  Dated 21 / 02 / 2023

Employee ID: 60

Approved By

Signature  Dated 21/02/2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023
Cardholder Name: Donald Burnett

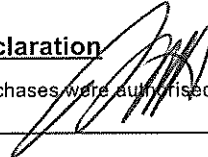


JSKR VISA Purchasing Card (Client Expenses)

Date	Details	Approval	Receipt	Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
21 Jan 2023	Adobe Acropro Subs Sydney	Approval Req'd	<input checked="" type="checkbox"/>	\$21.99	
27140	190	0403	\$19.99	\$2.00	\$21.99
Purchase Adobe Acropro Subs Adobe Janaury					
27 Jan 2023	Account Fees	No Appr Req'd	<input type="checkbox"/>	\$6.82	
27130	190	0403	\$6.20	\$0.62	\$6.82
Account Fees Cc Fp User Fee Bank fees					
Total for this period:				\$28.81	

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature 

Dated 28/1/2023

Employee ID: 5

Approved By

Signature 

Dated 28/02/2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023

Cardholder Name: Stewart Farley



JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt		Amount (\$AUD)
	GL Code	CC Code		Department	Net	
28 Dec 2022	Bunnings 317000	Melville	Approved		<input checked="" type="checkbox"/>	\$185.75
28340	139	1106	\$168.86	\$16.89	\$185.75	
Purchase Bunnings 317000 prizes for the Kids Christmas colouring competition december						
10 Jan 2023	Officeworks 0616	O'Connor	Approved		<input checked="" type="checkbox"/>	\$58.18
28340	139	1106	\$52.89	\$5.29	\$58.18	
Purchase Officeworks 0616 Christmas colouring comp prizes 2022						
27 Jan 2023	Account Fees		No Appr Req'd		<input type="checkbox"/>	\$6.82
27130	139	1106	\$6.20	\$0.62	\$6.82	
Account Fees Cc Fp User Fee Account Fees						
25 Jan 2023	Big W/Kwinana Fwy & Beeli Success		Approved		<input checked="" type="checkbox"/>	\$379.00
28471	139	1106	\$344.55	\$34.45	\$379.00	
Purchase Big W/Kwinana Fwy & Beeli junior book purchases						
23 Jan 2023	Qbd The Bookshop Cannington		Approved		<input checked="" type="checkbox"/>	\$383.78
28471	139	1106	\$348.89	\$34.89	\$383.78	
Purchase Qbd The Bookshop junior book purchases						
26 Jan 2023	Bookdepository.Com 441452307905		Approved		<input checked="" type="checkbox"/>	\$353.63
28471	139	1106	\$321.48	\$32.15	\$353.63	
Purchase Bookdepository.Com junior book purchases						
Total for this period:						\$1,367.16

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature

Dated 21 / 2 / 2023

Employee ID: 63

Approved By

Signature

Dated 21 / 2 / 2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023

Cardholder Name: Robert Young



JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt	Amount (\$AUD)		
	GL Code	CC Code			Department	Net	Tax
28 Dec 2022	Bp Cannington	6204 Cannington	Approval Req'd	<input checked="" type="checkbox"/>		\$123.66	
	28360	139			\$112.42	\$11.24	
	Purchase Bp Cannington 6204 ute fuel						\$123.66
03 Jan 2023	Coles Express	6919 Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>		\$80.22	
	28360	139			\$72.93	\$7.29	
	Purchase Coles Express 6919 Loader Fuel						\$80.22
13 Jan 2023	Coles Express	6919 Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>		\$128.75	
	28360	139			\$117.05	\$11.70	
	Purchase Coles Express 6919 Ute Fuel						\$128.75
16 Jan 2023	Coles Express	6919 Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>		\$64.23	
	28360	139			\$58.39	\$5.84	
	Purchase Coles Express 6919 Depo fuel						\$64.23
27 Jan 2023	Account Fees		No Appr Req'd	<input checked="" type="checkbox"/>		\$6.82	
	27130	139			\$6.20	\$0.62	
	Account Fees Cc Fp User Fee Bank fees						\$6.82
25 Jan 2023	Coles Express	6919 Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>		\$128.03	
	28360	139			\$116.39	\$11.64	
	Purchase Coles Express 6919 Ute Fuel						\$128.03
Total for this period:						\$531.71	

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature

Dated 30 / 01 / 2023

Employee ID: RY

Approved By

Signature

Dated 30 / 1 / 2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023

Cardholder Name: Tim Whitham



JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt	Amount (\$AUD)	
	GL Code	CC Code			Department	Net
31 Dec 2022	Batteryworld	Oconnor	O'Connor	Approval Req'd	<input checked="" type="checkbox"/>	\$332.00
28270	139	1404	\$301.82	\$30.18	\$332.00	
Purchase Batteryworld Oconnor Vehicle battery.						
29 Dec 2022	Ampol Mosman Pa	55363f	Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>	\$122.00
28360	139	1104	\$110.91	\$11.09	\$122.00	
Purchase Ampol Mosman Pa 55363f ute fuel						
18 Jan 2023	Bunnings 483000	Claremont		Approval Req'd	<input checked="" type="checkbox"/>	\$42.90
28270	139	1104	\$39.00	\$3.90	\$42.90	
Purchase Bunnings 483000 Hardware						
27 Jan 2023	Account Fees			No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82
27130	190	0403	\$6.20	\$0.62	\$6.82	
Account Fees Cc Fp User Fee Bank Fees.						
Total for this period:						\$503.72

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature _____

Dated 30 / 1 / 2023

Employee ID: TW

Approved By

Signature _____

Dated 30 / 1 / 2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023

Cardholder Name: Michael Costarella



JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt	Amount (\$AUD)	
	GL Code	CC Code			Department	Net
17 Jan 2023	28120	190	Osborne Park	No Appr Req'd	<input checked="" type="checkbox"/>	\$120.00
				\$109.09	\$10.91	\$120.00
	Purchase Demmer Galleries Photo of King Charles					
24 Jan 2023	27160	139	Southbank	No Appr Req'd	<input checked="" type="checkbox"/>	\$339.00
				\$308.18	\$30.82	\$339.00
	Purchase Sp Jb Hi-Fi Online Base Station for Computer					
23 Jan 2023	28340	190	Claremont	No Appr Req'd	<input checked="" type="checkbox"/>	\$308.00
				\$280.00	\$28.00	\$308.00
	Purchase Liv*claremontartframe frames for Australia Day 2023					
27 Jan 2023	27130	190		No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82
				\$6.20	\$0.62	\$6.82
	Account Fees Account Fees Cc Fp User Fee Bank Fees					
Total for this period:						\$773.82

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature Michael Costarella Dated 8 / 3 / 2023

Employee ID: E0005

Approved By

Signature [Signature] Dated 9/3/2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023

Cardholder Name: Joel Lee Gajic



JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt	Amount (\$AUD)	
	GL Code	CC Code			Department	Net
17 Jan 2023	28120	190	Shenton Park	Approved	<input checked="" type="checkbox"/>	\$573.06
				\$520.96	\$52.10	\$573.06
	Purchase Post Newspapers DAIP public notices					
27 Jan 2023	27130	119	1002	No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82
				\$6.20	\$0.62	\$6.82
	Account Fees Cc Fp User Fee Bank fees					
Total for this period:						\$579.88

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature _____

Dated 03 / 03 / 2023

Employee ID: E0020

Approved By

Signature _____

Dated 7/03/2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 30 Dec 2022 to 27 Jan 2023

Cardholder Name: Donovan Norgard



JSKR VISA Purchasing Card (Client Expenses)

Date		Details		Approval	Receipt	Amount (\$AUD)	
GL Code	CC Code	Department		Net	Tax	Gross	
28 Dec 2022	Bp Exp Myaree	1840 Myaree		Approval Req'd	<input checked="" type="checkbox"/>		\$126.16
28360	129	1104		\$114.69	\$11.47	\$126.16	
Purchase Bp Exp Myaree 1840 Fuel							
03 Jan 2023	Dowerin Tyre & Exhaus	Dowerin		Approval Req'd	<input checked="" type="checkbox"/>		\$35.00
28830	129	1104		\$31.82	\$3.18	\$35.00	
Purchase Dowerin Tyre & Exhaus Tyre repair							
03 Jan 2023	Adobe Acropro Subs	Sydney		Approval Req'd	<input checked="" type="checkbox"/>		\$28.99
28830	129	1104		\$26.35	\$2.64	\$28.99	
Purchase Adobe Acropro Subs Tyre repair							
03 Jan 2023	Puma Dowerin Mahomets Flat			Approval Req'd	<input checked="" type="checkbox"/>		\$143.17
28360	129	1104		\$130.15	\$13.02	\$143.17	
Purchase Puma Dowerin Fuel							
05 Jan 2023	Bp Exp Myaree	1840 Myaree		Approval Req'd	<input checked="" type="checkbox"/>		\$133.02
28360	129	1104		\$120.93	\$12.09	\$133.02	
Purchase Bp Exp Myaree 1840 Fuel							
08 Jan 2023	Bp Exp Myaree	1840 Myaree		Approval Req'd	<input checked="" type="checkbox"/>		\$71.26
28360	129	1104		\$64.78	\$6.48	\$71.26	
Purchase Bp Exp Myaree 1840 Fuel							
12 Jan 2023	Bp Exp Myaree	1840 Myaree		Approval Req'd	<input checked="" type="checkbox"/>		\$125.48
28360	129	1104		\$114.07	\$11.41	\$125.48	
Purchase Bp Exp Myaree 1840 Fuel							
17 Jan 2023	Ampol Oconnor 55366f	Oconnor		Approval Req'd	<input checked="" type="checkbox"/>		\$128.34
28360	129	1104		\$116.67	\$11.67	\$128.34	
Purchase Ampol Oconnor 55366f Fuel							
21 Jan 2023	Ampol Wow Murdoch	Murdoch		Approval Req'd	<input checked="" type="checkbox"/>		\$69.99
28360	129	1104		\$63.63	\$6.36	\$69.99	
Purchase Ampol Wow Murdoch Fuel							
27 Jan 2023	Account Fees			No Appr Req'd	<input type="checkbox"/>		\$6.82
27130	129	1104		\$6.20	\$0.62	\$6.82	
Account Fees Cc Fp User Fee Bank fees							
Total for this period:						\$868.23	

Cardholder Declaration


I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature  _____

Dated 30 / 01 / 2023

Employee ID: 169

Approved By

Signature  _____

Dated 30 / 1 / 2023

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Ordinary Council Meeting

8.3.2 – Financial Management Statements for the period ended 28th February 2023

Statements to be provided at OCM on 28.02.23



Ordinary Council Meeting

8.4.1 – Shire of Peppermint Grove Reconciliation Action Plan

- Reconciliation Action Plan (RAP) Framework
- Reconciliation Action Plan (RAP) Template
- Terms of Reference for the Shire of Peppermint Grove's Reconciliation Action Working Group



Which RAP is right for you?

Reconciliation Action Plan (RAP) Framework

Reconciliation Australia's RAP Framework provides organisations with a structured approach to advance reconciliation. There are four different types of RAP that an organisation can develop: *Reflect*, *Innovate*, *Stretch* & *Elevate*. Each type of RAP is designed to suit an organisation at different stages of their reconciliation journey and organisations can repeat the same type of RAP if appropriate.

Reflect RAP

Scoping capacity for reconciliation

A Reflect RAP clearly sets out the steps you should take to prepare your organisation for reconciliation initiatives in successive RAPs. Committing to a Reflect RAP allows your organisation to spend time scoping and developing relationships with Aboriginal and Torres Strait Islander stakeholders, deciding on your vision for reconciliation and exploring your sphere of influence, before committing to specific actions or initiatives. This process will help to produce future RAPs that are meaningful, mutually beneficial and sustainable.

Is a Reflect RAP the right fit for your organisation?	
RAP objective	<ul style="list-style-type: none"> Prepare the organisation for future RAPs and reconciliation initiatives
Duration	<ul style="list-style-type: none"> 12 months
Suitable for	<p>Organisations that may:</p> <ul style="list-style-type: none"> be new to reconciliation and are unsure of how their organisation could or should engage with reconciliation have limited or poor relationships with Aboriginal and Torres Strait Islander stakeholders need time to engage the whole of organisation in reconciliation, including gaining support from senior leaders don't have an existing working group and structured plan to drive reconciliation Organisations that are unsure who their Aboriginal and Torres Strait Islander staff and external stakeholders are
Key expectations of the RAP	<ul style="list-style-type: none"> Establish an effective governance structure, including RAP Working Group Determine your organisation's vision for reconciliation Scope and reflect on how the organisation can contribute to reconciliation Improve relationships with Aboriginal and Torres Strait Islander peoples and relevant stakeholders Build understanding of who, how, why and when to seek guidance and consultation Prepare business cases to senior leaders for future reconciliation initiatives Not necessarily expected to make changes to policies or internal operations

Innovate RAP

Implementing reconciliation initiatives

An Innovate RAP outlines actions that work towards achieving your organisation's unique vision for reconciliation. Commitments within this RAP allow your organisation to be aspirational and innovative in order to help your organisation gain a deeper understanding of its sphere of influence, and establish the best approach to advance reconciliation. An Innovate RAP focuses on developing and strengthening relationships with Aboriginal and Torres Strait Islander peoples, engaging staff and stakeholders in reconciliation, developing and piloting innovative strategies to empower Aboriginal and Torres Strait Islander peoples.

Is an Innovate RAP the right fit for your organisation?

RAP objectives

- Establishing the best approach for advancing reconciliation within the organisation
- Implementing reconciliation strategies and initiatives

Duration

- 2 years

Prerequisites

- General support and goodwill throughout the organisation
- Support from senior leaders of the organisation
- Established governance structure, including RAP Working Group with Aboriginal and/or Torres Strait Islander representation

Suitable for

- Organisations that:
- have strong relationships with their Aboriginal and Torres Strait Islander stakeholders and understand who, how, why, and when to seek guidance and consultation
 - are ready to begin or continue to implement strategies, initiatives and policies that support reconciliation
 - are ready to commit to additional actions tailored to their organisation
- Organisations that may have:
- strong engagement with reconciliation and want to consolidate this through a structured governance model and formal public commitment
 - had challenges with previous efforts or are yet to embed reconciliation across the organisation
 - completed a RAP previously, have learnt from this experience and wish to continue or improve their approaches and/or try new approaches

Key expectations of the RAP

- Develop mutually beneficial relationships with Aboriginal and Torres Strait Islander stakeholders
- Develop and pilot strategies for reconciliation initiatives
- Engage staff in reconciliation
- Identify the best approach for the organisation through aspirational deliverable
- Explore how the organisation can drive reconciliation through its business activities, services, programs, stakeholders and/or sphere of influence
- Report to Reconciliation Australia by September each year, through the RAP Impact measurement questionnaire
- Publicly report on RAP progress to external stakeholders

Stretch RAP

Embedding reconciliation

A Stretch RAP is best suited to organisations that have developed strategies, and established a very strong approach towards advancing reconciliation internally and within the organisation's sphere of influence. This type of RAP is focused on implementing longer-term strategies, and working towards defined measurable targets and goals. The Stretch RAP requires organisations to embed reconciliation initiatives into business strategies to become 'business as usual'.

Is a Stretch RAP the right fit for your organisation?	
RAP objectives	<ul style="list-style-type: none"> ▪ Embed reconciliation initiatives into the organisation ▪ Utilise sphere of influence to drive reconciliation
Duration	<ul style="list-style-type: none"> ▪ 2-3 years
Prerequisites	<p>Organisations are expected to have:</p> <ul style="list-style-type: none"> ▪ successfully completed a previous RAP ▪ strong meaningful engagement with internal and external Aboriginal and Torres Strait Islander stakeholders ▪ an effective governance structure, including RAP Working Group with Aboriginal and/or Torres Strait Islander representation, and senior decision makers from across the organisation ▪ processes and systems in place to capture information on staff cultural learning, Aboriginal and Torres Strait Islander employees, spend with Aboriginal and Torres Strait Islander businesses, and any other relevant RAP commitments ▪ strong support and engagement from senior leaders, including a designated RAP Champion ▪ an effective Aboriginal and Torres Strait Islander engagement strategy, cultural learning strategy and employment strategy ▪ completed the RAP Impact Measurement Questionnaire Report each year
Suitable for	<p>Organisations that have met the above requirements and:</p> <ul style="list-style-type: none"> ▪ are confident in their tried and tested approach to embedding reconciliation within their organisation ▪ have tailored additional commitments to their business activities, services, programs, stakeholders and/or sphere of influence ▪ are ready to expand on their efforts through specific and measurable longer-term commitments with an outcomes focus ▪ can commit to robust reporting requirements ▪ are willing to collaborate with other RAP organisations to advance reconciliation
Key expectations of the RAP	<ul style="list-style-type: none"> ▪ Set measurable targets and firm tangible commitments throughout the RAP ▪ Implement strategies to ensure staff throughout the organisation is engaged in reconciliation ▪ Continuous improvement of engagement, cultural learning, employment and procurement strategies ▪ Engage external stakeholders in reconciliation ▪ Consider initiatives to address the five dimensions of reconciliation ▪ Report to Reconciliation Australia by September each year, through the RAP Impact Measurement Questionnaire ▪ Publically report on RAP progress to external stakeholders

Elevate RAP

Leadership in reconciliation

Please discuss with Reconciliation Australia if you are aspiring for an Elevate RAP as there are unique requirements, expectations and processes in order to qualify.

For more information visit
www.reconciliation.org.au



REFLECT

Reconciliation Action Plan (RAP) template

Reflect RAP:

A Reflect RAP is used to lay the foundations and prepare your workplace for future RAPs and reconciliation initiatives. A Reflect RAP is a public commitment published on [Reconciliation Australia's website](#). A Reflect RAP has a 12-18 month duration.

Before you start:

Before you commit to developing a RAP, it is important that you read and understand the [RAP framework](#), consisting of the three core pillars (Relationships, Respect and Opportunities), [four RAP types](#) (Reflect, Innovate, Stretch and Elevate) and [mandatory actions and deliverables](#) that guide the development of RAPs. It is also important to read and understand the [RAP development, review and endorsement process](#), starting with assessing [whether a RAP is right for your organisation](#).

How to use this RAP template:

The Reflect RAP template is designed to provide workplaces with a roadmap to begin their reconciliation journey. As such, the Reflect RAP template is pre-filled with all the mandatory actions and deliverables that workplaces are required to commit to in order to receive Reconciliation Australia's endorsement. Please complete the template by addressing the questions outlined in the 'Our Business', 'Our RAP' and 'Our partnerships/current activities' sections, and assigning a responsibility and timeline to each deliverable provided in the template. Additional actions and deliverables specific to your workplace's unique [sphere of influence](#) may also be added, but are not required for Reconciliation Australia's endorsement.

Throughout this template, all *italicised* font is instructional only, whilst regular font indicates fixed text you need to include in your RAP. In addition, please review the following resources for good practice guidance on completing RAP templates.

- [Developing a S.M.A.R.T. RAP](#).
- [Demonstrating inclusive and respectful language](#).

RAP review and endorsement process:

Once you have completed your first draft RAP, please [submit for review](#) via Reconciliation Australia's website. A RAP team member will be in touch to provide feedback and tailored assistance within four weeks. Once Reconciliation Australia is satisfied your RAP meets requirements for endorsement, you will be provided endorsement in two stages.

1. **Conditional Endorsement** – Reconciliation Australia will provide in principle endorsement of your RAP (content only) allowing you to seek internal sign-off from your senior leadership with confidence. Reconciliation Australia will also provide you with the RAP logo and branding to include in final design of your RAP.
NB: RAP logos are trademarked through IP Australia and must not be used until you have received Reconciliation Australia's final endorsement.
2. **Final Endorsement** – Reconciliation Australia will check that your final designed document includes the conditionally endorsed content and the RAP logo and branding before providing final endorsement.

[Organisation Name]

Reflect Reconciliation Action Plan [month, 20__] – [month, 20__]

Our business

The purpose of this section is to provide staff and stakeholders with context about your workplace. In paragraphs, address the following questions as a minimum.

- *What is your core business?*
- *How many people does your workplace employ in Australia?*
- *How many Aboriginal and Torres Strait Islander staff does your workplace currently employ (if known)?*
- *What is your organisation's geographic reach (regional, national, or global)?*
- *How many office locations does your workplace have in Australia and where are they?*

Our RAP

The purpose of this section is to provide readers of your RAP with background about your workplace's interest in reconciliation. In paragraphs, address the following questions as a minimum.

- *Why is your workplace developing a RAP?*
- *How do you intend to approach implementing your RAP?*
- *What is your workplace's reconciliation journey to date (if applicable)?*

Our partnerships/current activities (if applicable)

The purpose of this section is to highlight your engagement with reconciliation and Aboriginal and Torres Strait Islander peoples to date. In paragraphs, describe any partnerships or current reconciliation activities you have in place:

- *Community partnerships*
- *Internal activities/initiatives*

Relationships			
Action	Deliverable	Timeline	Responsibility
1. Establish and strengthen mutually beneficial relationships with Aboriginal and Torres Strait Islander stakeholders and organisations.	<ul style="list-style-type: none"> Identify Aboriginal and Torres Strait Islander stakeholders and organisations within our local area or sphere of influence. 	<i>[Month, year]</i>	<i>[Job title]</i>
	<ul style="list-style-type: none"> Research best practice and principles that support partnerships with Aboriginal and Torres Strait Islander stakeholders and organisations. 		
2. Build relationships through celebrating National Reconciliation Week (NRW).	<ul style="list-style-type: none"> Circulate Reconciliation Australia's NRW resources and reconciliation materials to our staff. 	May <i>[Year]</i>	
	<ul style="list-style-type: none"> RAP Working Group members to participate in an external NRW event. 	27 May-3 June, <i>[Year]</i>	
	<ul style="list-style-type: none"> Encourage and support staff and senior leaders to participate in at least one external event to recognise and celebrate NRW. 	27 May-3 June, <i>[Year]</i>	
3. Promote reconciliation through our sphere of influence.	<ul style="list-style-type: none"> Communicate our commitment to reconciliation to all staff. 		
	<ul style="list-style-type: none"> Identify external stakeholders that our organisation can engage with on our reconciliation journey. 		
	<ul style="list-style-type: none"> Identify RAP and other like-minded organisations that we could approach to collaborate with on our reconciliation journey. 		
4. Promote positive race relations through anti-discrimination strategies.	<ul style="list-style-type: none"> Research best practice and policies in areas of race relations and anti-discrimination. 		
	<ul style="list-style-type: none"> Conduct a review of HR policies and procedures to identify existing anti-discrimination provisions, and future needs. 		

Respect			
Action	Deliverable	Timeline	Responsibility
5. Increase understanding, value and recognition of Aboriginal and Torres Strait Islander cultures, histories, knowledge and rights through cultural learning.	<ul style="list-style-type: none"> Develop a business case for increasing understanding, value and recognition of Aboriginal and Torres Strait Islander cultures, histories, knowledge and rights within our organisation. 	<i>[Month, year]</i>	<i>[Job title]</i>
	<ul style="list-style-type: none"> Conduct a review of cultural learning needs within our organisation. 		
6. Demonstrate respect to Aboriginal and Torres Strait Islander peoples by observing cultural protocols.	<ul style="list-style-type: none"> Develop an understanding of the local Traditional Owners or Custodians of the lands and waters within our organisation's operational area. 		
	<ul style="list-style-type: none"> Increase staff's understanding of the purpose and significance behind cultural protocols, including Acknowledgement of Country and Welcome to Country protocols. 		
7. Build respect for Aboriginal and Torres Strait Islander cultures and histories by celebrating NAIDOC Week.	<ul style="list-style-type: none"> Raise awareness and share information amongst our staff about the meaning of NAIDOC Week. 		
	<ul style="list-style-type: none"> Introduce our staff to NAIDOC Week by promoting external events in our local area. 	June <i>[Year]</i>	
	<ul style="list-style-type: none"> RAP Working Group to participate in an external NAIDOC Week event. 	First week in July, <i>[Year]</i>	

Opportunities			
Action	Deliverable	Timeline	Responsibility
8. Improve employment outcomes by increasing Aboriginal and Torres Strait Islander recruitment, retention and professional development.	<ul style="list-style-type: none"> Develop a business case for Aboriginal and Torres Strait Islander employment within our organisation. 	<i>[Month, year]</i>	<i>[Job title]</i>
	<ul style="list-style-type: none"> Build understanding of current Aboriginal and Torres Strait Islander staffing to inform future employment and professional development opportunities. 		
9. Increase Aboriginal and Torres Strait Islander supplier diversity to support improved economic and social outcomes.	<ul style="list-style-type: none"> Develop a business case for procurement from Aboriginal and Torres Strait Islander owned businesses. 		
	<ul style="list-style-type: none"> Investigate Supply Nation membership. 		

Governance			
Action	Deliverable	Timeline	Responsibility
10. Establish and maintain an effective RAP Working Group (RWG) to drive governance of the RAP.	<ul style="list-style-type: none"> Form a RWG to govern RAP implementation. 	<i>[Month, year]</i>	<i>[Job title]</i>
	<ul style="list-style-type: none"> Draft a Terms of Reference for the RWG. 		
	<ul style="list-style-type: none"> Establish Aboriginal and Torres Strait Islander representation on the RWG. 		
11. Provide appropriate support for effective implementation of RAP commitments.	<ul style="list-style-type: none"> Define resource needs for RAP implementation. 		
	<ul style="list-style-type: none"> Engage senior leaders in the delivery of RAP commitments. 		
	<ul style="list-style-type: none"> Appoint a senior leader to champion our RAP internally. 		
	<ul style="list-style-type: none"> Define appropriate systems and capability to track, measure and report on RAP commitments. 		
12. Build accountability and transparency through reporting RAP achievements, challenges and learnings both internally and externally.	<ul style="list-style-type: none"> Contact Reconciliation Australia to verify that our primary and secondary contact details are up to date, to ensure we do not miss out on important RAP correspondence. 	June annually	
	<ul style="list-style-type: none"> Contact Reconciliation Australia to request our unique link, to access the online RAP Impact Measurement Questionnaire. 	1 August annually	
	<ul style="list-style-type: none"> Complete and submit the annual RAP Impact Measurement Questionnaire to Reconciliation Australia. 	30 September, annually	
13. Continue our reconciliation journey by developing our next RAP.	<ul style="list-style-type: none"> Register via Reconciliation Australia's website to begin developing our next RAP. 	<i>[three months prior to RAP expiry date]</i>	

Contact details: *[Include contact details (job title, phone, and email) for public enquiries about your RAP]*

Name:

Position:

Phone:

Email:



Shire of
Peppermint Grove

TERMS OF REFERENCE – RECONCILIATION ACTION WORKING GROUP

The Shire of Peppermint Grove acknowledges the Whadjak Noongar people as the traditional custodians of the lands and water where the Shire is situated. We pay our respects to their Elders past, present and emerging.

This Term of Reference document defines the membership, authority, purpose, operational guidelines, responsibilities and resources of the Shire of Peppermint Grove Reconciliation Action Working Group.

1. Name

The name of this Working Group is 'Reconciliation Action Working Group'. All references to 'Group' in this terms of reference mean 'Reconciliation Action Working Group.'

2. Establishment

This Group is established by Council to provide advice and feedback to the Council itself. It is not a 'committee' for the purposes of section 5.8 of the Local Government Act 1995.

3. Purpose

The purpose of this Group is to guide and assist the Shire of Peppermint Grove in the development of a Reconciliation Action Plan (RAP) in consultation with Reconciliation Australia, using their toolkit, templates and resources.

4. Terms of Reference

- a) To advise Council on the development and implementation of the Shire's Reconciliation Action Plans.
- b) To assist Council to priorities the most important issues regarding Reconciliation.
- c) To improve communication and relationships between the Shire and Aboriginal and Torres Strait Islander communities.
- d) To develop a culturally aware and supportive workplace to enable all employees to thrive.

5. Membership

The Group shall consist of:

- Two (2) Elected Members;
- Shire of Peppermint Grove CEO or nominated officer; and
- Up to three (3) community members including Aboriginal and Torres Trait Islander.

Vacancies for the community representatives will generally be advertised in the local papers, the Shire of Peppermint Grove webpage and notice boards. Council will then select and appoint new members.

Community representation is valid for two years, until the person resigns, the Group is disbanded or the next Ordinary Council Election, which ever happens first. Nothing prevents an existing member re-nominating.

6. Meetings

6.1 Group Meetings

Meetings shall be held as required.

6.2 Quorum

As this Group has no delegated authority, there is no requirement for a quorum to be present. However, it is generally accepted that fifty percentage of appointed members and two Elected Members should be present to endorse the minutes of a previous meeting.

6.3 Voting

As this Group has no delegated authority, any recommendation or comment provided shall require the support of 50% of the members present.

6.4 Minutes

The Shire's administration will provide a record of each meeting to the next ordinary meeting group. These records may be used by Council when considering recommendations forwarded to Council for consideration.

6.5 Who acts if the presiding member is unavailable.

In the event the presiding member (and deputy presiding member) of the group is unable to attend a meeting, a ballot shall be collated by the most senior staff member present for a chair for that meeting.

6.6 Meetings

Meetings will not ordinarily be open to the public to attend and participate in. The group, can however, request a public meeting if they believe it will assist in their work.

6.7 Members Conduct

Shire's Members of the Committee shall be bound by the following:

- The provisions of section 5.65 of the Act;
- Shire's Code of Conduct;
- Local Government (Rules of Conduct) Regulations 2007, and
- Regulation 34C of the Local Government (Administration) Regulations 1996.

With respect to their conduct at meetings and their duty of disclosure.

Elected Members and Officers of the Shire of Peppermint Grove will be bound by these provisions, relating specifically to their participation in the Committee at all times.

6.8 Secretary

The Chief Executive Officer (or their nominated representative) shall undertake the following secretarial duties:

- Attend and note the issues and ideas put forward; and
- Provide the administrative support required to present the outcomes of the meeting to Council for consideration where required.

6.9 Presiding Member

The members (voting) will elect a presiding member (and deputy presiding member) at the first meeting after these positions become vacant for any reason. The voting on and appointment of the presiding member and deputy member shall be in accordance with the provision of section 5.12 of the Act.

6.10 Meeting attendance fees

Nil

7.0 Delegated Authority

This Group has no delegated authority.



Ordinary Council Meeting

8.4.2 – Matters for Information and Noting

- Planning Approvals
- Infringements
- Library Statistics
- Recycling
- Library Management Group Meeting
Minutes 7th March 2023
- Annual Electors Meeting Minutes
28th February 2023

Matters for Information and Noting

No Building Permits Issued February 2022

Planning Approvals and Notices Issued February 2022

Application Number	Location	Description	Delegation
DA 2022 / 00004	1 McNeil Street	Front Fence	Council
DA 2023 / 00002	460-476 Stirling Highway	Retrospective Signage	Delegated

Infringements February 2022

Reason	Amount
3.9(C) Parking A Trailer/Caravan on A Thoroughfare	\$100.00
4.1(2) Parking Contrary to A 'No Parking' Sign	\$80.00
4.1(1) Stopping Contrary to A 'No Stopping' Sign	\$100.00

Library

Library Statistics	February 2023	February 2022	February 2021
Loans	19,234	17,424	13,824
New Borrowers	264	225	275

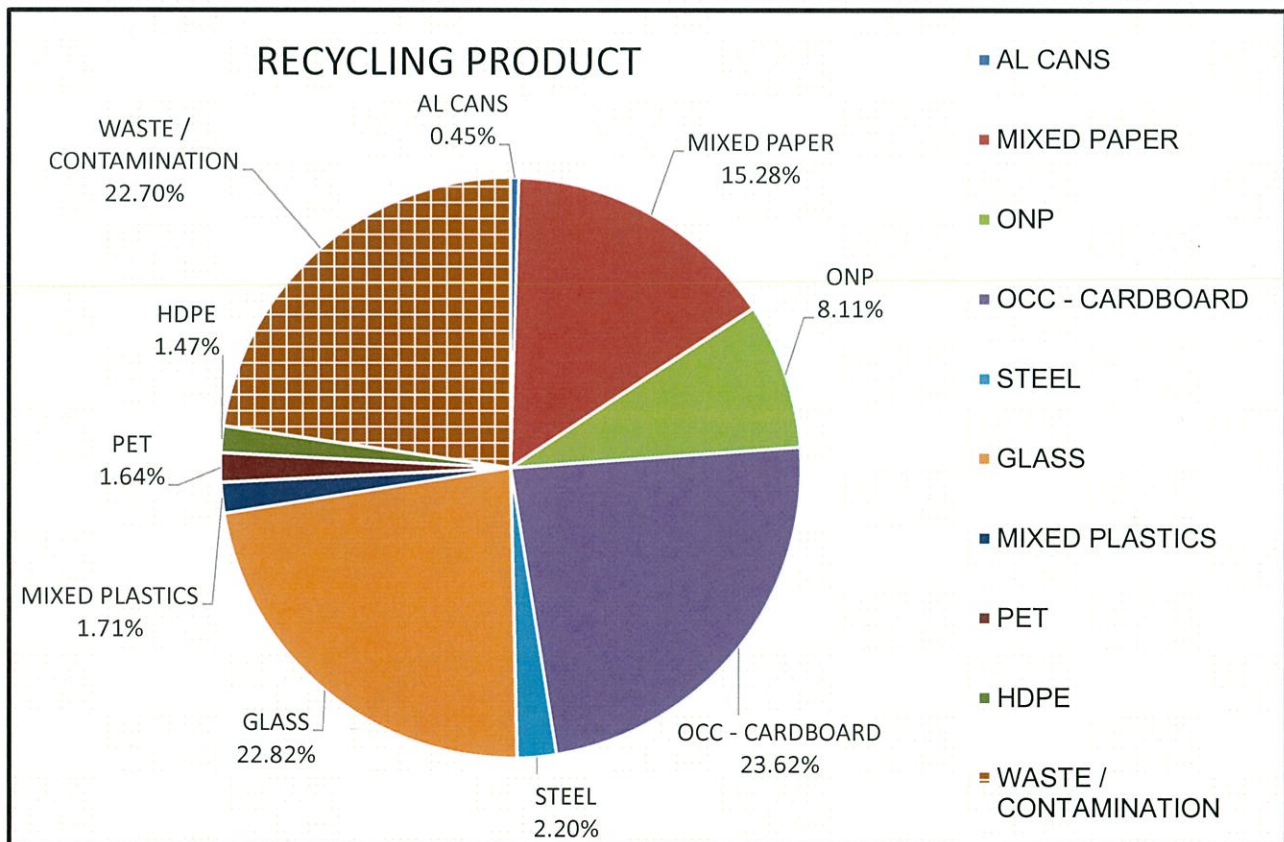
Library Statistics	January 2023	January 2022	January 2021
Loans	21,152	19,699	18,445
New Borrowers	363	254	341

Recycling Recovery



January 2023

PRODUCT	Product - Percentage	Product - Tonnes
AL CANS	0.45	0.06
MIXED PAPER	15.28	1.97
ONP	8.11	1.05
OCC - CARDBOARD	23.62	3.05
STEEL	2.20	0.28
GLASS	22.82	2.94
MIXED PLASTICS	1.71	0.22
PET	1.64	0.21
HDPE	1.47	0.19
TOTAL RECOVERED	77.30	9.97
WASTE / CONTAMINATION	22.70	2.93
MONTHLY TOTAL	100.00	12.90





**MINUTES FOR THE
LIBRARY MANAGEMENT GROUP
MEETING**

HELD

**Tuesday 7 March 2023
At 8.00 am
Shire of Peppermint Grove
Council Chambers.**

TOWN OF COTTESLOE - TOWN OF MOSMAN PARK - SHIRE OF PEPPERMINT GROVE



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TOWN OF COTTESLOE -TOWN OF MOSMAN PARK -SHIRE OF PEPPERMINT GROVE



NOTICE OF LIBRARY MANAGEMENT GROUP MEETING

The presiding Member declared the meeting open at 8.09 am.

Delegates:

ATTENDEES

Town of Cottesloe

Mayor L (Lorraine) Young (Chair)

Shire of Peppermint Grove

Cr K (Karen) Farley (via telephone)

Town of Mosman Park

Mayor P (Paul) Shaw

Officers Attending:

Town of Cottesloe

Shane Collie, Director Corporate and
Community Services

Shire of Peppermint Grove

Don Burnett, Chief Executive Officer
Michael Costarella, Manager Corporate and
Community Services
Lance Hopkinson, Library Coordinator

Town of Mosman Park

Carissa Bywater, Chief Executive Officer

Apologies:

Cr M (Melissa) Harkins

Cr C (Craig) Masarei

Deputy Mayor G (Georgie) Carey

Cr D (Dawne) Horrex

1. CONFIRMATION OF MINUTES OF THE PREVIOUS MEETING (Attached)

OFFICER RECOMMENDATION

That the Minutes of the Library Management Committee Meeting held on Thursday 29th November 2022 be confirmed as a true and accurate record of proceedings.

Moved: Cr K (Karen) Farley
Seconded: Mayor P (Paul) Shaw
Carried

2. BUSINESS ARISING FROM THE PREVIOUS MINUTES

DIGITAL PARKING AND EVENTS BOARD

That the Digital Parking and Events sign contributions by the Towns of Mosman Park and Cottesloe be included in each council's midyear budget review.

LIBRARY MANAGEMENT AGREEMENT

All three Council have endorsed the new agreement, which is effective from 1 January 2023. It is not envisaged that the new agreement will impact on the role of the Library Management Group.

3. FINANCIAL STATEMENTS (Attachment)

The Financial Statements for the period ended the 31 December 2022 are attached. Overall there is additional there is an amount of \$16,000 difference between the Actual income and expenditure and the year to date Budget. This is mainly attributed to a third fortnight of wages in December 2022.

OFFICER RECOMMENDATION

That the 31 December 2022 financial statements be received.

Moved: Cr K (Karen) Farley
Seconded: Mayor P (Paul) Shaw
Carried

4. LIBRARY BUDGET REVIEW (Attachment)

Staff have revised the 2022/23 Library budget and there will be some increases/minor increases in estimated expenditure as well as reduction in income.

These include:-

CAFÉ RENTAL

The adopted budget included an amount of \$8,200 income as well as a COVID concession of \$4,100. This equates to an annual net income of \$4,100. The concession finished on the 31st December 2022.

The tenant has submitted a proposal suggesting that the rent should be decreased to \$5,800 per annum. Subject to the LMG agreement, the net income has been decreased by \$1,200 based on the suggested new rental of \$5,800 per annum.

SALARIES AND WAGES- \$8,000

This relate to reclassification and back-pay of one employee as well as additional casual employees used during December 2022 when some Permanent staff contracted COVID 19.

STAFF ALLOWANCE \$6,000

The additional amount relates to the Travel Allowance paid to staff for the use of public transport in lieu of travelling to work using their own vehicles.

INTERNET WIFI- \$4,000

This has been decreased by \$4,000 given the reduction in costs.

CAPEX PROJECTS-

The projects total was reduced by \$3,500 from saving in the allocation for the Storeroom Damp Treatment.

Additionally, the contributions for the Variable Message Display was been reduced from \$14,910 to \$9,130 to reflect the report presented to the LMG in November 2022.

OFFICER RECOMMENDATION

That the LMG receives the revised budget and notes the changes to the income and expenditure, also noting that there will be no additional amount requested from the

Town of Cottesloe and Town of Mosman Park until the 2022/23 financial statements have been audited.

Moved: Cr K (Karen) Farley
Seconded: Mayor P (Paul) Shaw
Carried

5. CAFÉ LEASE AGREEMENT- RENTAL CONCESSION AND PROPOSED NEW RENT (Attachments)

The rental concession for the Café expired on the 31 December 2022. The tenant has been charged the full rent for the month of January 2023 totaling \$682.00.

The tenant has submitted a proposal and business plan for the ensuing 5 month as the lease expires on the 23 June 2023.

The tenant is seeking the agreement of the LMG to reduce the Annual rent from \$8,200 to \$5,800 given that the sales have decrease by some 40% over the previous year.

Staff have discussed the matter with the Tenant and they are keen to continue with the lease agreement however there is less income and they are unable to pay the full rent at this stage.

OFFICER RECOMMENDATION

That the LMG accept the proposal by The Coffee Grove with an annual rental of \$5,800 (pro rata) effective from the 1 February 2023 to 30 June 2023.

Moved: Mayor P (Paul) Shaw
Seconded: Cr K (Karen) Farley
Carried

6. MATTERS FOR INFORMATION

Summary of E-Service at The Grove Library. (Attachments)

Delivery of e-Services at the Grove Library is guided by the WA Public Libraries Strategy created by the Public Libraries Working Group, with Digital inclusion being one of the three pillars in the strategy for Public Libraries in WA.

The summary of e-Services may be divided into two sections:

- Digital Collections – this consists of all digital materials provided by the Grove Library. This includes digital books, audiobooks, magazines, comics, music, films and online subscriptions.

- **Electronic Services – Measuring the delivery for all e-Services provided by the Library.**

We umbrella this under Tech Help, but the main focus is digital inclusion and digital literacy. In conjunction with volunteers we provide regular sessions and workshops to help patrons access library and government services through technology. This includes the following activities:

- Accessing computers & internet in the library
- Help with printing & photocopying
- Help with online government forms & documents
- Using library devices & accessing digital content
- Cyber safety & security
- Help with technology basics.

7. UPCOMING LIBRARY EVENTS.

• FEBRUARY

- **Exhibition - Joordah:** original art from emerging Indigenous artist Joordah. 5th -17th February 2023.

• MARCH

- **Exhibition – Surfing the Western suburbs:** celebrating the history of the original longboard riders of the Mosman Park / Cottesloe coast from the 1950's to 1970's. 27th February to 10th March 2023
- **Event – Surfing the Western suburbs: An Evening with the Legends.** WA surfers recount stories and culture of the longboard riders of Cottesloe from the 1950's to the 1970's

• APRIL

- **Turning points in History: the fall of Rome.** Part of the continuing series of history lecture for kids. 11th April 2023.
- **School Holiday programs.** The library provides a range of holiday events across the break. 8th – 23rd April.

8 NEXT MEETING

The next scheduled ordinary meetings of the Library Management Group is:

Tuesday 16th May 2023

9. CLOSURE 8.50 am



Shire of
Peppermint Grove

ANNUAL GENERAL MEETING OF ELECTORS

MINUTES

HELD ON THE

28 February 2023

5.00PM



Shire of Peppermint Grove

Shire of Peppermint Grove

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Tuesday 28th February 2023

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Shire of Peppermint Grove

Tuesday 28th February 2023

1. DECLARATION OF OFFICIAL OPENING

At 5.00pm, the Shire President declared the meeting open and requested the recording of attendance and apologies.

Council recognises that it is permissible to record the Shire's Council and Forum Meetings in the written, sound, vision medium (or any combination of the mediums) when open to the public, however, people who intend to record meetings are requested to inform the Presiding Member of their intention to do so.

2. RECORDING OF ATTENDANCE, APOLOGIES & LEAVES OF ABSENCE

2.1 ATTENDANCE

Shire President	Cr R Thomas
Deputy Shire President	Cr C Hohnen
Elected Member	Cr D Horrex
Elected Member	Cr P Macintosh
Elected Members	Cr P Dawkins
Elected Member	Cr D Jackson

Chief Executive Officer	Mr D Burnett
Manager Corporate Services & Community Services	Mr M Costarella
Manager Infrastructure Services	Mr D Norgard
Manager Development Services	Mr J Gajic

Gallery 0 Members of the Public
1 Members of the Press

2.2 APOLOGIES

Elected Member	Cr K Farley
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3. **PRESENTATION OF 2021/2022 ANNUAL REPORT, INCORPORATING THE SHIRE PRESIDENT AND CEO'S REPORTS IS PROVIDED FOR CONSIDERATION.**

COUNCIL DECISION

Moved: Cr Hohnen

Seconded: Cr Horrex

That the 2021/22 Annual Report, incorporating the Shire President and CEO's Reports was received.

CARRIED 6/0

4. **GENERAL BUSINESS**

NIL

5. **CLOSURE**

There being no further business the meeting closed at 5.03pm.