



**SHIRE OF PEPPERMINT GROVE**

# **ATTACHMENTS**

**Ordinary Council Meeting**

23 August 2022

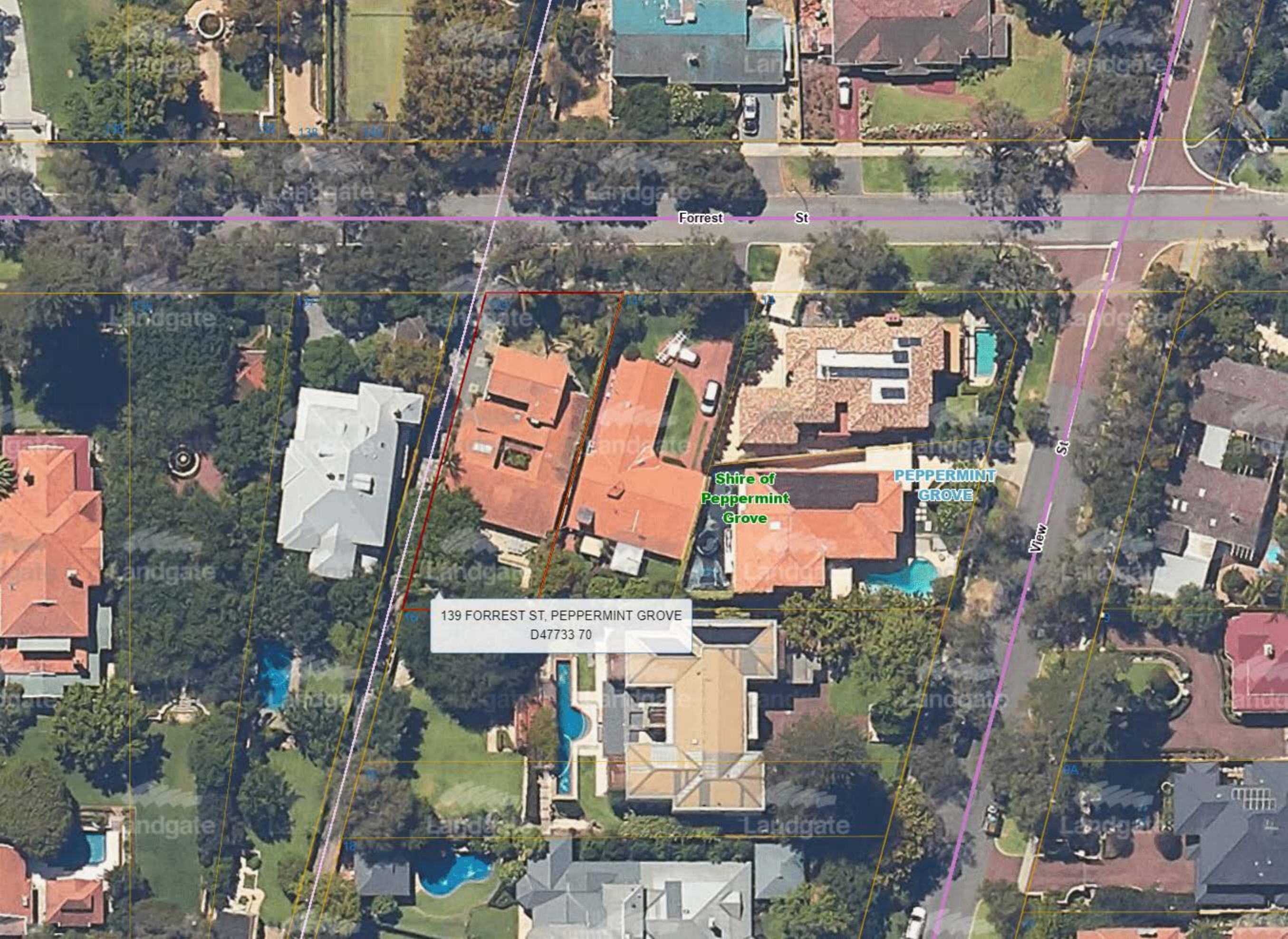
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## **Ordinary Council Meeting**

8.1.1 – 139 (Lot 70) Forrest Street,  
Peppermint Grove - New Single House &  
Swimming Pool



Forrest St

View St

Shire of Peppermint Grove

PEPPERMINT GROVE

139 FORREST ST, PEPPERMINT GROVE  
D47733 70

### FEATURE SURVEY

CLIENTS DETAILS : Ryan Noble & Melissa Gillett

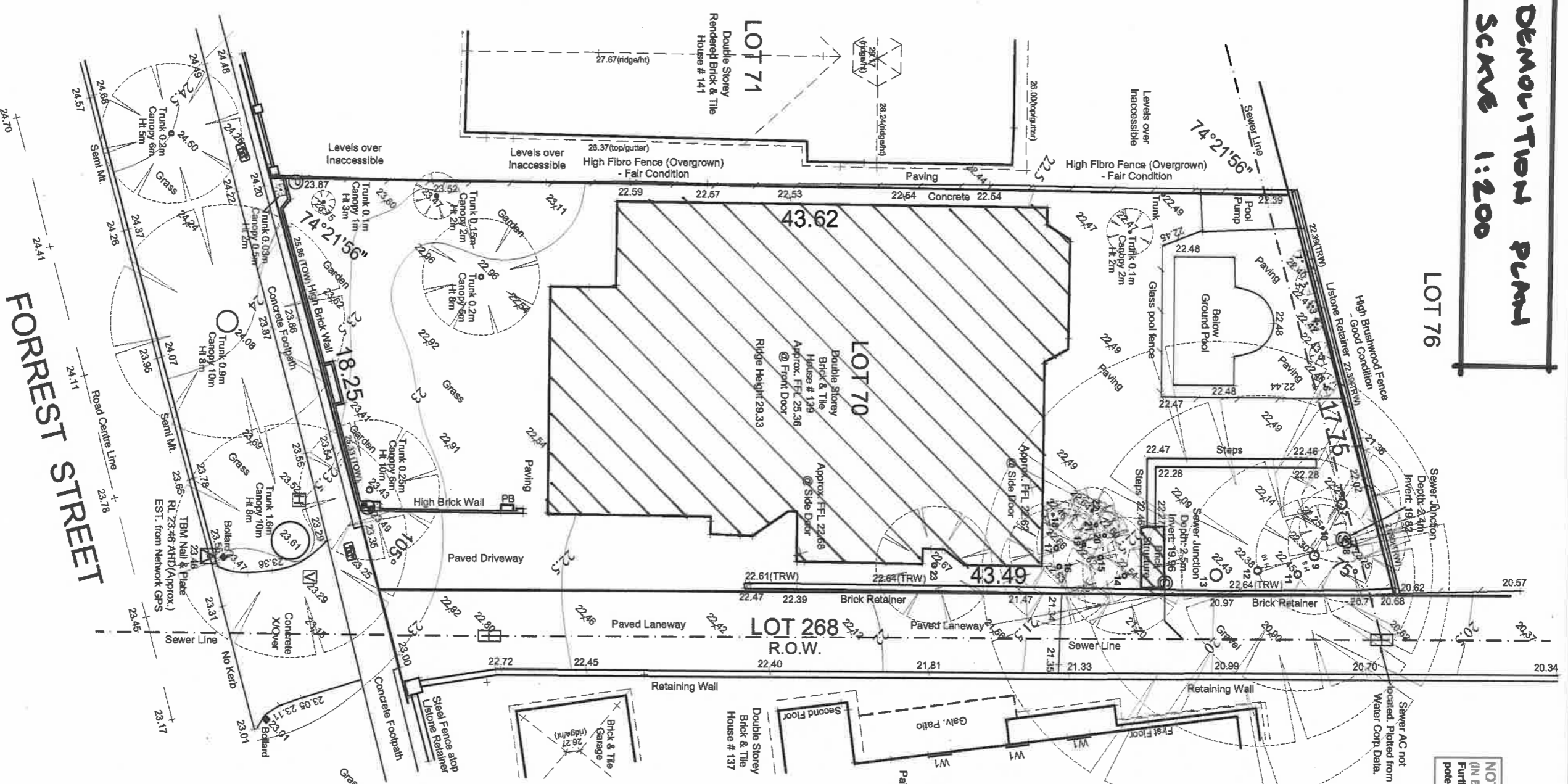
LEVEL DATING : AUG (Approx)  
DWG REF: Forest 139 F - v1.0

STREET NAME: Forrest Street  
LOT #: 70  
HOUSE #: 139  
SUBURS: Peppermint Grove  
LOCAL AUTHORITY: Shire of Peppermint Grove  
LOT AREA: 756m<sup>2</sup>  
R CODE: R12.5  
SURVEY DATE: 16/02/2022  
SCALE AT A3 SIZE: 1:200

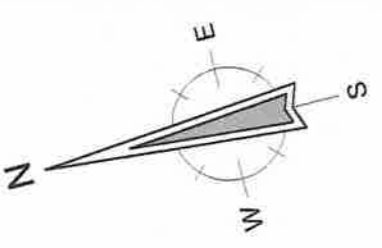
LEGEND  
WATER METER  
SEWER CONN. (TRW) TOP OF RETAINING WALL (TOW) TOP OF WALL  
SEWER AC  
TELESTRANER PIT  
POWER DOME  
TREE (TO SCALE)  
W1 1ST FLOOR WINDOW  
TEMP. BENCHMARK

TREE DATA - Measured in meter		
Tree #	Trunk	Canopy Height
1	0.05	1
2	0.05	1
3-4	0.05	1
5-6	0.05	1
7-9	0.40	5
10	0.10	2
11	0.30	10
12	0.30	15
13	0.50	15
14	0.20	5
15	0.20	4
16	0.20	5
17	0.20	4
18	0.20	4
19	0.15	4
20-21	0.15	2
22	0.10	2
23	0.20	5

## DEMOLITION PLAN SCALE 1:200



NOTE: DEEP SEWER.  
(IN EXCESS OF 2m BELOW SURFACE)  
Further investigation required for potential servicing issues.



T: (08) 6144 0000 F: (08) 6144 0099  
59 SCARBOROUGH BEACH RD,  
SCARBOROUGH WA 6019  
Email: info@visionsurveys.com.au  
www.visionsurveys.com.au

PLAN / DIAG / SP	D 41733
ELECTRICITY	UNDERGROUND
WATER	YES
GAS	YES



TELSTRA	YES
SEWERAGE	YES
DRAINAGE	GOOD
VEG. / SOIL	AS DESCRIBED

**IMPORTANT NOTES:**  
THE BOUNDARIES SHOWN ON THIS PLAN ARE PRODUCED BY DESIGNERS ARCHITECTS. THE BOUNDARIES MUST BE APPROVED BY THE LOCAL GOVERNMENT. APPROXIMATE ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCES, AND OTHER PERMANENT FEATURES LOCATED ON THE BOUNDARY WHICH MAY OR MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN POSSIBLE.  
BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS ARCHITECTS, THE BOUNDARIES MUST BE APPROVED BY THE LOCAL GOVERNMENT. APPROXIMATE ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCES, AND OTHER PERMANENT FEATURES LOCATED ON THE BOUNDARY WHICH MAY OR MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN POSSIBLE.  
THIS PLAN IS INTENDED FOR THE USE OF PLANNING AND INFRASTRUCTURE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES.  
SEWER / GAS/LINE ANY VARIATIONS FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ACQUISITION OF PORTION.  
CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



# FEATURE SURVEY

CLIENT DETAILS:

Ryan Noble & Melissa Gillett

LEVEL DATUM:  WGS 84  
 A/D (Approx):  Fernald 199 F - v1.0

STREET NAME:

Forested Street

LOT #:

70

HOUSE #:

139

SUBURB:

Peppermint Grove

LOCAL AUTHORITY:

Shire of Peppermint Grove

LOT AREA:

759m<sup>2</sup>

R CODE:

R12.5

SCALE AT A3 SIZE:

1:200

LEGEND

WATER METER

SEWER AC

TELSTRAMETER PT

POWER POLE

TREE (NO SCALE)

W1 1ST FLOOR WINDOW

TRM TOP OF RETAINING WALL

TOW TOP OF WALL

HYDRANT

PB POWER BOX

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

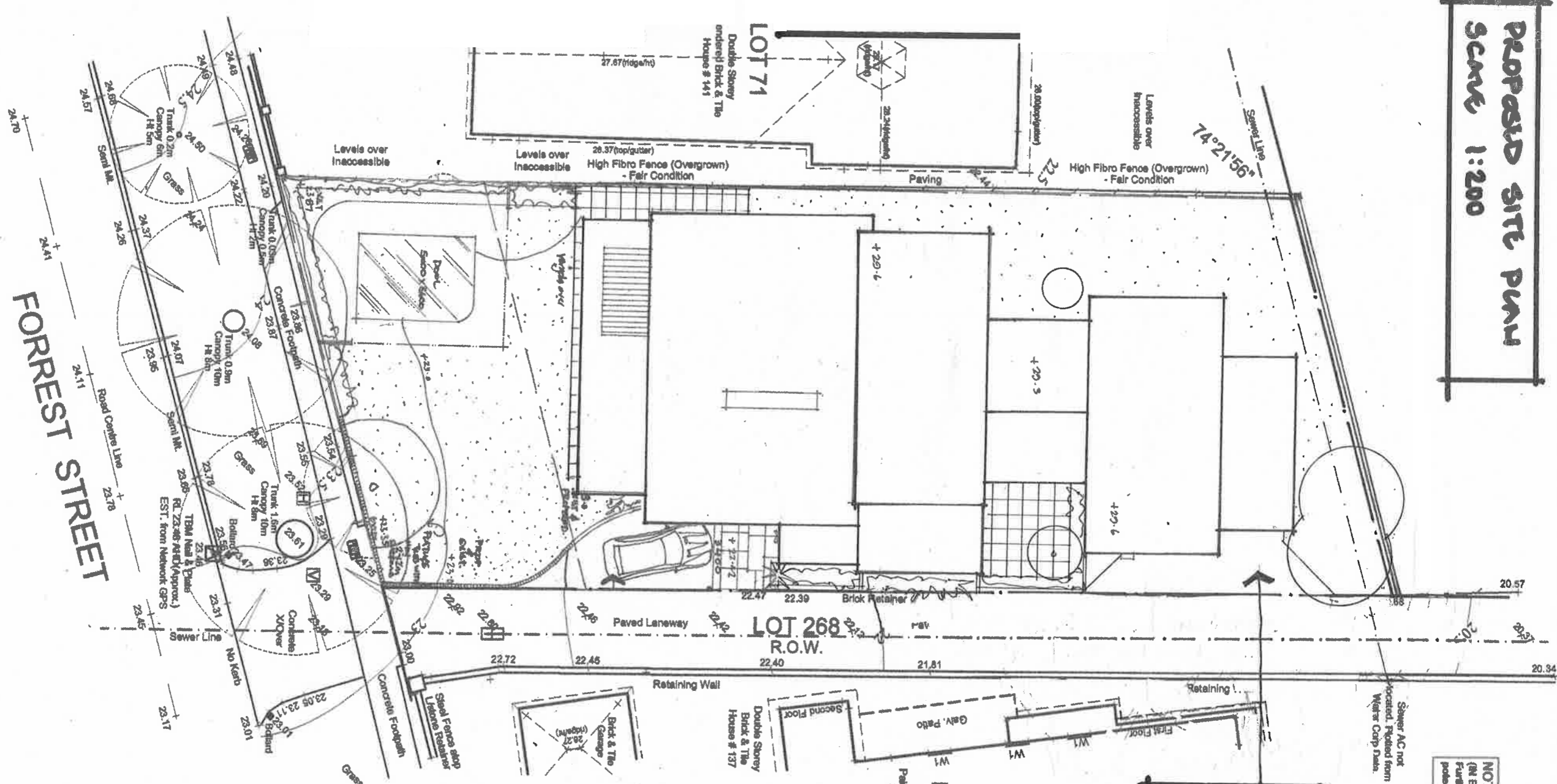
TRM BENCHMARK

TRM BENCHMARK

TRM BENCHMARK

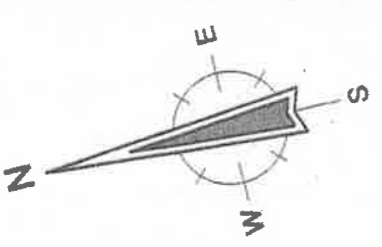
TREE DATA - Measured in meters			
Tree #	Trunk	Canopy	Height
1	0.05	1	2
2	0.05	1	1
3-4	0.05	1	1
5-6	0.05	1	2
7-9	0.40	5	10
10	0.10	2	3
11	0.30	10	8
12	0.30	15	10
13	0.50	15	20
14	0.20	5	8
15	0.20	4	8
16	0.20	5	8
17	0.20	4	8
18	0.10	1	4
19	0.15	4	3
20-21	0.15	2	3
22	0.10	2	4
23	0.20	5	8

**PROPOSED SITE PLAN**  
**SCALE 1:200**



**NOTE: DEEP SEWER**  
 (IN EXCESS OF 2m BELOW SURFACE)  
 Further investigation required for potential servicing issues.

**LANEWAY OFF**  
**CONSTRUCTED IN**  
**ACCORDANCE**  
**WITH SHIRE OF**  
**PEPPERMINT GROVE**  
**SPECIFICATIONS**



SCALE 1:200 @ A3

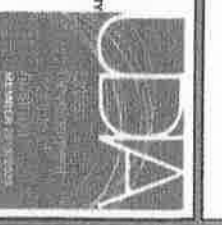
**FORREST STREET**

**VISIONSURVEYS**  
 CONSULTING

T: (08) 6144 0000 F: (08) 6144 0008  
 59 SCARBOROUGH BEACH RD,  
 SCARBOROUGH WA 6019  
 Email: info@visionsurveys.com.au  
 www.visionsurveys.com.au

PLAN / DWG / SP	D-4723	UNDERGROUND	YES
ELECTRICITY	YES	GOOD	AS DESCRIBED
WATER	YES	GOOD	AS DESCRIBED
GAS	YES	GOOD	AS DESCRIBED

**IMPORTANT NOTES:**  
 THE EXISTING SURVEY DATA AND ALL DIMENSIONS & FEATURES ARE AS SHOWN ON THE SURVEY PLANS AND FIELD BOOKS. THE SURVEYOR HAS NOT CONDUCTED A VISUAL CHECK OF THE SITE TO VERIFY THE ACCURACY OF THE DATA. THE CLIENT IS ADVISED THAT THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE SURVEY DATA. THE SURVEYOR HAS NOT CONDUCTED A VISUAL CHECK OF THE SITE TO VERIFY THE ACCURACY OF THE DATA. THE CLIENT IS ADVISED THAT THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE SURVEY DATA.



**FEATURE SURVEY**

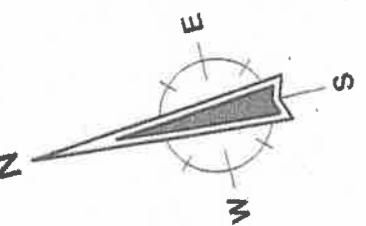
**CLIENTS DETAILS:**  
**Ryan Noble & Melissa Gillett**  
AHD (Approx.) Formed 139 F - 11.0

**STREET NAME:** Forrest Street  
**LOT #:** 70  
**HOUSE #:** 139  
**SUBURB:** Peppermint Grove  
**LOCAL AUTHORITY:** Shire of Peppermint Grove  
**LEGEND:**  
 WATER METER  
 SEWER METER  
 TEST/TURN-IN PT.  
 POWER DOME  
 TREE (TO SCALE)  
 W1 1ST FLOOR WINDOW  
 TEMP. BENCHMARK  
 SEWER CONN.  
 (TRW) TOP OF RETAINING WALL  
 (TOW) TOP OF WALL  
 HYDRANT  
 PB POWER BOX

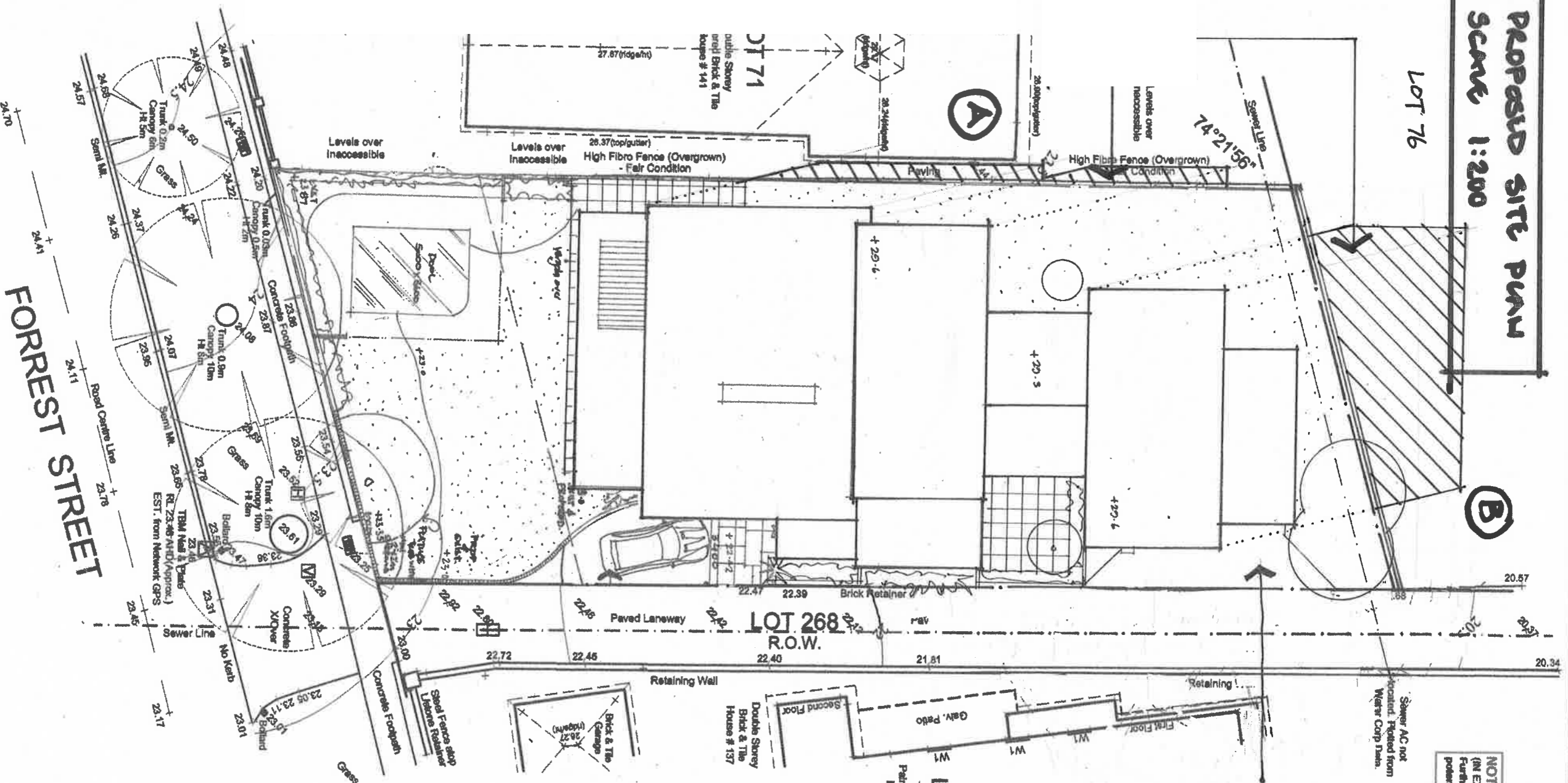
**LOT AREA:** 756m<sup>2</sup>  
**R CODE:** R12.5  
**SURVEY DATE:** 16/02/2022  
**SCALE AT A3 SIZE:** 1:200

**TREE DATA - Measured in meter**

Tree #	Trunk	Canopy / Height
1	0.05	1 2
2	0.05	1 1
3-4	0.05	1 1
5-6	0.05	1 2
7-9	0.40	5 10
10	0.10	2 3
11	0.30	10 8
12	0.30	15 10
13	0.50	15 20
14	0.20	5 8
15	0.20	4 8
16	0.20	5 8
17	0.20	4 8
18	0.10	1 4
19	0.15	4 3
20-21	0.15	2 3
22	0.10	2 4
23	0.20	5 8



**PROPOSED SITE PLAN**  
**SCALE 1:200**



**NOTE: DEEP SEWER**  
(IN EXCESS OF 2m BELOW SURFACE)  
Further Investigation required for potential servicing issues.

**DRIVEWAY OFF**  
**LANEWAY**  
**CONSTRUCTED IN**  
**ACCORDANCE**  
**WITH SHIRE OF**  
**PEPPERMINT GROVE**  
**SPECIFICATIONS**

T: (08) 6144 0000 F: (08) 6144 0089  
59 SCARBOROUGH BEACH RD,  
SCARBOROUGH WA 6019  
Email: info@visionsurveys.com.au  
www.visionsurveys.com.au

**SCALE 1:200 @ A3**

**Visionsurveys**  
CONSULTING

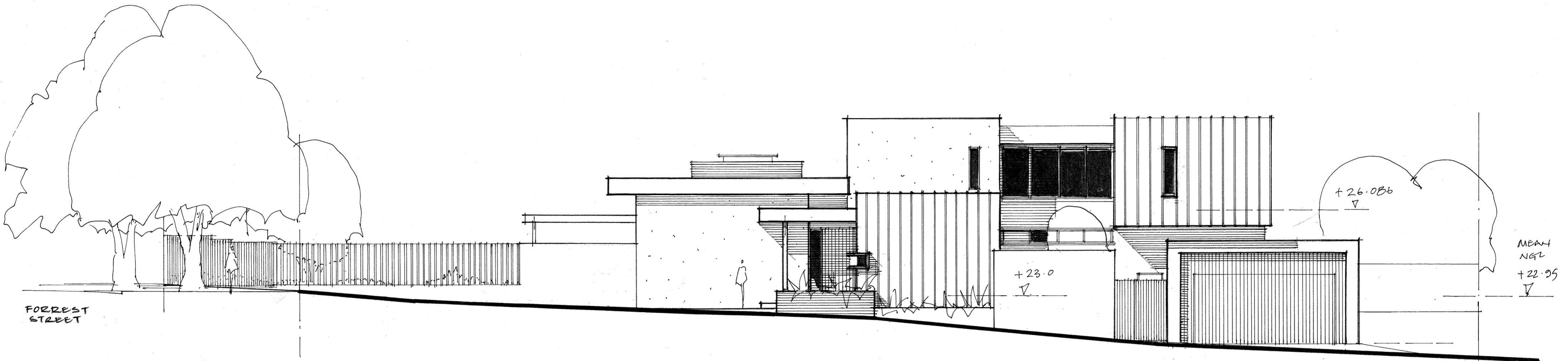
PLAN / DRUG / GP	D 41733
ELECTRICITY	UNDERGROUND
WATER	YES
GAS	YES
TELSTRA	YES
SEWERAGE	YES
DRAINAGE	GOOD
VEG / SOIL	AS DESCRIBED

**IMPORTANT NOTES:**

THIS PLAN IS INTENDED FOR THE USE OF PLANNING & RECONSTRUCTION ONLY.  
THE INFORMATION SHOWN ON THIS PLAN IS BASED ON THE DATA PROVIDED BY THE CLIENT AND THE SURVEYOR HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE TO VERIFY THE ACCURACY OF THE DATA.  
THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR ANY CONSTRUCTION ERRORS OR OMISSIONS THAT MAY OCCUR AS A RESULT OF THIS PLAN.  
CHECK THE PLAN CAREFULLY FOR ERRORS AND OMISSIONS BEFORE CONSTRUCTION.  
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CHECK THE PLAN CAREFULLY FOR ERRORS AND OMISSIONS BEFORE CONSTRUCTION.

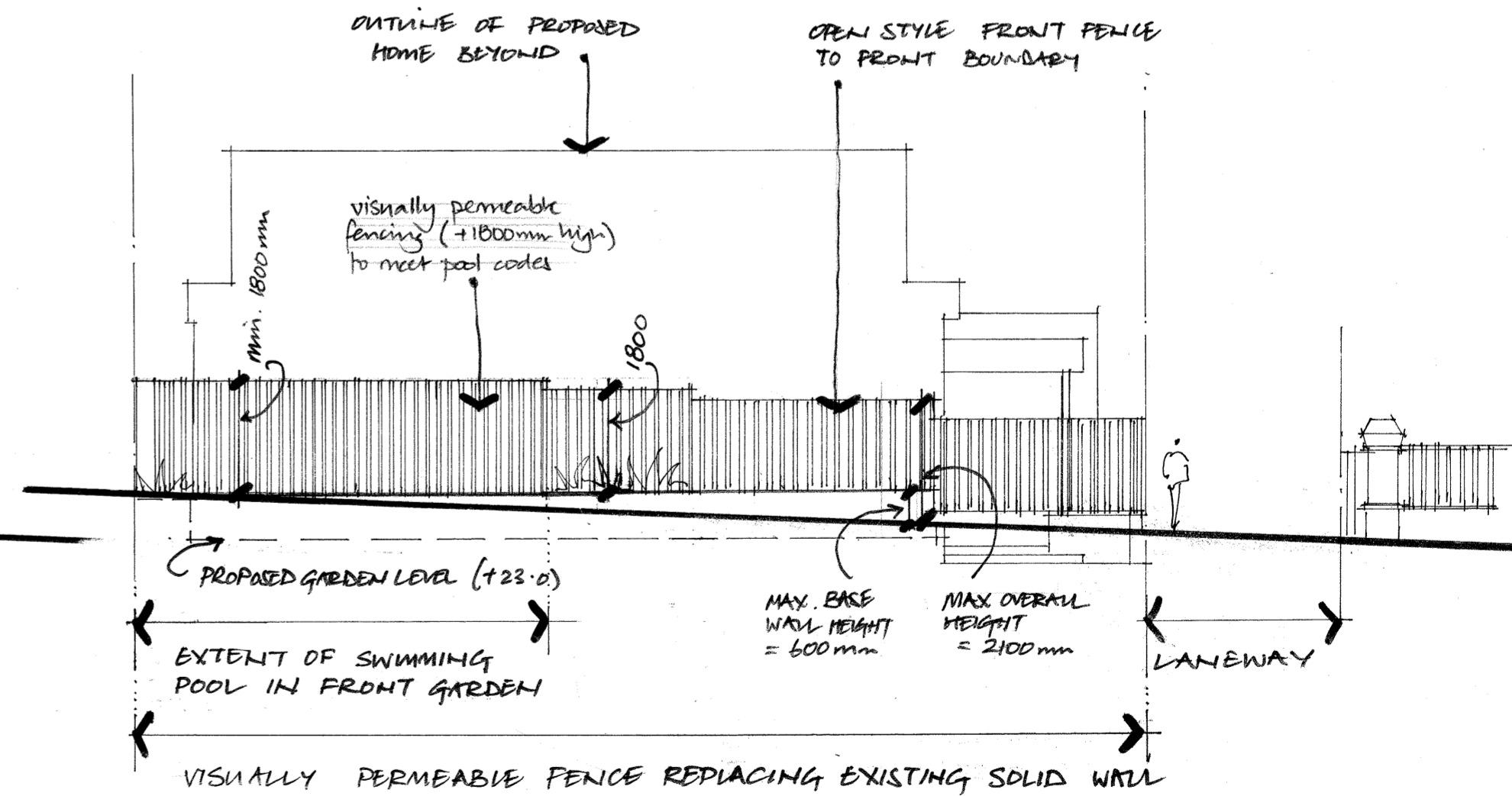
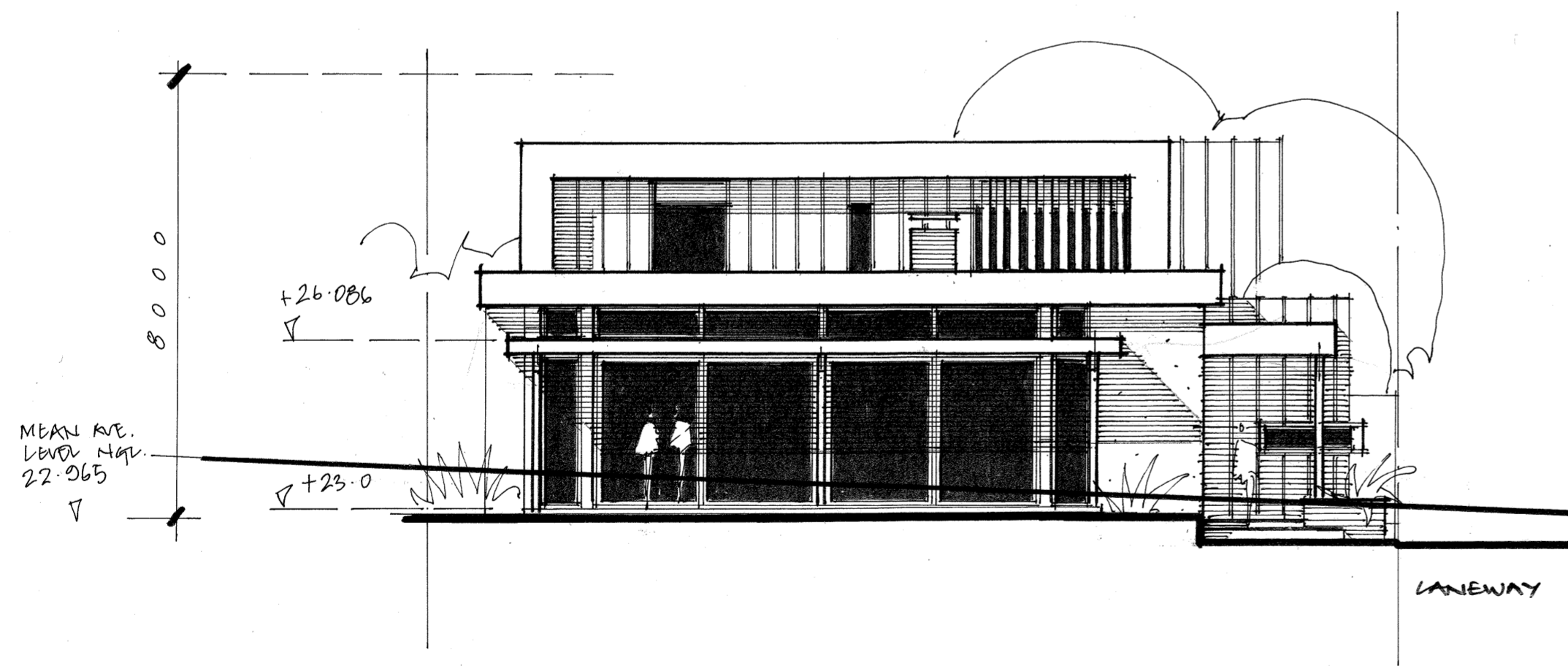


. LANEWAY (WEST FACING) ELEVATION.



FORREST ST. ELEVATION. (NORTH FACING)

. FRONT BOUNDARY WALL ELEVATION.



PROPOSED RESIDENCE FOR  
#139 FORREST STREET  
PEPPERMINT GROVE

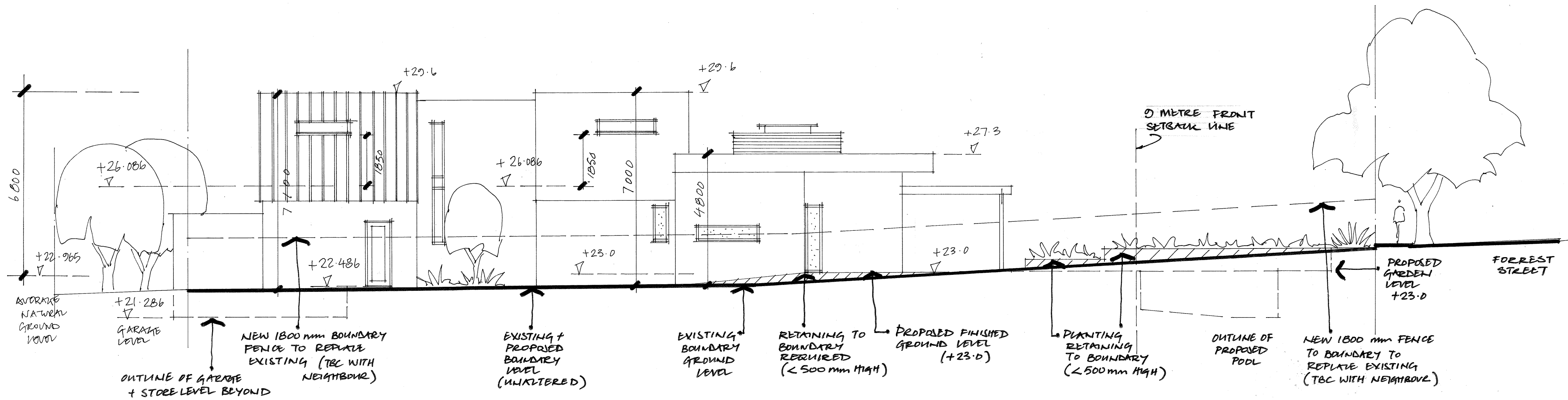
REV A : APRIL '22  
REV B : MAY '22

DISTINCTIVE  
HOMES WA

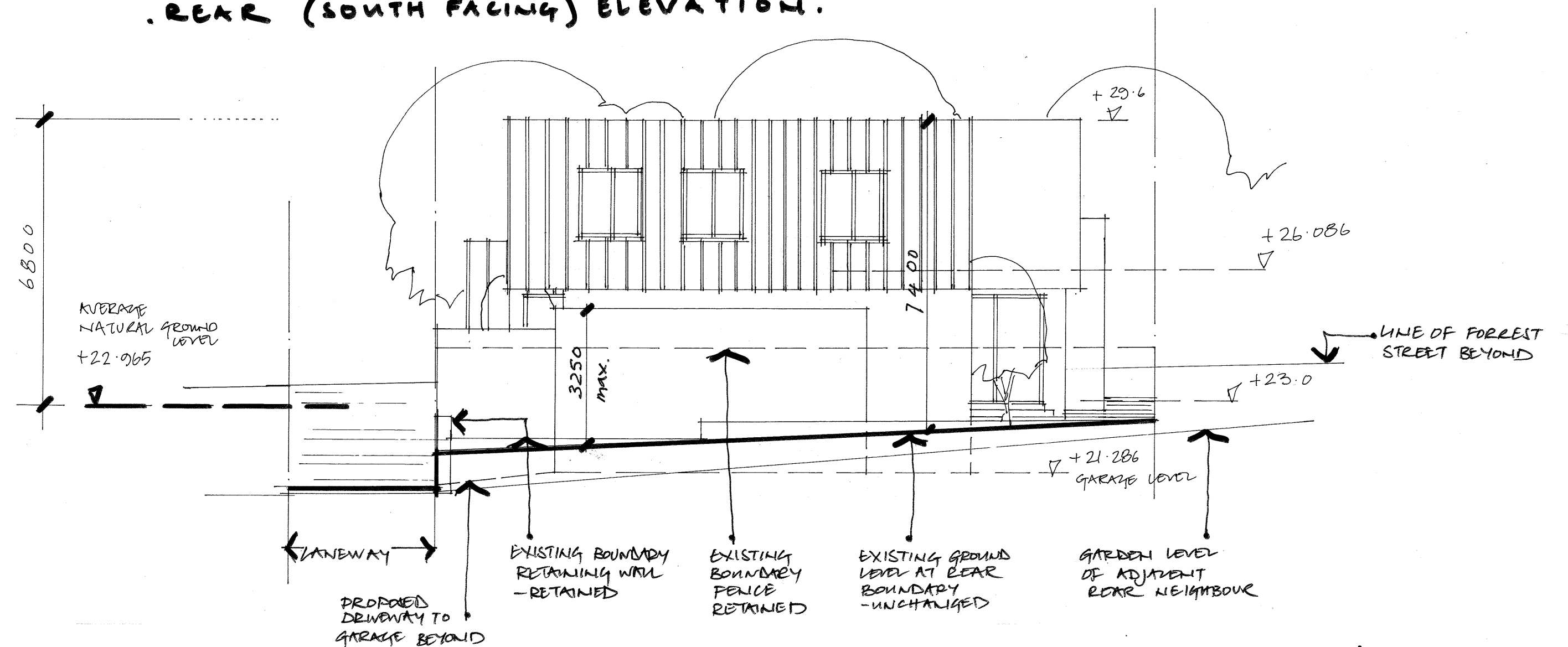
SCALE 1:100  
DATE MAR '22  
DESIGN JUSTIN  
EVERITT



**. EAST FACING ELEVATION .**



**. REAR (SOUTH FACING) ELEVATION .**



**MATERIAL SCHEDULE**

- Walls : Render Finish - colour light grey / white
- Wall Cladding : Metal cladding - vertical standing seam. Fishers steel or equivalent. colour - monument
- Window Frames : Powder Coated Aluminium. colour - black
- Garage Door : Timber look vertical slat. colour - monument
- Roof : Colorbond / Timberdeck finish. colour - monument

**PROPOSED RESIDENCE FOR  
#139 FORREST STREET  
PEPPERMINT GROVE**

**DISTINCTIVE  
HOMES WA.**

**REV A : APRIL '22**

**SCALE 1:100  
DATE MAR '22  
DESIGN JUSTIN EVERITT**

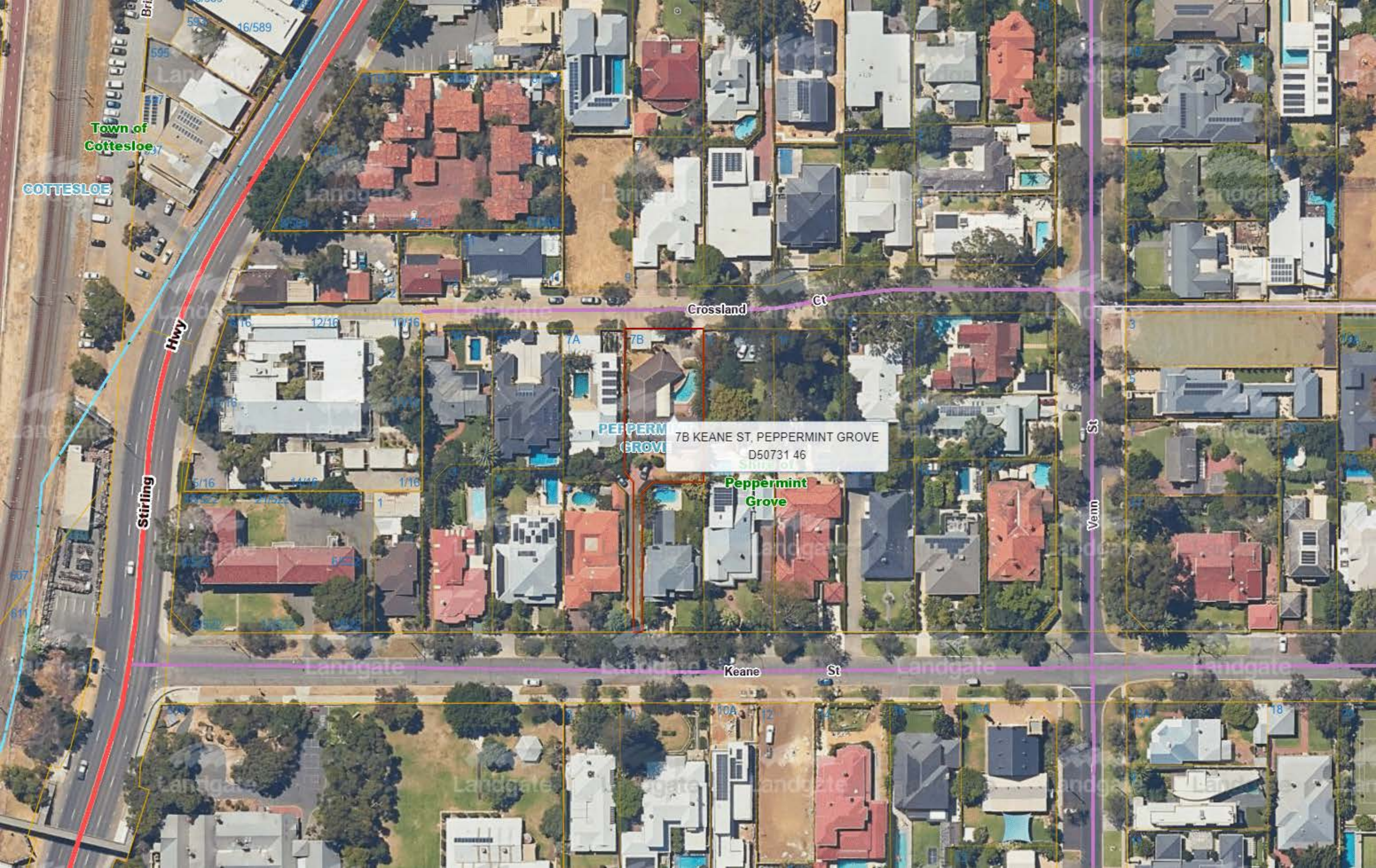


Proposed Residence For **139 Forrest St Peppermint Grove**  
Distinctive Homes WA - Justin Everitt Design



## **Ordinary Council Meeting**

8.1.2 – 7B (Lot 46) Keane Street,  
Peppermint Grove – New Single House



Town of Cottesloe

COTTESLOE

Hwy

Stirling

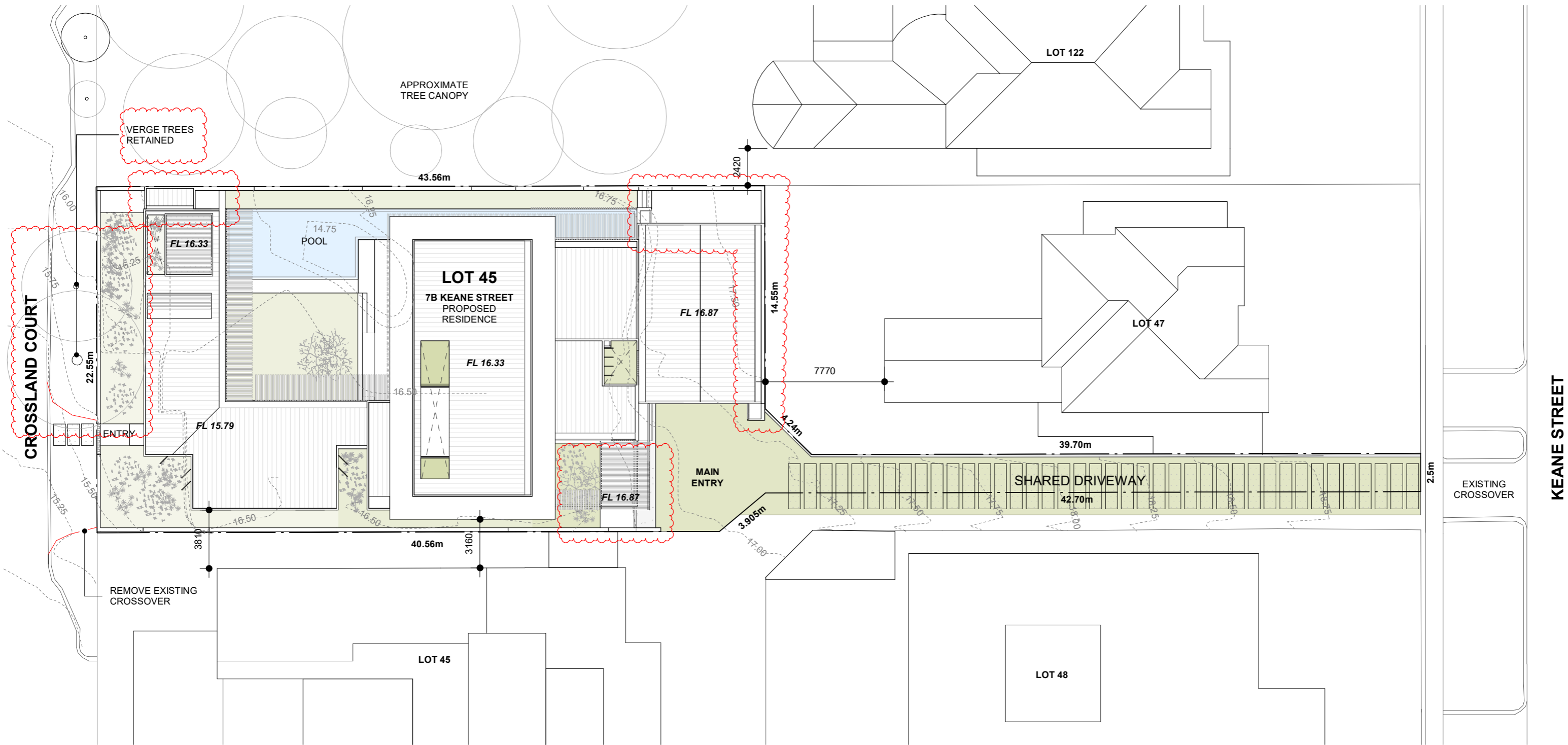
Crossland Ct

Venn St

PEPPERMINT GROVE  
7B KEANE ST, PEPPERMINT GROVE  
D50731 46

Peppermint Grove

Keane St



MNGL - REFERS TO HEIGHT BELOW / ABOVE MEAN NATURAL GROUND LEVEL (CALCULATED AS 16.55)

PHILIP  
STEJSKAL  
ARCHITECTURE

website: www.architectureps.com  
email: studio@architectureps.com.au  
reg: 2486 (2152)


SITE/CLIENT  
**Sally + Mike Bell**  
7B KEANE STREET  
PEPPERMINT GROVE WA 6011

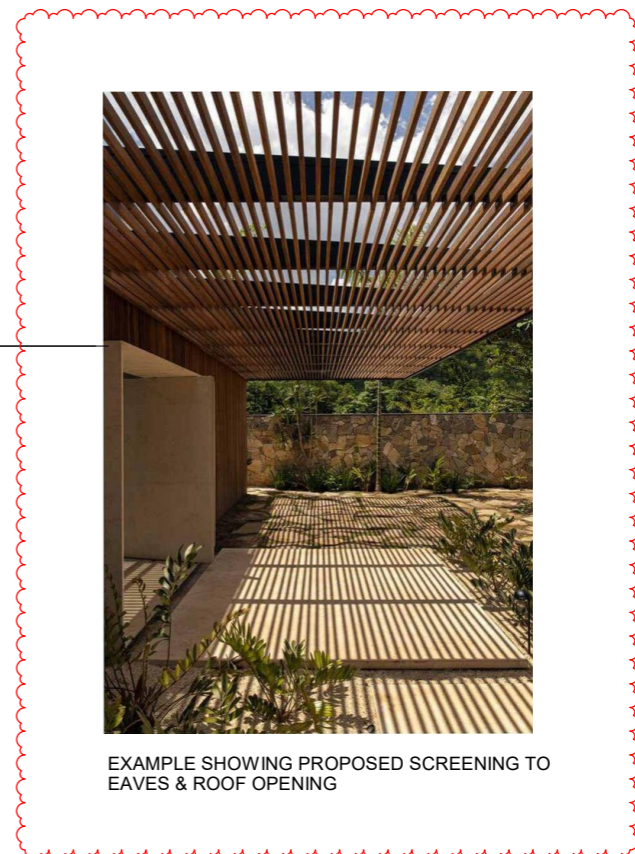
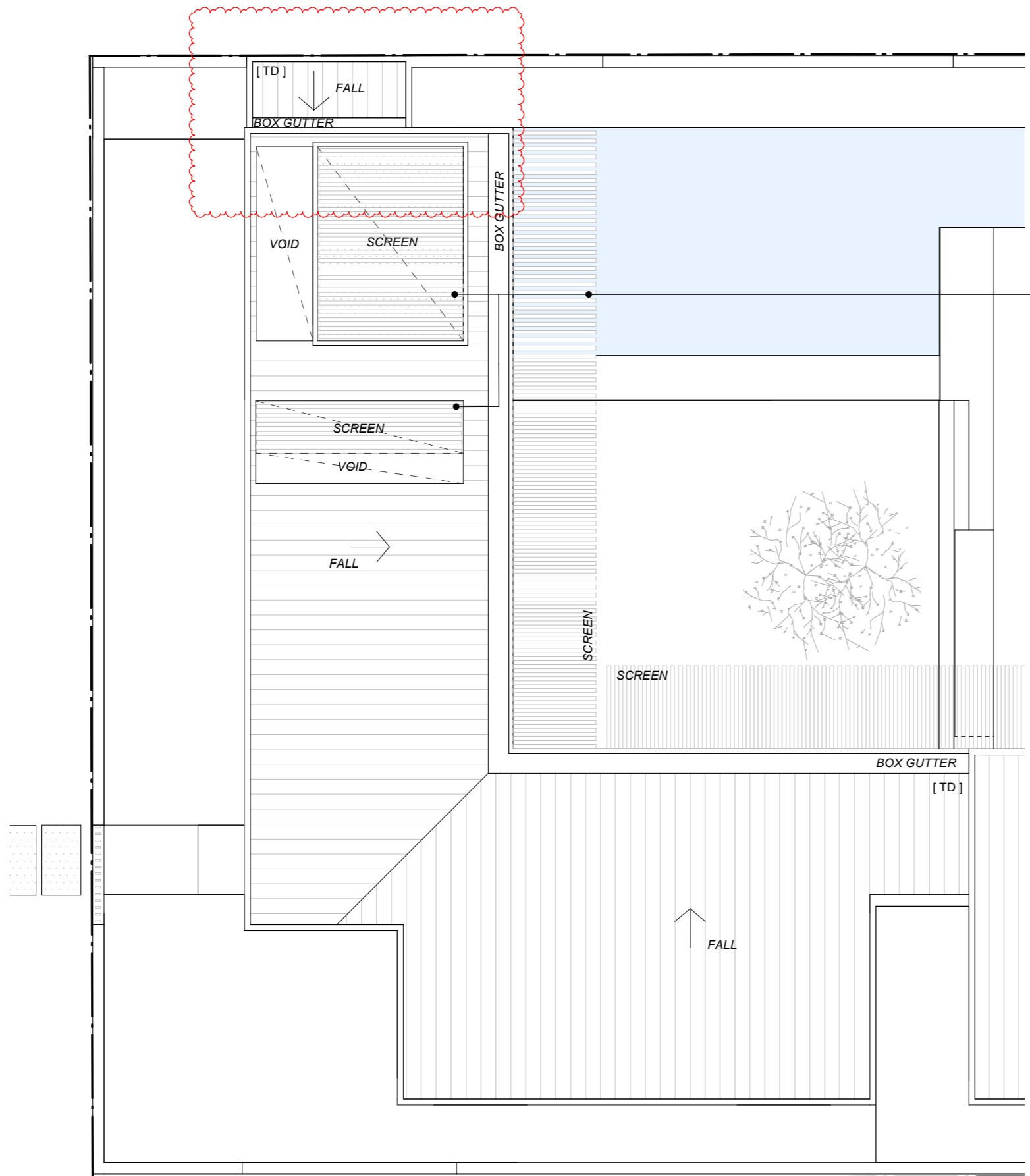
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SCALE @ A3  
1 : 250  
DATE  
09/06/22  
JOB REF:  
A2117

DRAWN:  
DS  
ARCHITECTS REG No:  
2486 (2152)

5	09/06/22	REVISED PLANNING APPLICATION
4	12/04/22	PLANNING APPROVAL
3	11/04/22	PLANNING APPROVAL
2	07/04/22	CLIENT ISSUE
1	29/03/22	FOR URBANISTA

DRAWING:  
 Proposed Site Plan  
ISSUE: **5** DWG No: **DA01**



EXAMPLE SHOWING PROPOSED SCREENING TO EAVES & ROOF OPENING

MATERIALS	
TMBR.	TIMBER FLOOR BOARDS
CONC.	BURNISHED CONCRETE
RB	RENDERED BRICK
AR	ACRYLIC RENDER
FS	FIBRE CEMENT
TIM.	TIMBER CLADDING
PT	PAINTED TIMBER
TD	TRIMDECK ROOFING
MP	METAL PRESSING

WALL TYPES	
	STUD WALL
	MASONRY
	CONCRETE

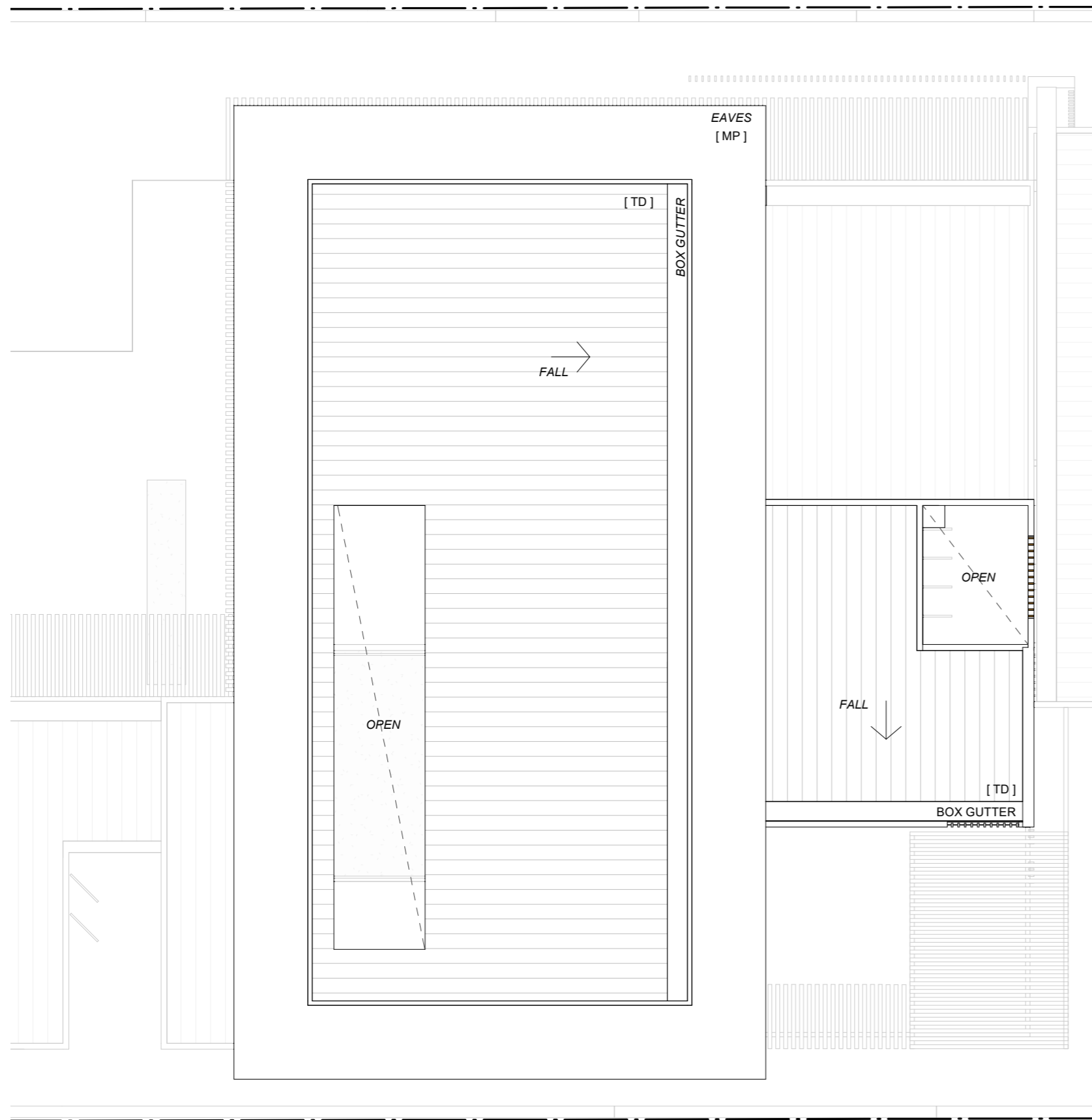
  

ITEMS	
CWK	CABINETS

PHILIP  
STEJSKAL  
ARCHITECTURE

website: www.architectureps.com  
 email: studio@architectureps.com.au  
 reg: 2486 (2152)

SITE/CLIENT		SCALE @ A3	1:100	DRAWING:		 Proposed First Floor Plan
Sally + Mike Bell		DATE	JOB REF:	ISSUE:		
7B KEANE STREET PEPPERMINT GROVE WA 6011		09/06/22	A2117	5	09/06/22	REVISED PLANNING APPLICATION
DRAWN:		ARCHITECTS REG No:	2486 (2152)	4	12/04/22	PLANNING APPROVAL
DS				3	11/04/22	PLANNING APPROVAL
				2	07/04/22	CLIENT ISSUE
				1	29/03/22	FOR URBANISTA
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						DA06



**MATERIALS**

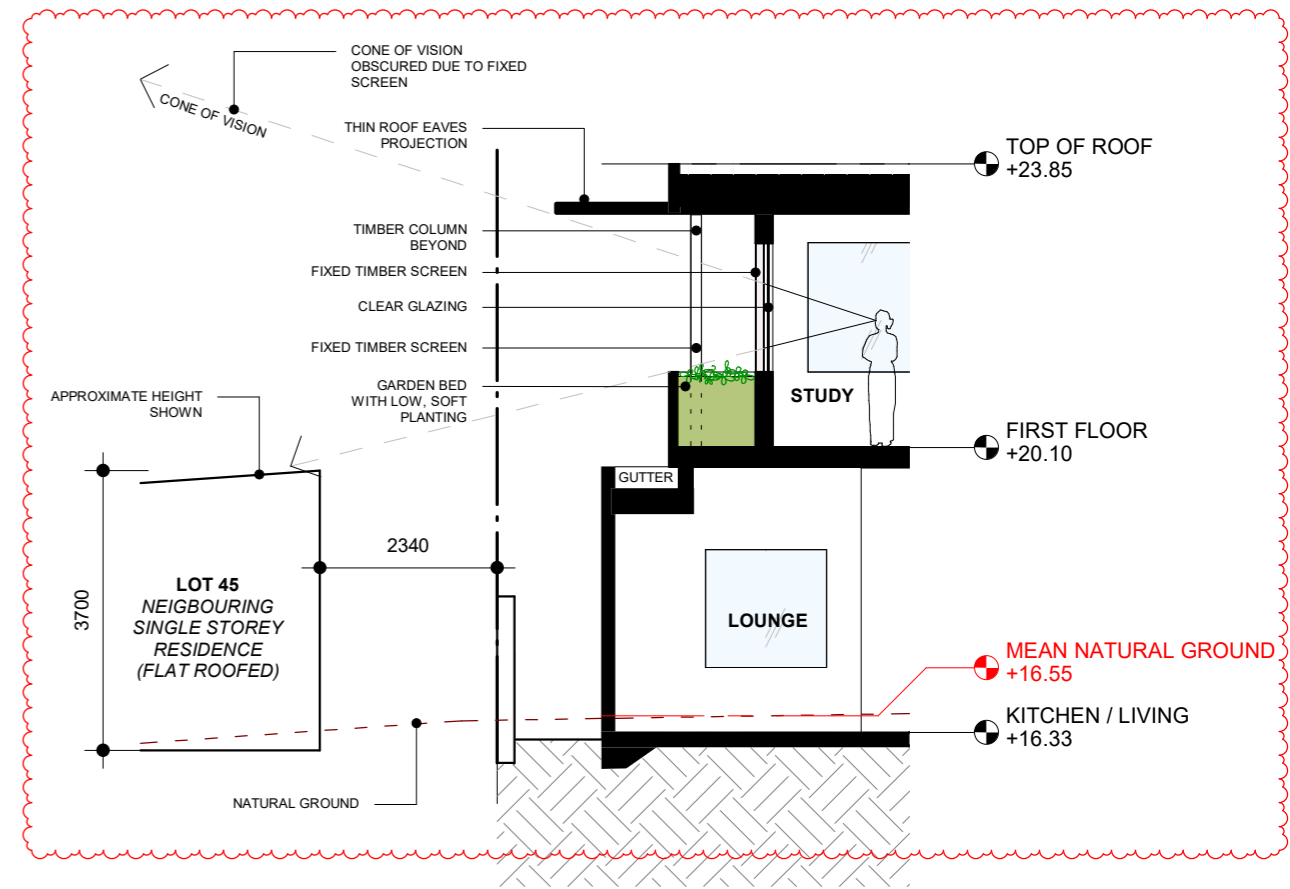
TMBR.	TIMBER FLOOR BOARDS
CONC.	BURNISHED CONCRETE
RB	RENDERED BRICK
AR	ACRYLIC RENDER
FS	FIBRE CEMENT
TIM.	TIMBER CLADDING
PT	PAINTED TIMBER
TD	TRIMDECK ROOFING
MP	METAL PRESSING

**WALL TYPES**

	STUD WALL
	MASONRY
	CONCRETE

**ITEMS**

CWK	CABINETRY
-----	-----------



**SECTION A 1:100**

PHILIP  
STEJSKAL  
ARCHITECTURE

website: [www.architectureps.com](http://www.architectureps.com)  
email: [studio@architectureps.com.au](mailto:studio@architectureps.com.au)  
reg: 2486 (2152)

SITE/CLIENT  
**Sally + Mike Bell**  
7B KEANE STREET  
PEPPERMINT GROVE WA 6011

SCALE @ A3  
1:100  
DATE  
09/06/22  
JOB REF:  
A2117

DRAWN:  
DS  
ARCHITECTS REG No:  
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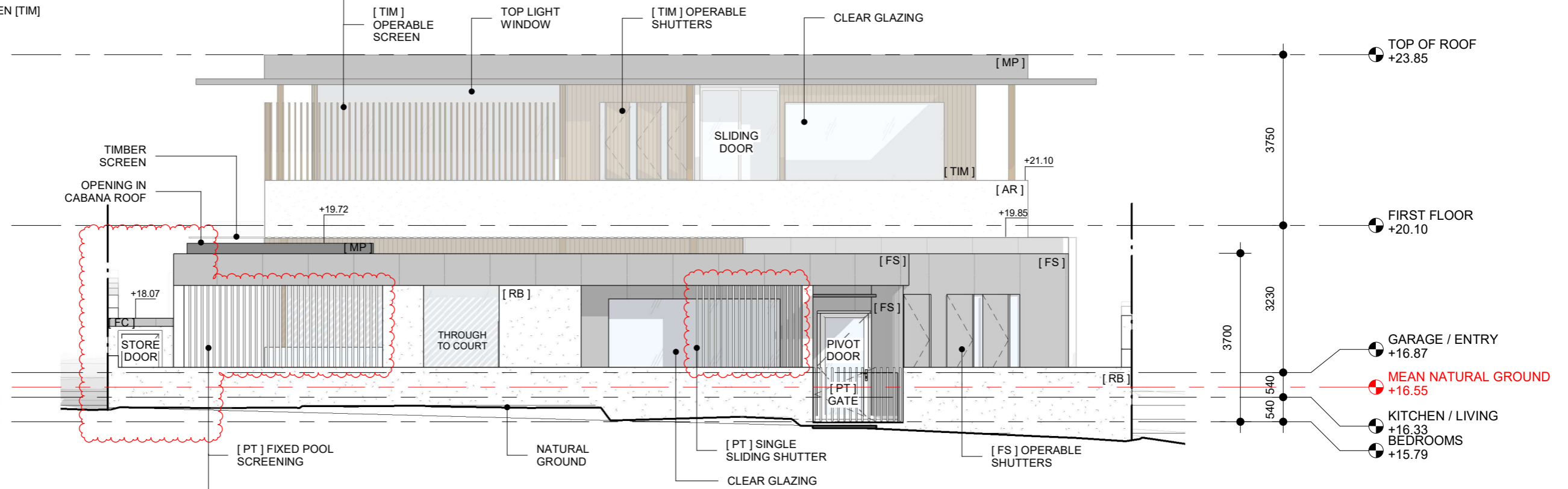
5	09/06/22	REVISED PLANNING APPLICATION
4	12/04/22	PLANNING APPROVAL
3	11/04/22	PLANNING APPROVAL
2	07/04/22	CLIENT ISSUE
1	29/03/22	FOR URBANISTA

DRAWING:   
**Proposed Roof Plan**  
ISSUE: **5**  
DWG No: **DA08**



EXAMPLE SHOWING NATURAL TIMBER SCREEN [TIM]  
(NATURAL FINISH TO FIRST FLOOR)

MATERIALS	
TMBR.	TIMBER FLOOR BOARDS
CONC.	BURNISHED CONCRETE
RB	RENDERED BRICK
AR	ACRYLIC RENDER
FS	FIBRE CEMENT
TIM.	TIMBER CLADDING
PT	PAINTED TIMBER
TD	TRIMDECK ROOFING
MP	METAL PRESSING



**NORTH ELEVATION**



EXAMPLE SHOWING PAINTED TIMBER SCREEN [PT]  
(PAINT FINISH TO CROSSLAND COURT)

PHILIP  
STEJSKAL  
ARCHITECTURE

website: www.architectureps.com  
email: studio@architectureps.com.au  
reg: 2486 (2152)

SITE/CLIENT  
**Sally + Mike Bell**  
7B KEANE STREET  
PEPPERMINT GROVE WA 6011

SCALE @ A3  
1:100  
DATE  
09/06/22  
JOB REF:  
A2117

DRAWN:  
DS  
ARCHITECTS REG No:  
2486 (2152)

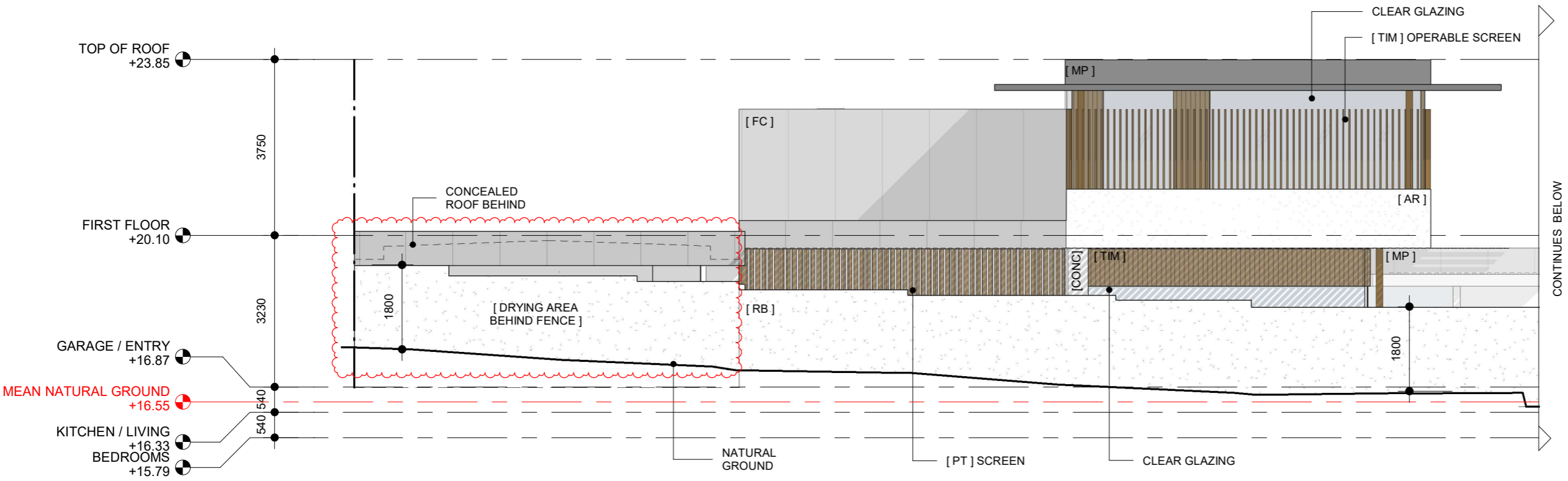
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ISSUE	DATE	DESCRIPTION
5	09/06/22	REVISED PLANNING APPLICATION
4	12/04/22	PLANNING APPROVAL
3	11/04/22	PLANNING APPROVAL
2	07/04/22	CLIENT ISSUE
1	29/03/22	FOR URBANISTA

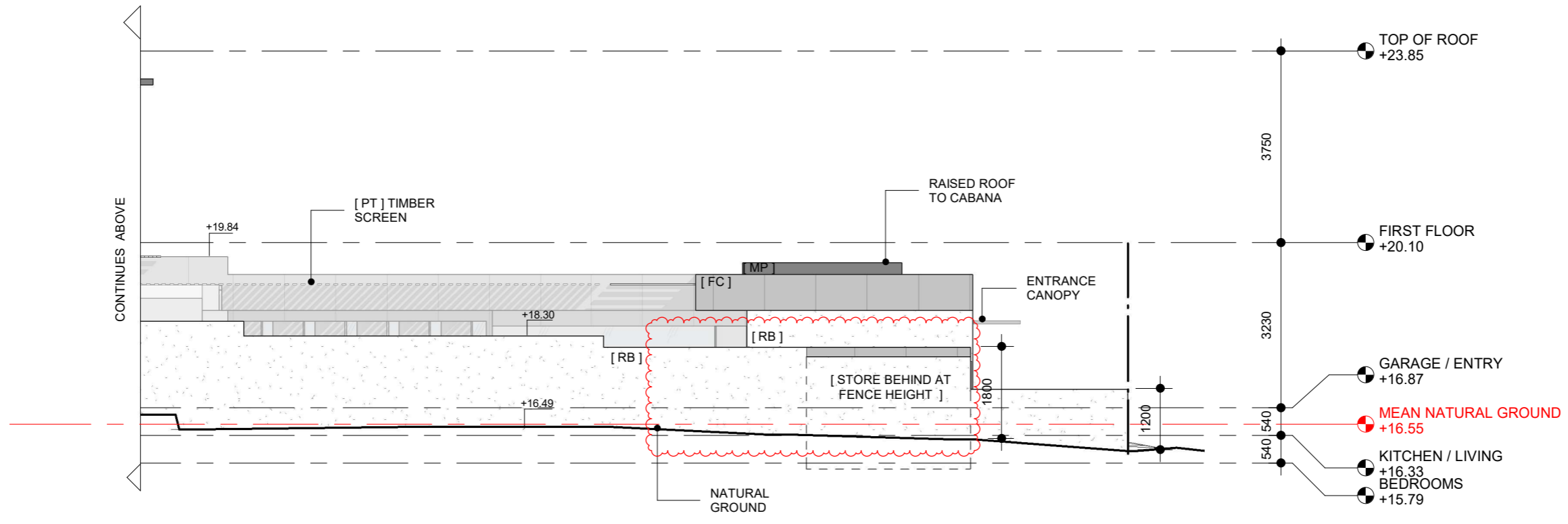
DRAWING:  
**Elevations**  
ISSUE: **5**  
DWG No: **DA09**



MATERIALS	
TMBR.	TIMBER FLOOR BOARDS
CONC.	BURNISHED CONCRETE
RB	RENDERED BRICK
AR	ACRYLIC RENDER
FS	FIBRE CEMENT
TIM.	TIMBER CLADDING
PT	PAINTED TIMBER
TD	TRIMDECK ROOFING
MP	METAL PRESSING



CONTINUES BELOW



**EAST ELEVATION**

PHILIP  
STEJSKAL  
ARCHITECTURE

website: www.architectureps.com  
email: studio@architectureps.com.au  
reg: 2486 (2152)

SITE/CLIENT	SCALE @ A3	1:100
<b>Sally + Mike Bell</b>	DATE	JOB REF:
7B KEANE STREET	09/06/22	A2117
PEPPERMINT GROVE WA 6011	DRAWN:	ARCHITECTS REG No:
	DS	2486 (2152)

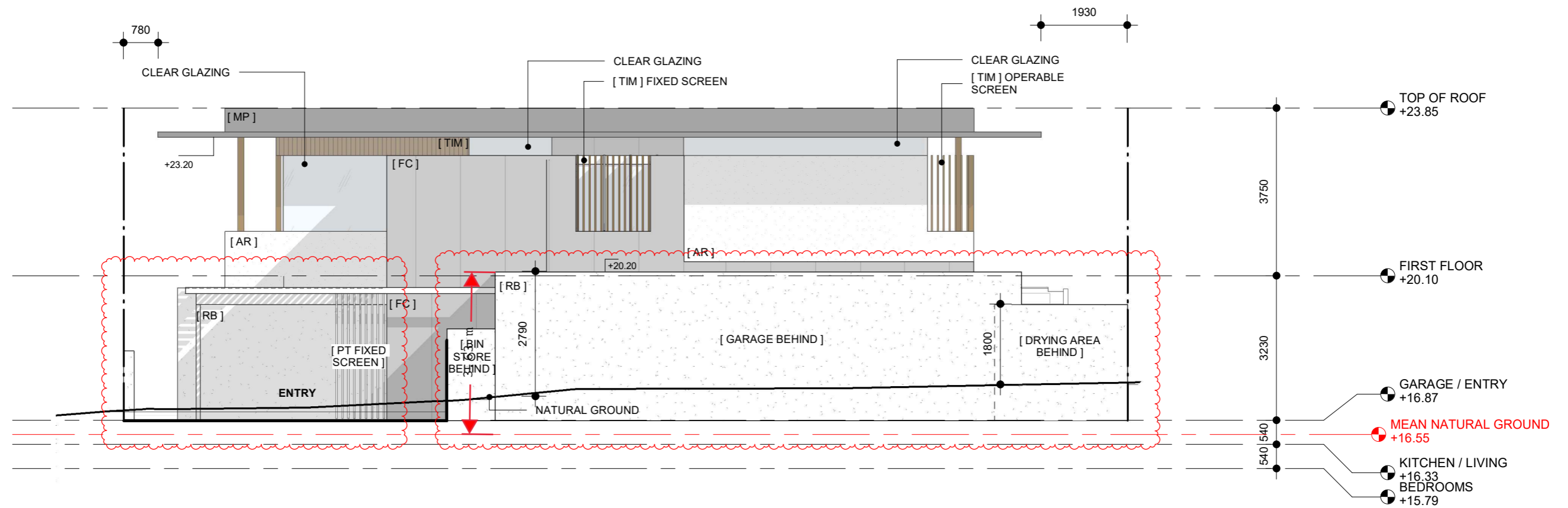
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5	09/06/22	REVISED PLANNING APPLICATION
4	12/04/22	PLANNING APPROVAL
3	11/04/22	PLANNING APPROVAL
2	07/04/22	CLIENT ISSUE
1	29/03/22	FOR URBANISTA

DRAWING:		
ISSUE:	DWG No:	
<b>5</b>		<b>DA10</b>

Elevations

MATERIALS	
TMBR.	TIMBER FLOOR BOARDS
CONC.	BURNISHED CONCRETE
RB	RENDERED BRICK
AR	ACRYLIC RENDER
FS	FIBRE CEMENT
TIM.	TIMBER CLADDING
PT	PAINTED TIMBER
TD	TRIMDECK ROOFING
MP	METAL PRESSING

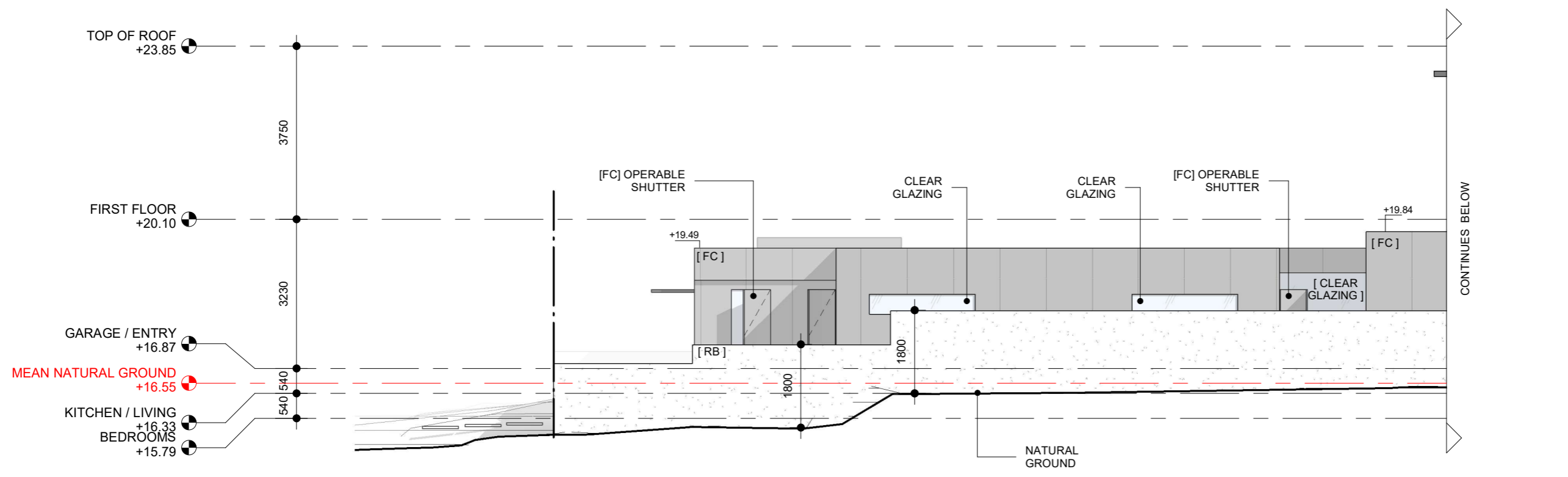


**SOUTH ELEVATION**

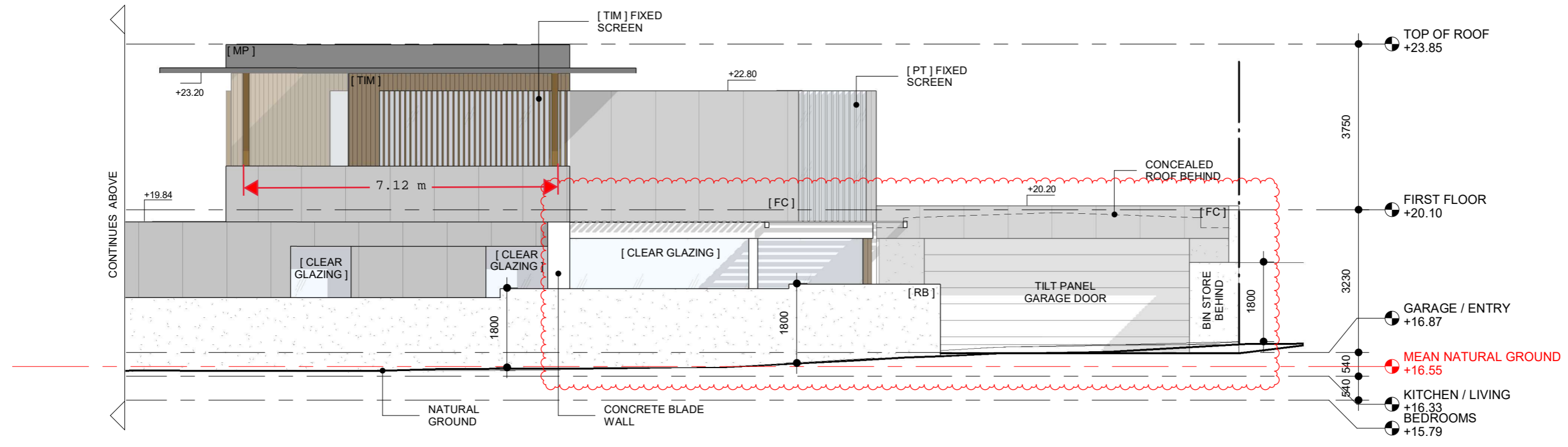
PHILIP  
STEJSKAL  
ARCHITECTURE

website: www.architectureps.com  
email: studio@architectureps.com.au  
reg: 2486 (2152)

SITE/CLIENT <b>Sally + Mike Bell</b> 7B KEANE STREET PEPPERMINT GROVE WA 6011	SCALE @ A3 <b>1:100</b>	DATE <b>09/06/22</b>	JOB REF: <b>A2117</b>	DRAWING:	Elevations															
DRAWN: <b>DS</b>	ARCHITECTS REG No: <b>2486 (2152)</b>	ISSUE: <b>5</b>	DWG No: <b>DA11</b>																	
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5	09/06/22	REVISED PLANNING APPLICATION																		
4	12/04/22	PLANNING APPROVAL																		
3	11/04/22	PLANNING APPROVAL																		
2	07/04/22	CLIENT ISSUE																		
1	29/03/22	FOR URBANISTA																		



MATERIALS	
TMBR.	TIMBER FLOOR BOARDS
CONC.	BURNISHED CONCRETE
RB	RENDERED BRICK
AR	ACRYLIC RENDER
FS	FIBRE CEMENT
TIM.	TIMBER CLADDING
PT	PAINTED TIMBER
TD	TRIMDECK ROOFING
MP	METAL PRESSING



**WEST ELEVATION**

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STEJSKAL  
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email: studio@architectureps.com.au  
reg: 2486 (2152)

SITE/CLIENT	SCALE @ A3	1:100	DRAWING:	
<b>Sally + Mike Bell</b>	DATE	JOB REF:		
7B KEANE STREET PEPPERMINT GROVE WA 6011	09/06/22	A2117		Elevations
DRAWN:	ARCHITECTS REG No:		ISSUE:	DWG No:
DS	2486 (2152)		<b>5</b>	<b>DA12</b>
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		4	12/04/22	PLANNING APPROVAL
		3	11/04/22	PLANNING APPROVAL
		2	07/04/22	CLIENT ISSUE
		1	29/03/22	FOR URBANISTA



**CROSSLAND COURT  
STREETSCAPE IMAGE**

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SITE/CLIENT		SCALE @ A3				DRAWING:	
Sally + Mike Bell						STREETSCAPE	
7B KEANE STREET PEPPERMINT GROVE WA 6011		DATE	JOB REF:				
		09/06/22	A2117				
		DRAWN:	ARCHITECTS REG No:			ISSUE:	DWG No:
		DS	2486 (2152)	5	09/06/22	REVISED PLANNING APPLICATION	5
				4	12/04/22	PLANNING APPROVAL	
				3	11/04/22	PLANNING APPROVAL	
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IMAGE 1 - SHOWING KEANE STREET FRONT ENTRY AND GARAGE



IMAGE 2 - SHOWING INTERNAL COURTYARD AND CONNECTION TO CROSSLAND COURT



IMAGE 3 - SHOWING PLANTER BOX & SCREENING TO STUDY



IMAGE 4 - SHOWING FIRST FLOOR TERRACE, PLANTER BOXES AND STUDY SCREENING

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reg: 2486 (2152)

SITE/CLIENT  
**Sally + Mike Bell**  
7B KEANE STREET  
PEPPERMINT GROVE WA 6011

SCALE @ A3

DATE  
09/06/22

DRAWN:  
DS

JOB REF:  
A2117

ARCHITECTS REG No:  
2486 (2152)

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5	09/06/22 REVISED PLANNING APPLICATION

DRAWING:  
**3D IMAGES**  
ISSUE:  
**5**  
DWG No:  
**DA13.1**

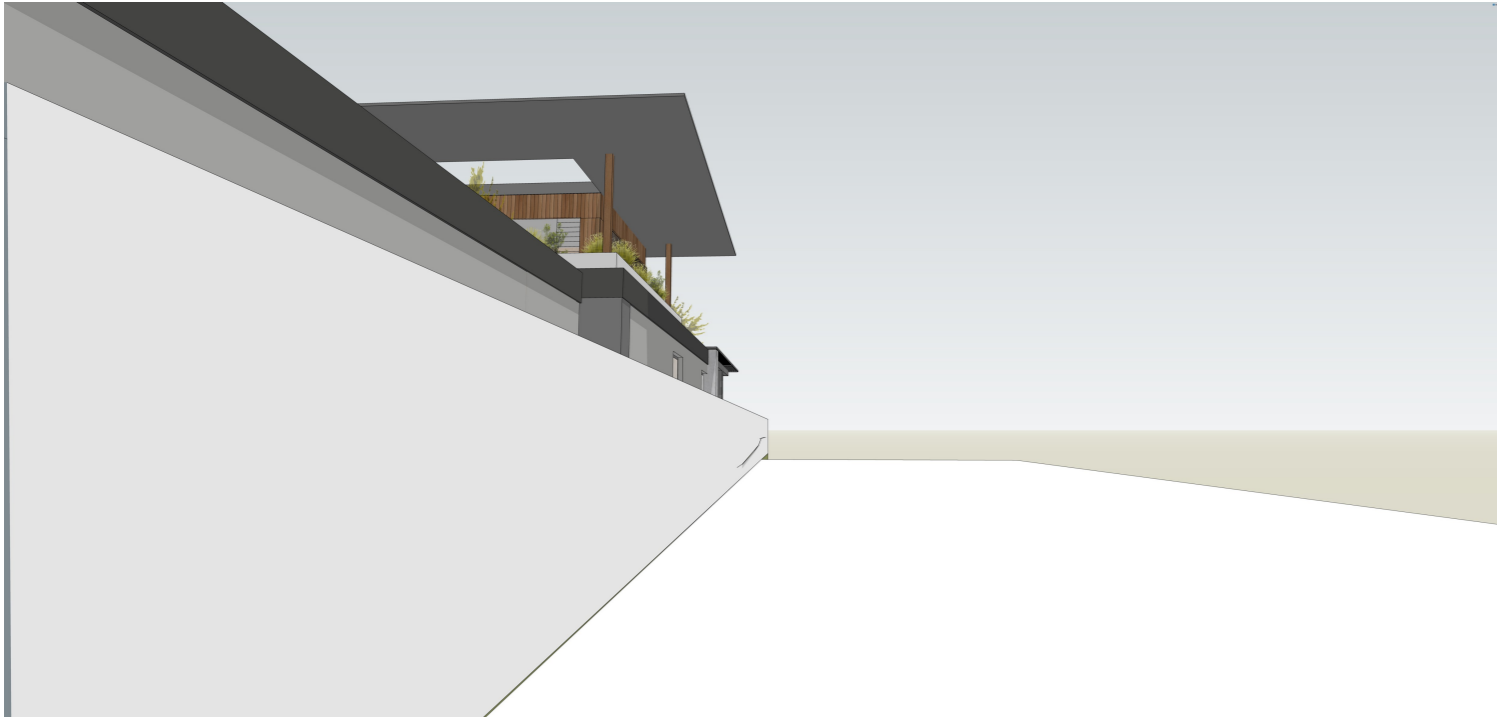


IMAGE 5 - SHOWING FIRST FLOOR TERRACE AND IMPACT OF NEIGHBOUR



IMAGE 6 - SHOWING CROSSLAND COURT ENTRANCE AND BEDROOMS

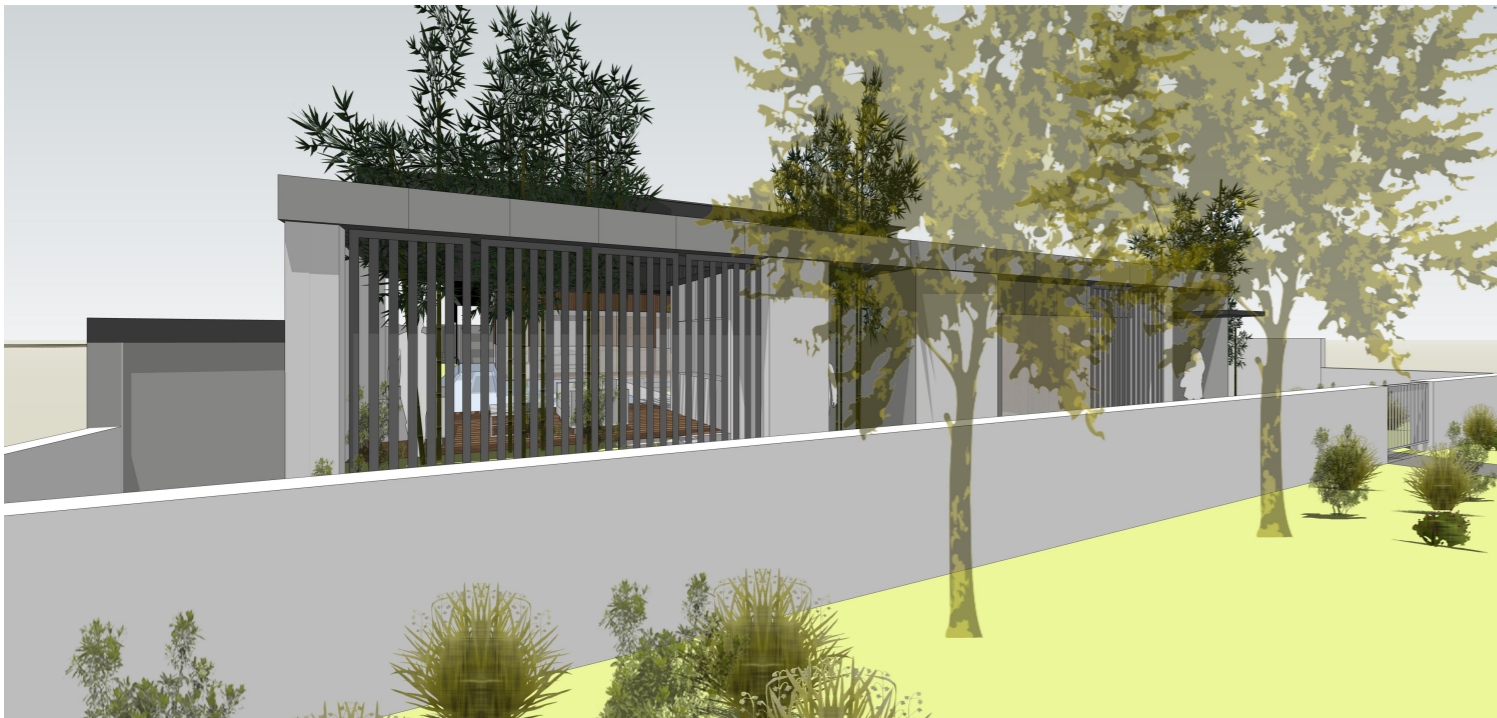


IMAGE 7 - FROM CROSSLAND COURT SHOWING CABANA AREA AND ACCESS THROUGH TO INTERNAL COURTYARD



IMAGE 8 - CROSSLAND COURT STREET ELEVATION

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Sally + Mike Bell

7B KEANE STREET  
PEPPERMINT GROVE WA 6011

SCALE @ A3

DATE

09/06/22

JOB REF:

A2117

DRAWN:

DS

ARCHITECTS REG No:

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DRAWING:

3D IMAGES

ISSUE:

5

DWG No:

DA13.2

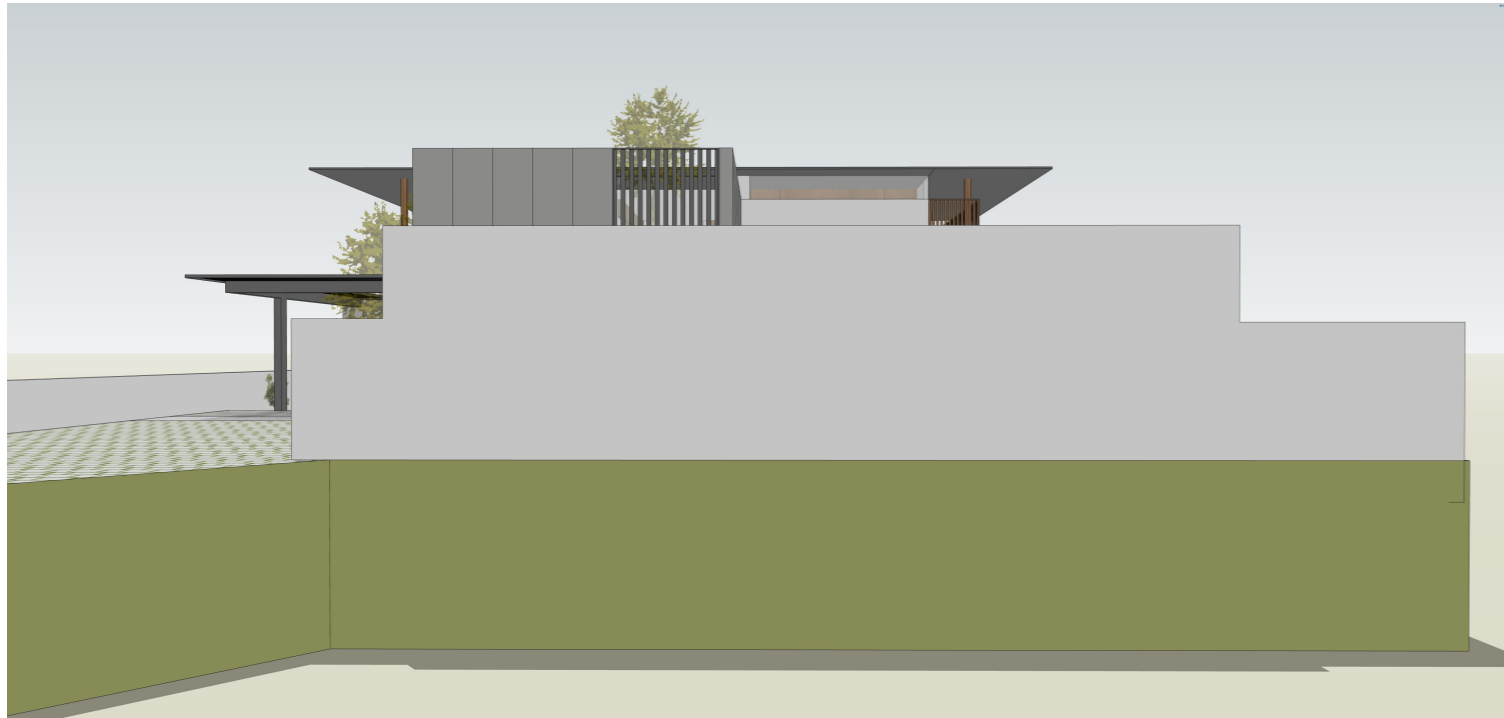
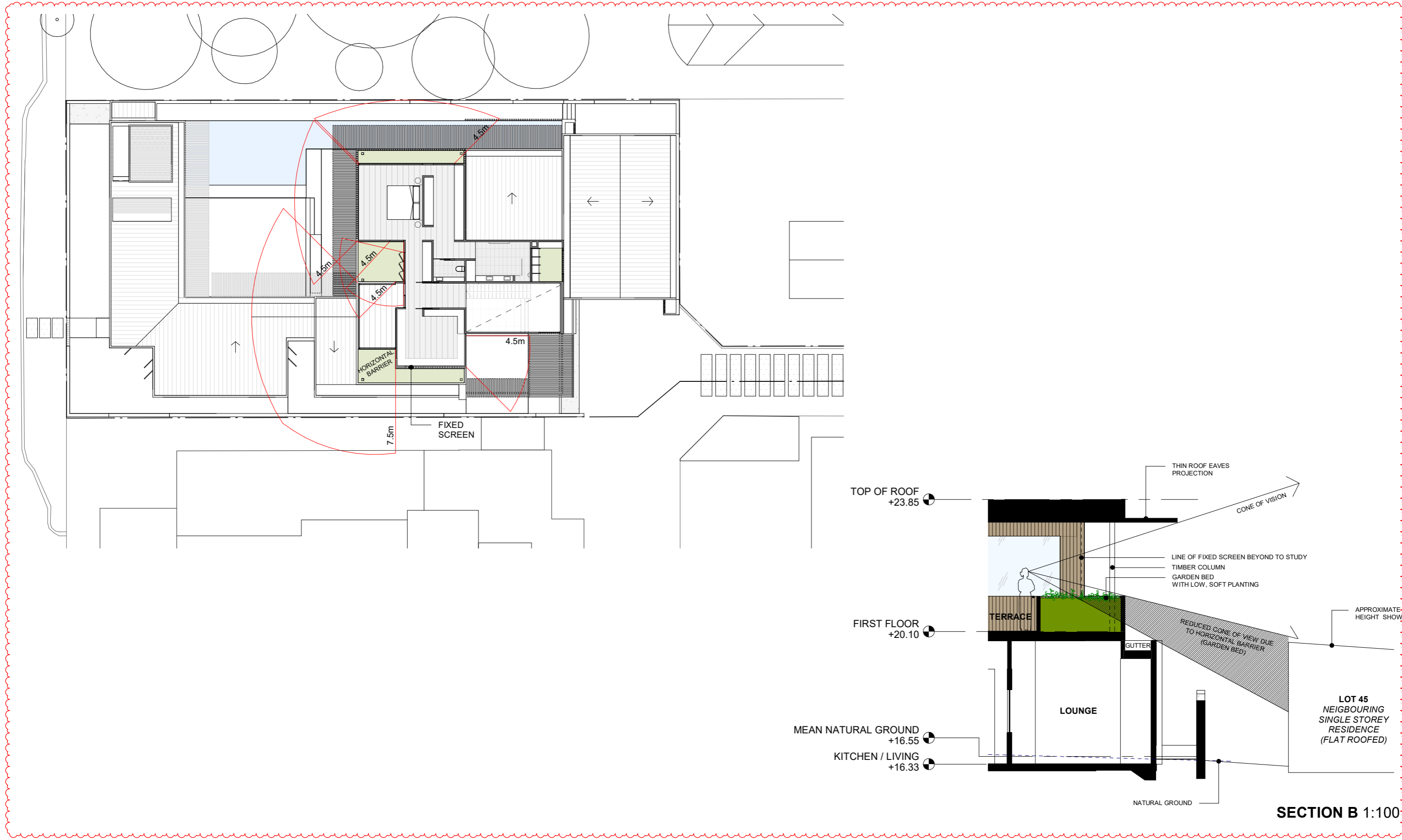


IMAGE 9 - GARAGE BOUNDARY WALL AS VIEWED FROM LOT 47

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SITE/CLIENT		SCALE @ A3		DRAWING:	
Sally + Mike Bell				3D IMAGES	
7B KEANE STREET PEPPERMINT GROVE WA 6011		DATE	JOB REF:		
		09/06/22	A2117		
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		DS	2486 (2152)	5	DA13.3
		5		09/06/22 REVISED PLANNING APPLICATION	



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SITE/CLIENT  
**Sally + Mike Bell**  
7B KEANE STREET  
PEPPERMINT GROVE WA 6011

SCALE @ A3  
As indicated  
DATE  
09/06/22  
JOB REF:  
A2117

DRAWN:  
DS  
ARCHITECTS REG No:  
2486 (2152)

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			DRAWING:	Overlooking Diagram	
			ISSUE:	5	DWG No: DA16
5	09/06/22	REVISED PLANNING APPLICATION			
4	12/04/22	PLANNING APPROVAL			
3	11/04/22	PLANNING APPROVAL			
2	07/04/22	CLIENT ISSUE			



# Crossland Court Building Setbacks

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## **Ordinary Council Meeting**

8.1.3 – 13 (Lot 4) Venn Street,  
Peppermint Grove - Single House &  
Ancillary Works



Shire of  
Peppermint  
Grove

PEPPERMINT  
GROVE

13 VENN ST, PEPPERMINT GROVE  
P1517 4

Columba

PI

St  
Venn

12

12A

18

2R

31

32

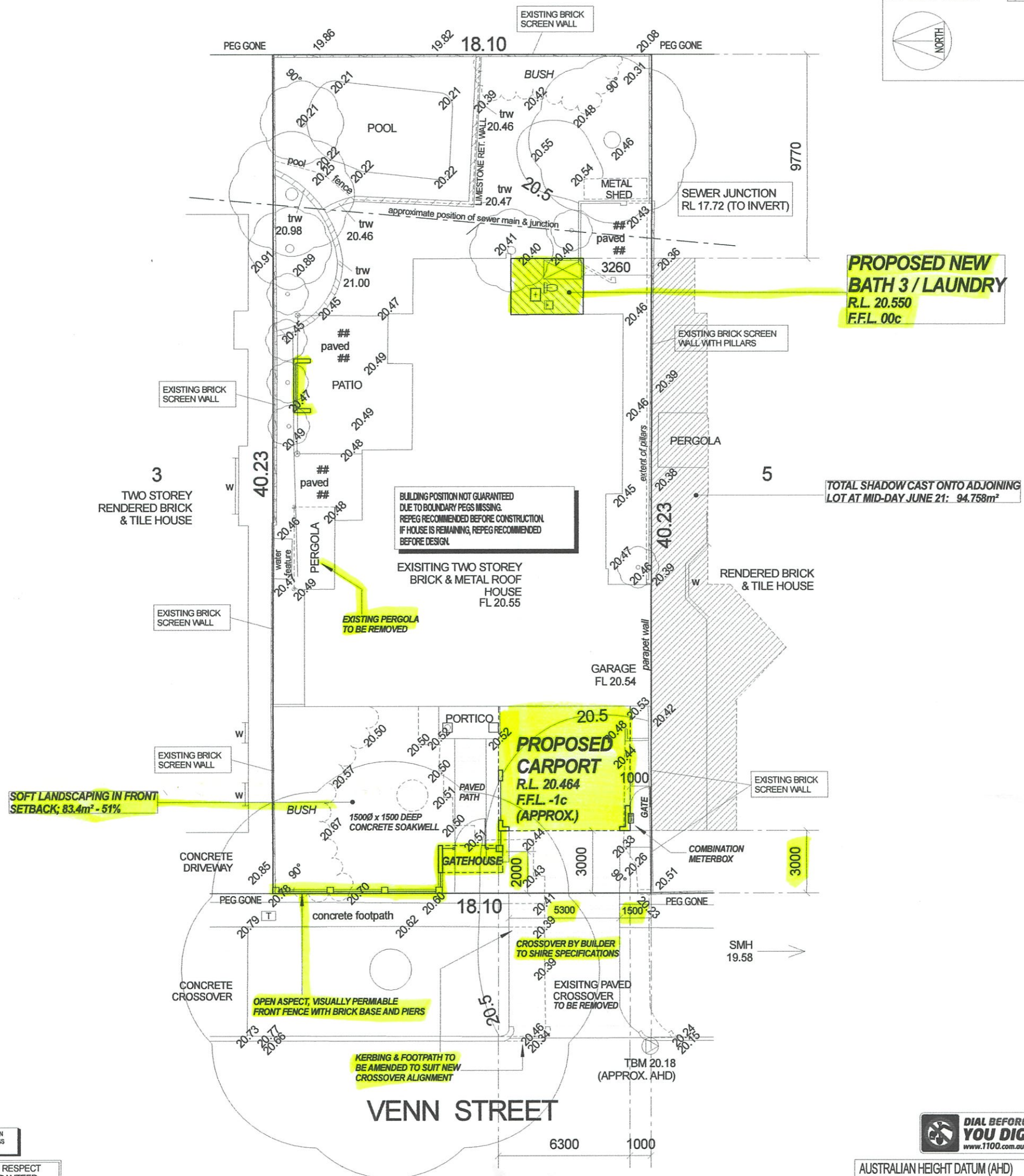


NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

152  
HOUSE WELL CLEAR

LOT No: 4

AREA : 728m<sup>2</sup>



**PROPOSED NEW BATH 3 / LAUNDRY**  
R.L. 20.550  
F.F.L. 00c

TOTAL SHADOW CAST ONTO ADJOINING LOT AT MID-DAY JUNE 21: 94.758m<sup>2</sup>

**PROPOSED CARPORT**  
R.L. 20.464  
F.F.L. -1c (APPROX.)

SOFT LANDSCAPING IN FRONT SETBACK; 83.4m<sup>2</sup> - 51%

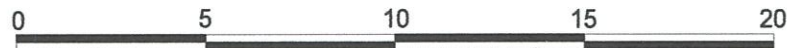
POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE 1359 LID LEVEL.



SITE PLAN 1:200 at A3

REF NO: 71858 FILE NO: 7033 DATE: 06.04.22 DRAWN: AC		<b>R. G. LESTER &amp; ASSOCIATES</b> LICENSED LAND & ENGINEERING SURVEYORS NORTH BEACH PLAZA SHOP 7   1 NORTH BEACH ROAD   NORTH BEACH   WA   6020 PH: 9448 5009 admin@lestersurveys.com.au		<b>NOTES</b> Block located more than 1 kilometre from the ocean.		BUILDER:	
<b>SURVEYOR SITE INSPECTION REPORT</b>				CLIENT / S: <b>PETER FRYER</b>			
ELECTRICITY: UNDERGROUND (not sighted)		GAS: NOT SIGHTED		SITE ADDRESS:			
PHONE: YES		WATER: YES (not sighted)		<b>LOT 4 (#13) VENN STREET, PEPPERMINT GROVE</b>			
SEWERAGE: YES, ABOUT 2.7m DEEP (TO INVERT)		ROAD: HOTMIX		Local Authority: <b>SHIRE OF PEPPERMINT GROVE</b>			
KERB: MOUNTABLE (cracked)		VEGETATION: ESTABLISHED GARDENS & TREES		<b>TITLE DETAILS</b>			
FOOTPATH: CONCRETE (cracked)		SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH		LOT NOS: <b>4</b>		C/T VOL: <b>1723</b>	
VEIEWS: NIL		REPEG: REQUIRED		PLAN: <b>1517</b>		FOL: <b>780</b>	
REPEG TYPE: OLD SURVEY AREA		LEGEND		JOB No:		SURVEY JOB No: <b>71858</b>	
<ul style="list-style-type: none"> <li>NBN PIT</li> <li>TELECOM PIT</li> <li>COMMUNICATION PIT</li> <li>POWER DOME</li> <li>POWER POLE</li> <li>STREET LAMP</li> </ul>		<ul style="list-style-type: none"> <li>HYDRANT</li> <li>FENCE END</li> <li>COLUMN</li> <li>PILLAR</li> <li>TOP OF RETAINING WALL</li> <li>TREE</li> <li>PALM TREE</li> <li>TREE STUMP</li> <li>SIDE ENTRY PIT</li> <li>DRAINAGE MANHOLE</li> <li>GRATED DRAIN</li> <li>STOP VALVE</li> <li>PRE-LAID WATER PIPE</li> <li>WATER METER</li> <li>SEWERAGE MANHOLE</li> <li>SEWERAGE INSPECTION LID</li> </ul>		Local Authority: <b>SHIRE OF PEPPERMINT GROVE</b>		TITLE DETAILS LOT NOS: <b>4</b> C/T VOL: <b>1723</b> PLAN: <b>1517</b> FOL: <b>780</b>	

**peter fryer design**  
M 0415 916 580  
E peterfryer@inet.net.au  
P.O. Box 361 Subiaco WA. 6904

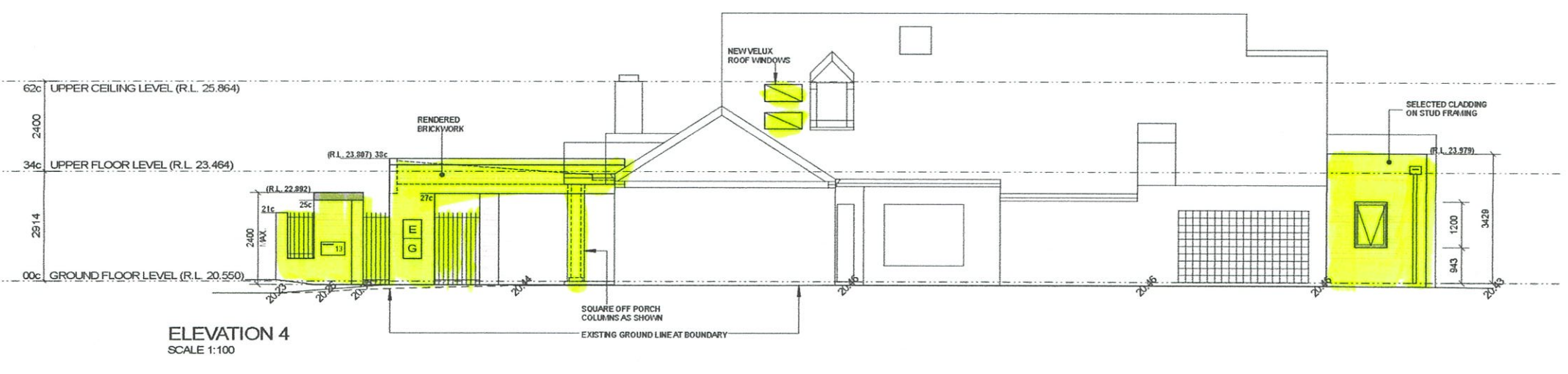
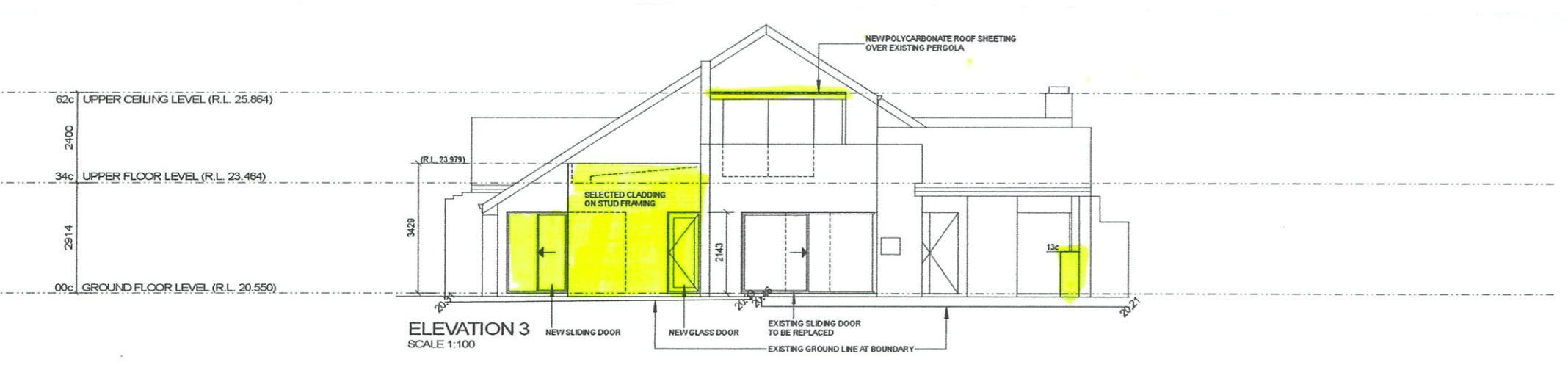
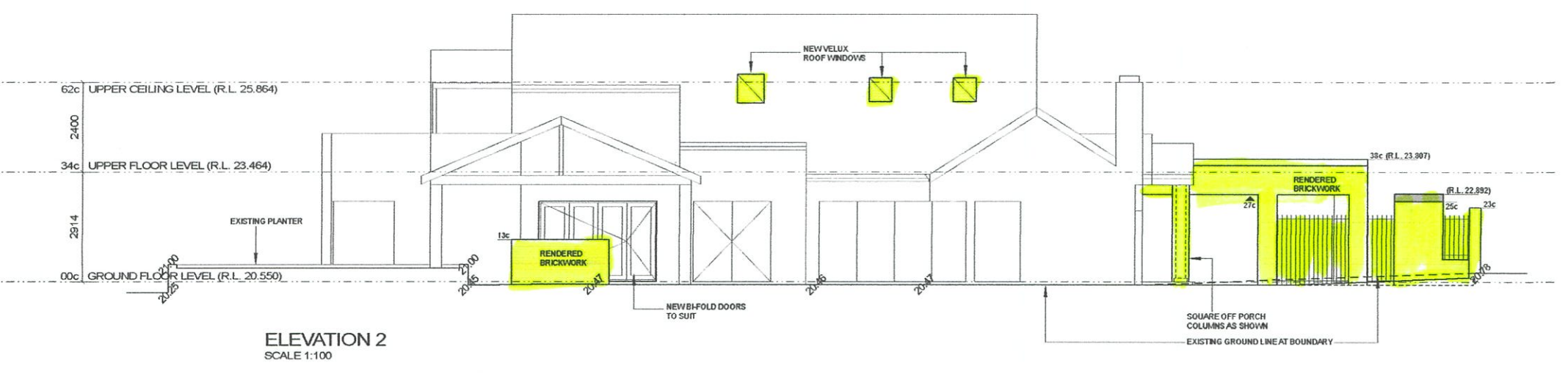
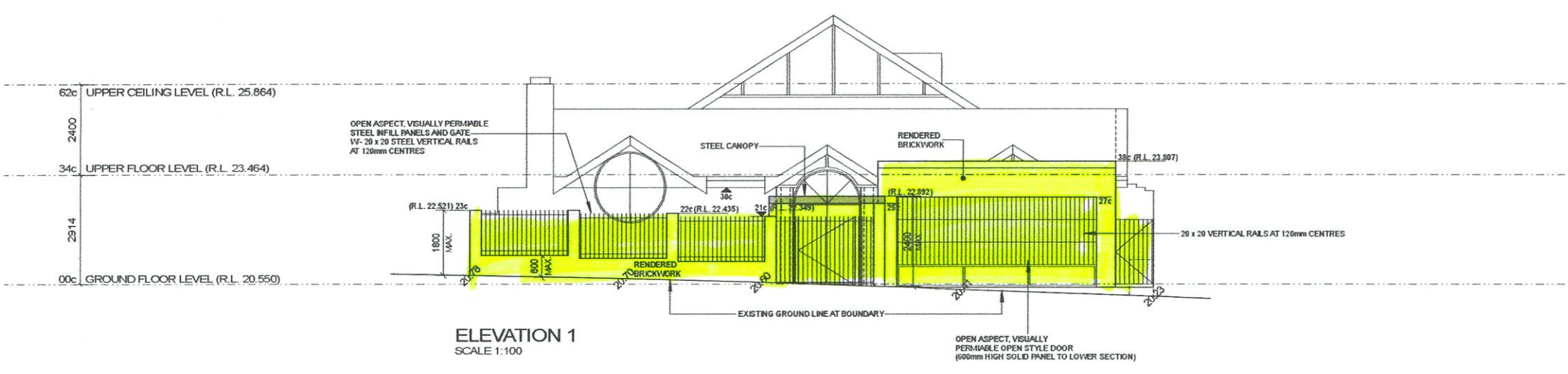
© Copyright  
CLIENT: TAIT

**SITE PLAN**  
SCALE 1:200  
ADDRESS:  
**LOT 4 (#13) VENN STREET PEPPERMINT GROVE**

DRAWN: PJTAYLOR  
DATE: MAY 2022  
SCALE: AS SHOWN  
SHEET 1 OF 6

date	amendments

RESIDENTIAL BUILDING DESIGN / INTERIORS



		<p><b>peter fryer design</b>  M 0415 916 580  E peterfryer@inet.net.au  P.O. Box 361 Subiaco WA 6804</p>	<p>© Copyright  CLIENT:  <b>TAIT</b></p>	<p>ELEVATIONS  SCALE 1:100  ADDRESS:  <b>LOT 4 (#13)  VENN STREET  PEPPERMINT GROVE</b></p>	<p>DRAWN:  <b>PJTAYLOR</b>  DATE:  <b>MAY 2022</b>  SCALE:  <b>AS SHOWN</b>  SHEET  <b>6 OF 6</b></p>
date	amendments				



## **Ordinary Council Meeting**

8.1.4 – 12 (Lot 63) The Esplanade,  
Peppermint Grove - Additions and  
Alterations to a Single House and  
Outbuilding, and Ancillary Works



Pindari

PI

Shire of  
Peppermint  
Grove

PEPPERMINT  
GROVE

Forrest

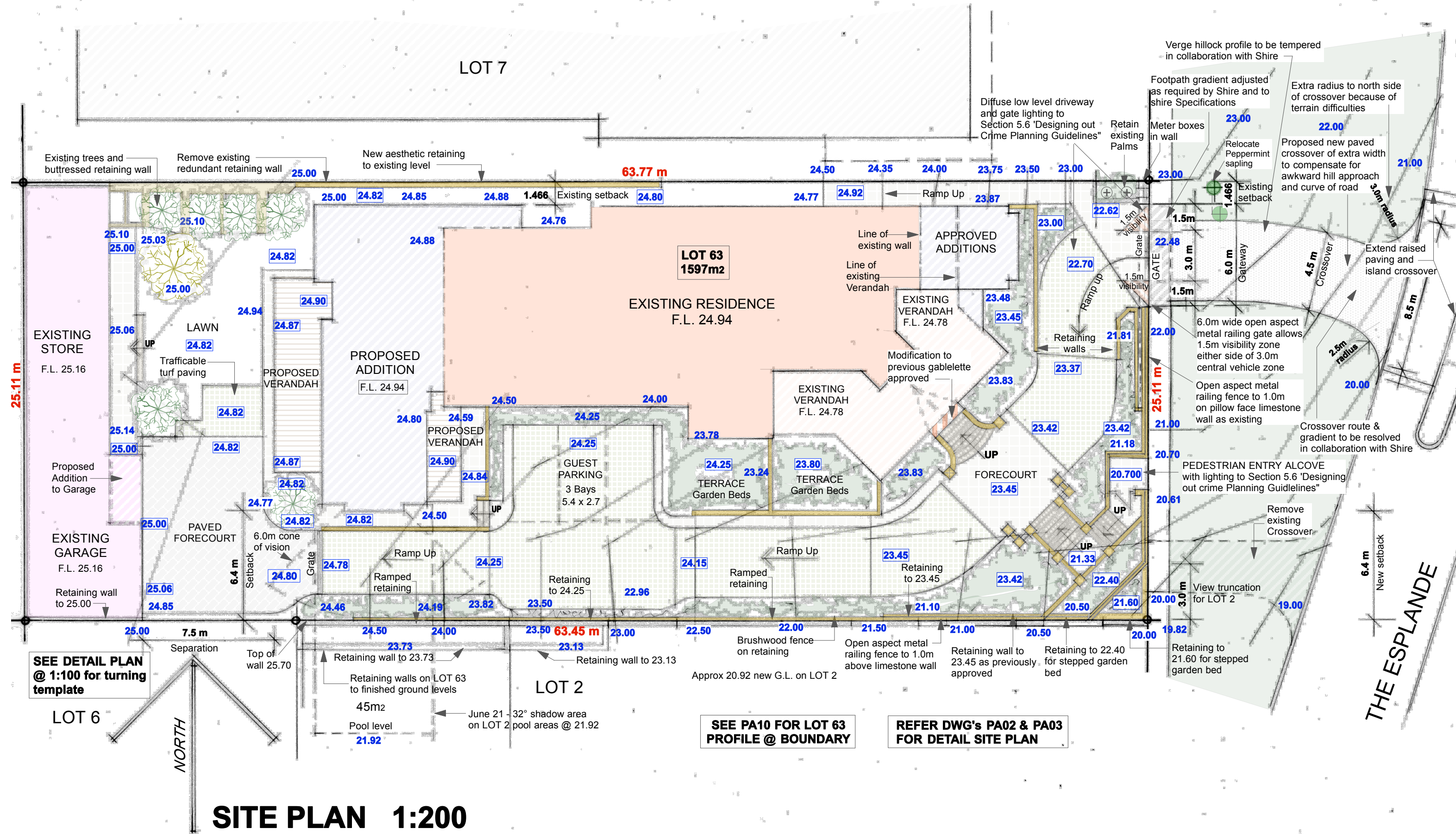
St

Esplanade

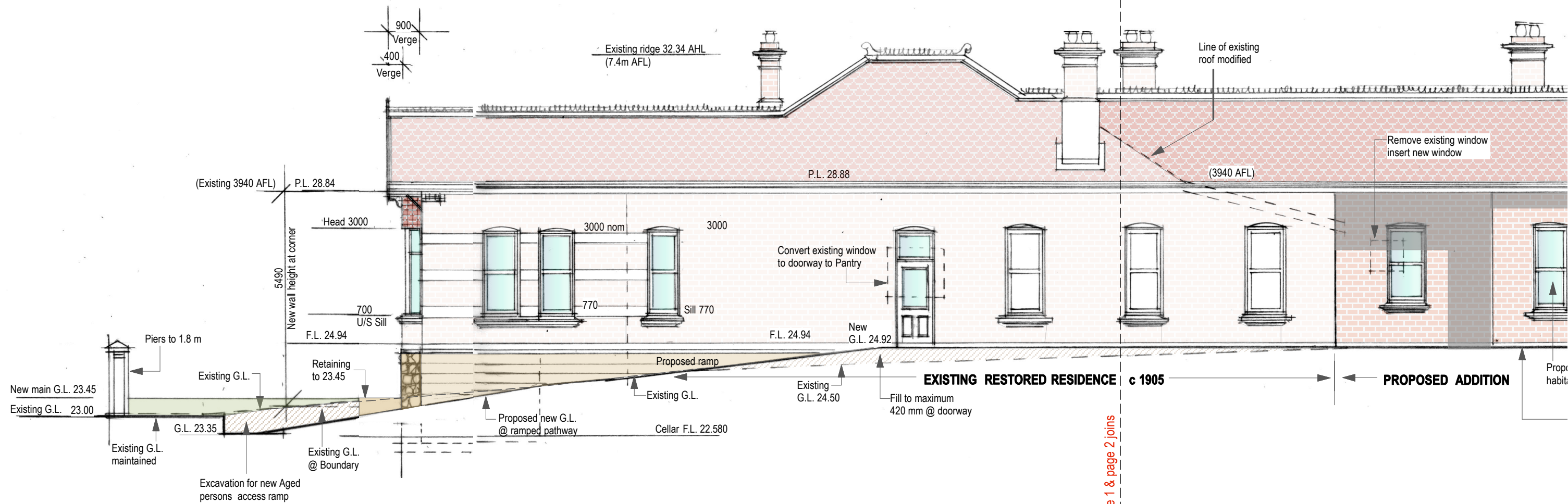
The

12

12 THE ESPLANADE, PEPPERMINT GROVE  
P3783 63



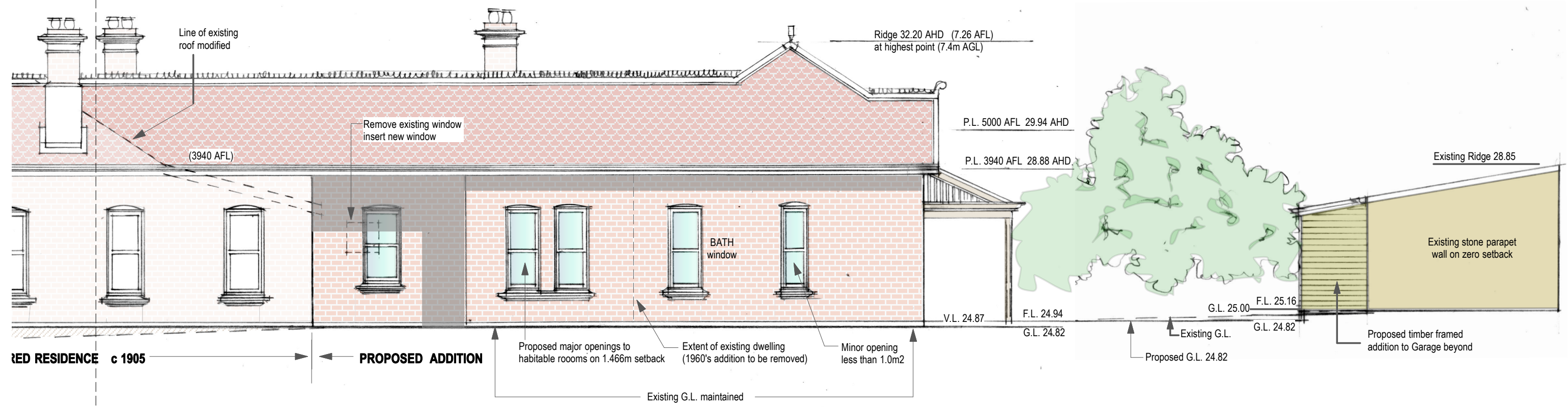




# NORTH ELEVATION 1:100

## East End

PA03A page 1 & page 2 joins



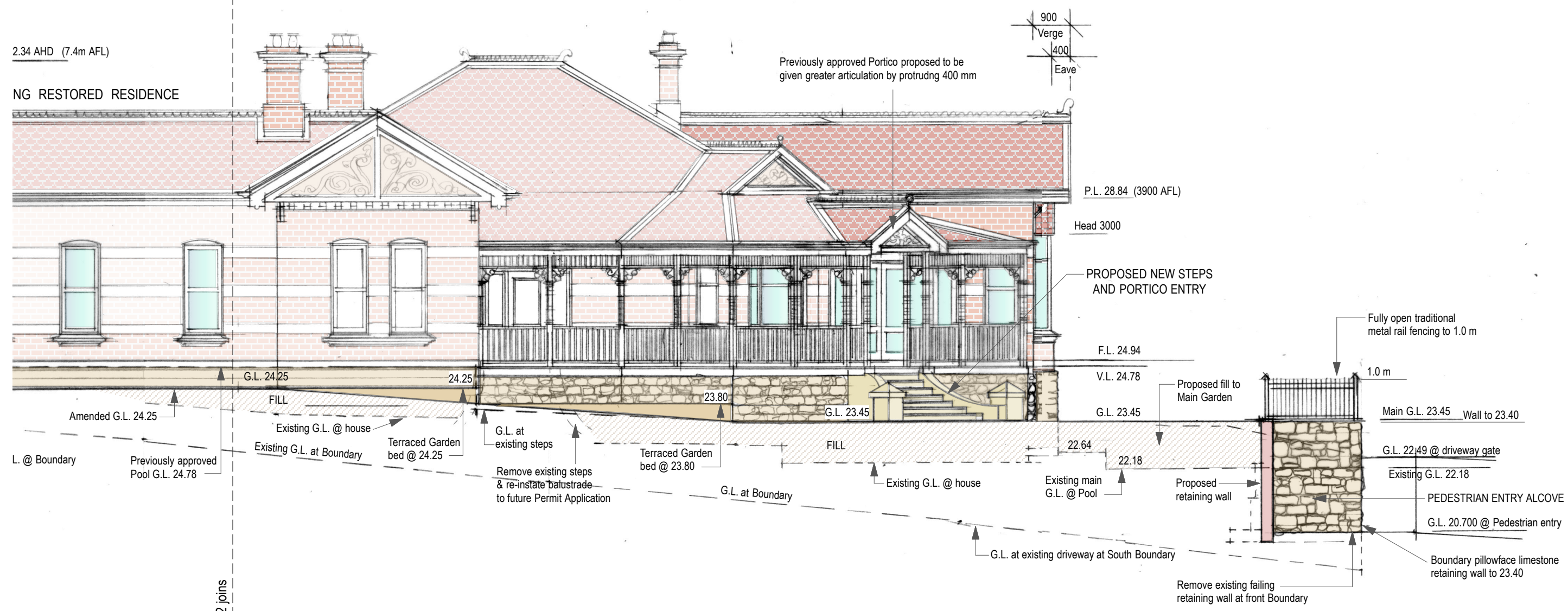
PA03A page 1 & page 2 joins

# NORTH ELEVATION 1:100

## West End

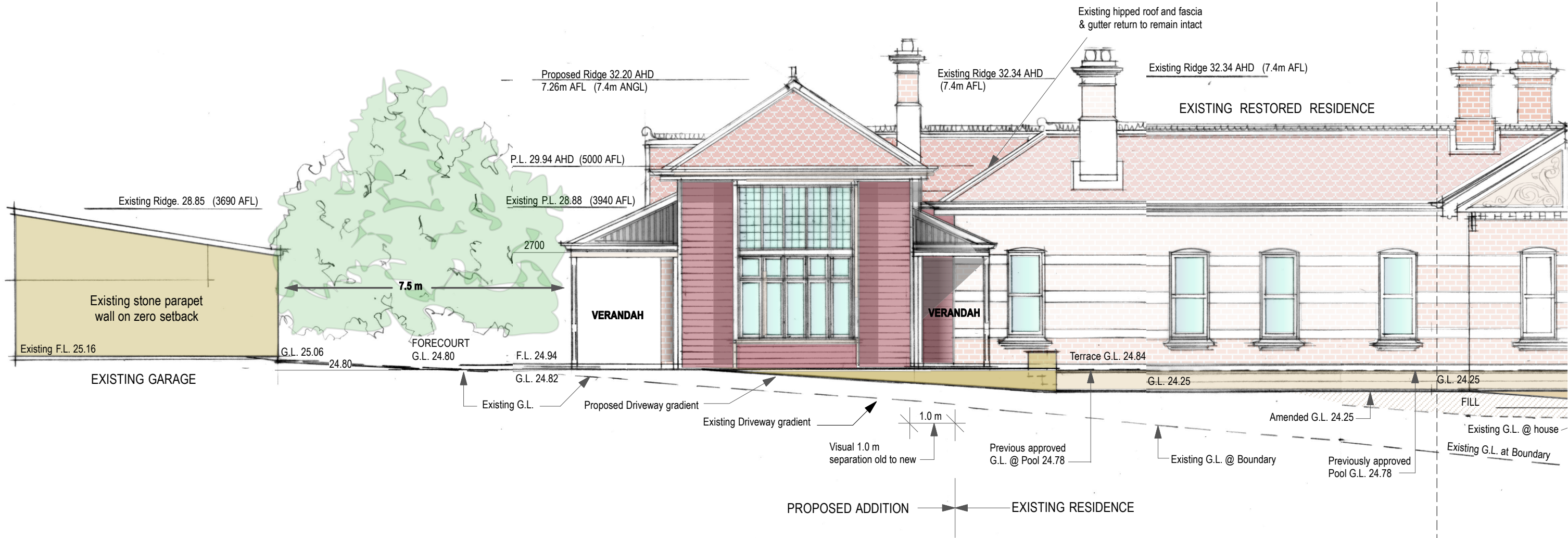
2.34 AHD (7.4m AFL)

NG RESTORED RESIDENCE



PA04A page 1 & page 2 joins

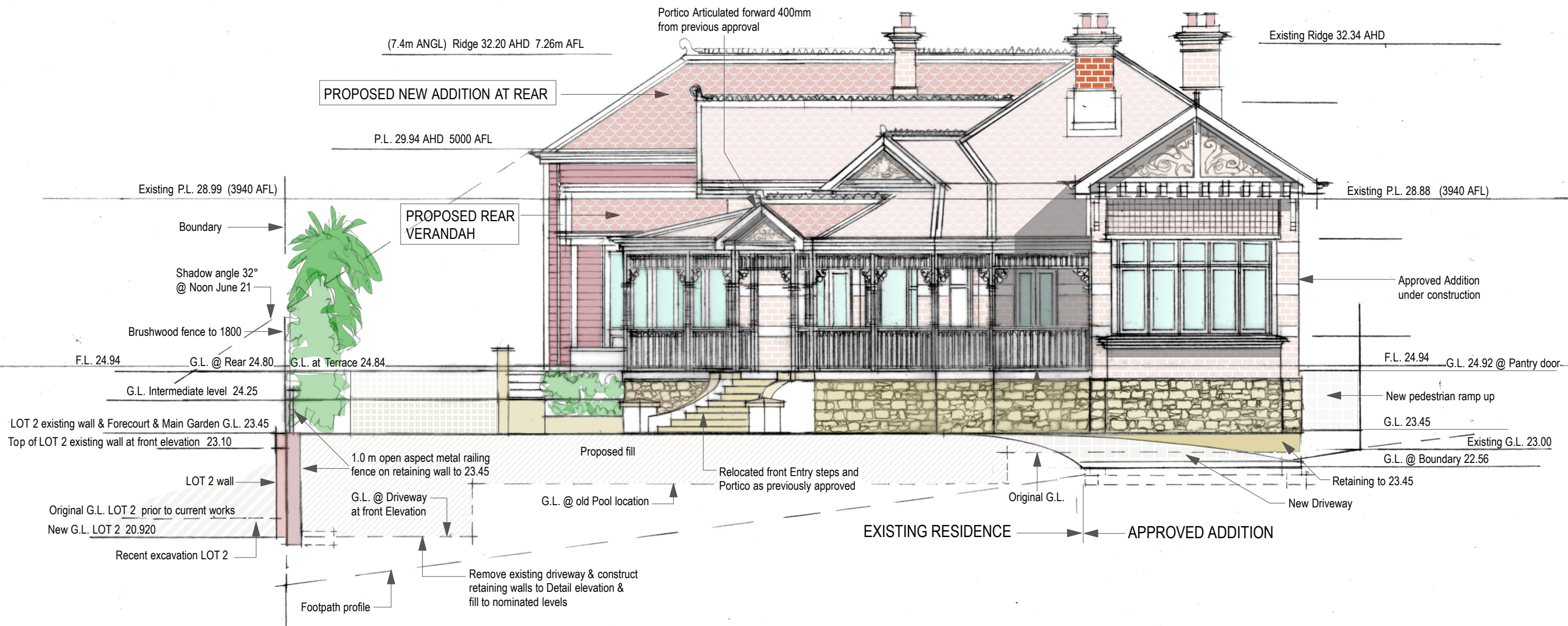
# SOUTH ELEVATION 1:100 East End



# SOUTH ELEVATION 1:100

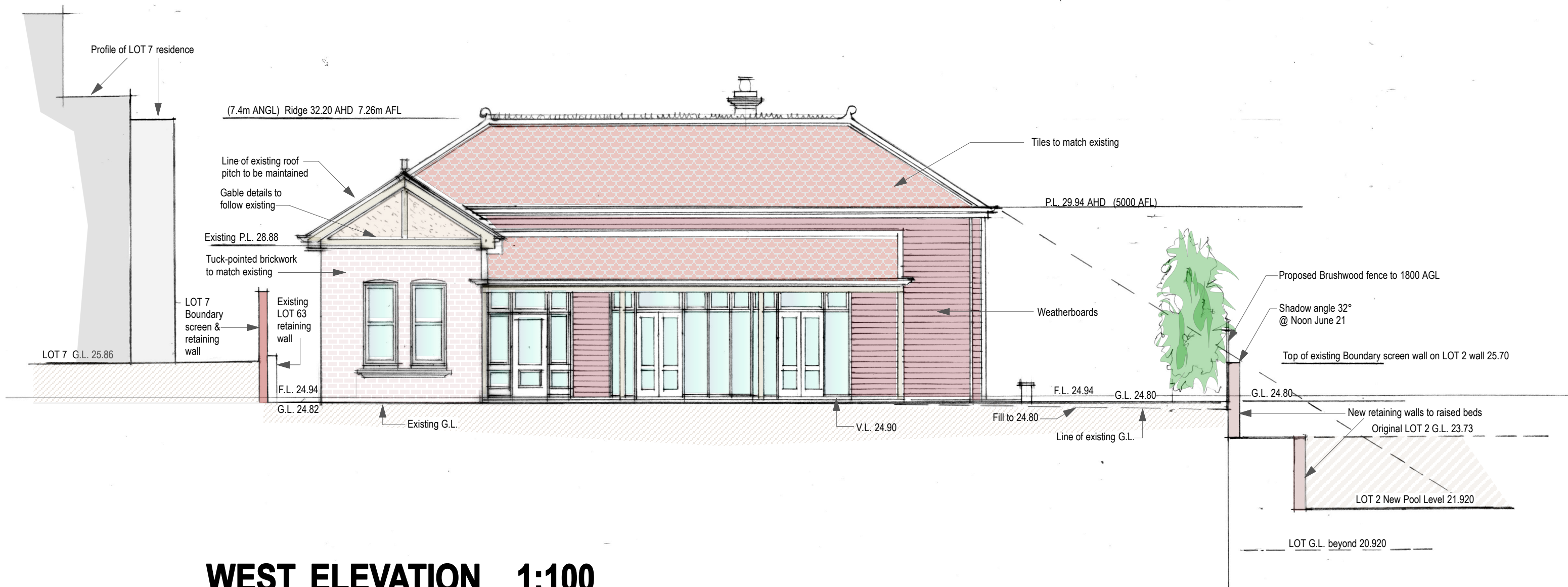
## West End

PA04A page 1 & page 2 joins



# EAST ELEVATION 1:100

## Existing Residence



# WEST ELEVATION 1:100

## Proposed Addition

GERARD McCANN ARCHITECT

301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M: 0419 947 890 E: gmccann@inet.net.au

SMITH

CLIENT

ADDITIONS &  
ALTERATIONS  
STAGE 2

PROJECT

'LAKESIDE'  
12 THE ESPLANADE  
PEPPERMINT GROVE  
LOCATION

ELEVATION -  
WEST

DRAWING

SCALE

1:100 @ A3

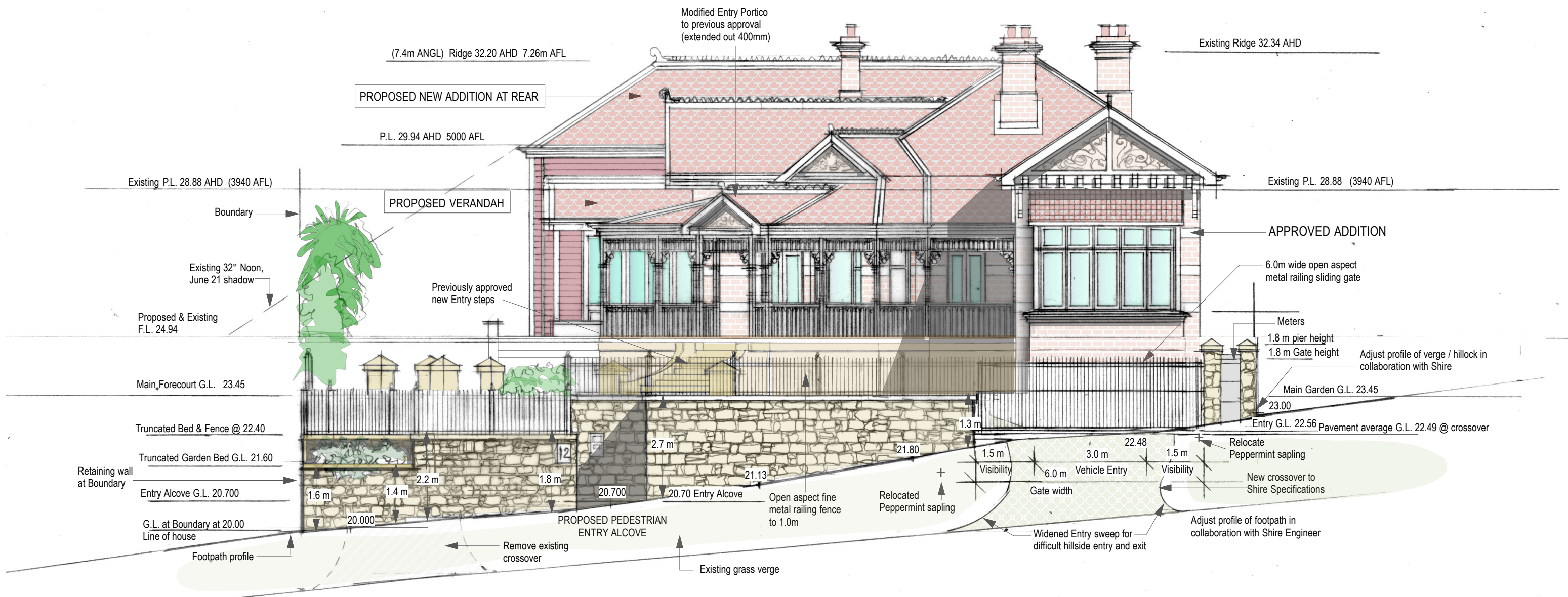
DATE

30 JUNE 2022

DRAWN

GMCC

21-746 PA06A



# EAST ELEVATION 1:100

## Streetscape

GERARD McCANN ARCHITECT

301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M: 0419 947 890 E: gmccann@inet.net.au

SMITH

CLIENT

ADDITIONS &  
ALTERATIONS  
STAGE 2

PROJECT

'LAKESIDE'  
12 THE ESPLANADE  
PEPPERMINT GROVE

LOCATION

ELEVATIONS  
EAST - Streetscape

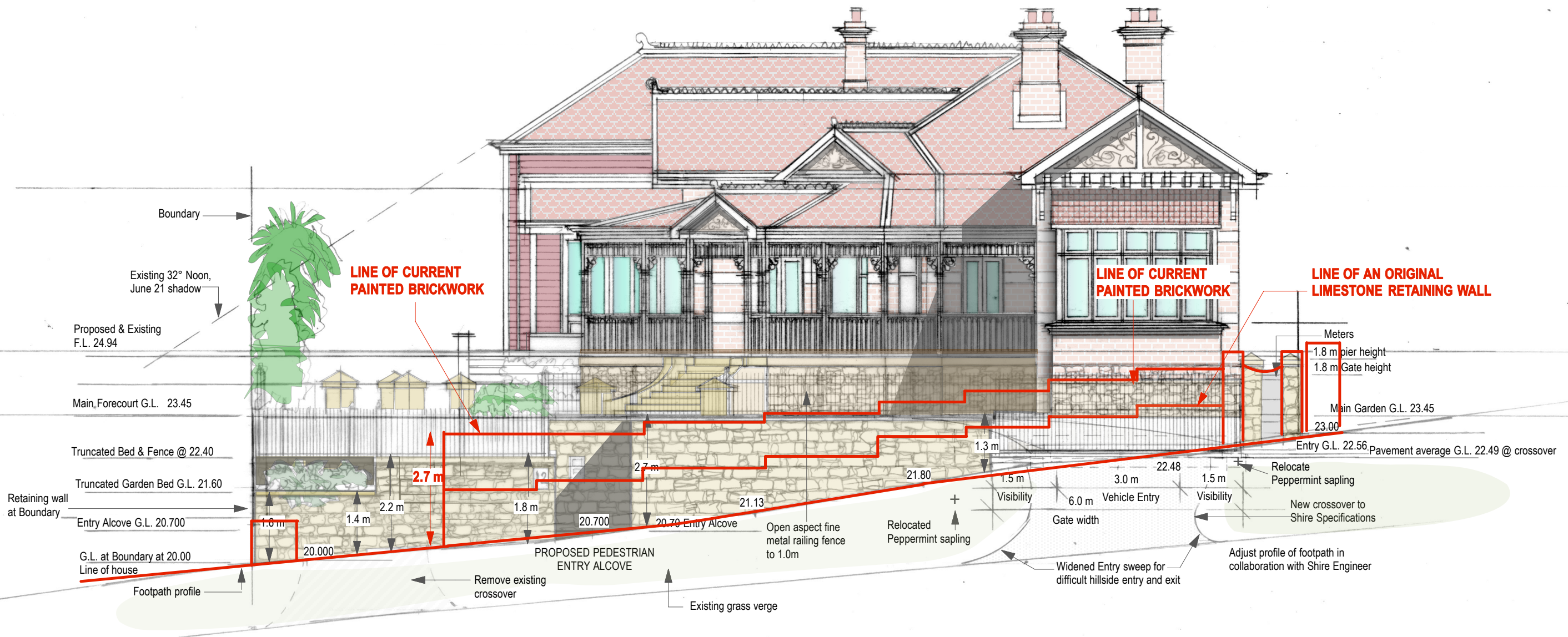
DRAWING

SCALE 1:100 @ A3

DATE 30 JUNE 2022

DRAWN GMCC

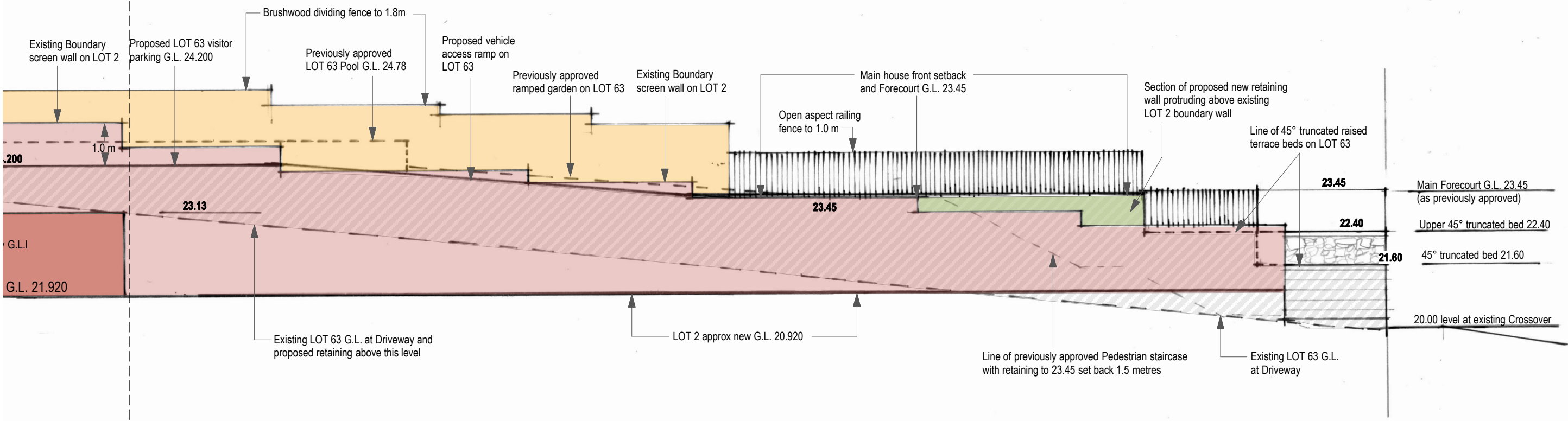
21-746 PA07A



## EAST ELEVATION 1:100

### Streetscape with Existing Wall Outlined



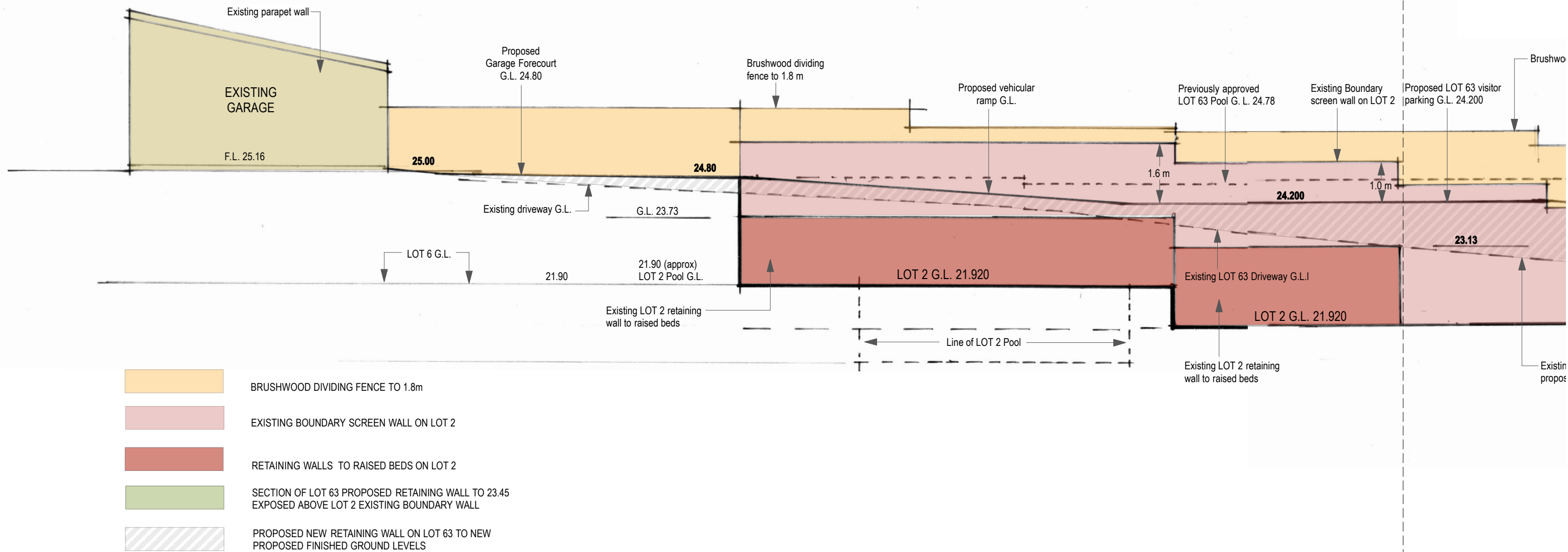


- BRUSHWOOD DIVIDING FENCE TO 1.8m
- EXISTING BOUNDARY SCREEN WALL ON LOT 2
- RETAINING WALLS TO RAISED BEDS ON LOT 2
- SECTION OF LOT 63 PROPOSED RETAINING WALL TO 23.45 EXPOSED ABOVE LOT 2 EXISTING BOUNDARY WALL
- PROPOSED NEW RETAINING WALL ON LOT 63 TO NEW PROPOSED FINISHED GROUND LEVELS

# ELEVATION @ SOUTH BOUNDARY 1:100

## East End

PA09A page 1 & page 2 joins



# ELEVATION @ SOUTH BOUNDARY 1:100

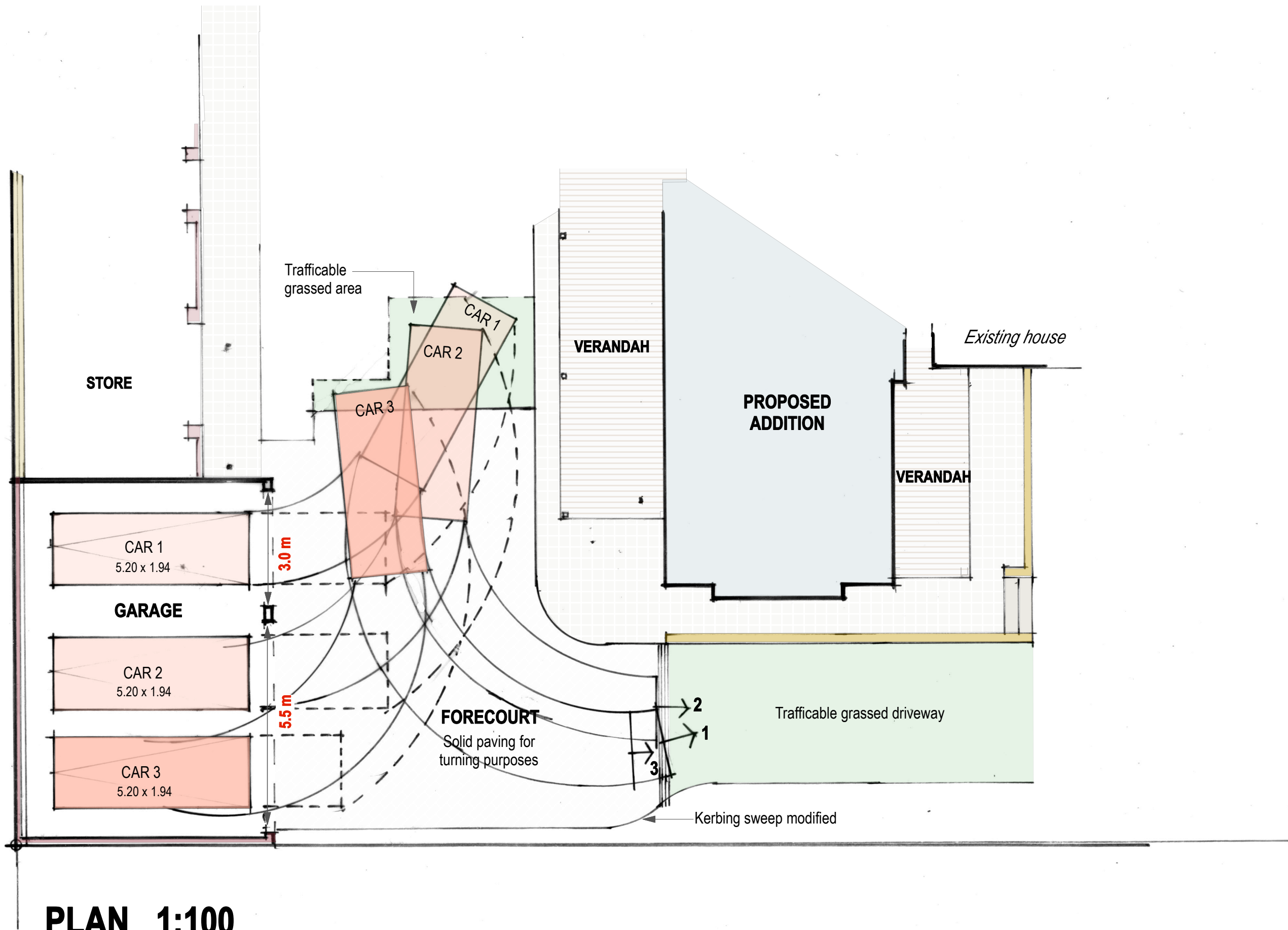
## West End

PA09A page 1 & page 2 joins

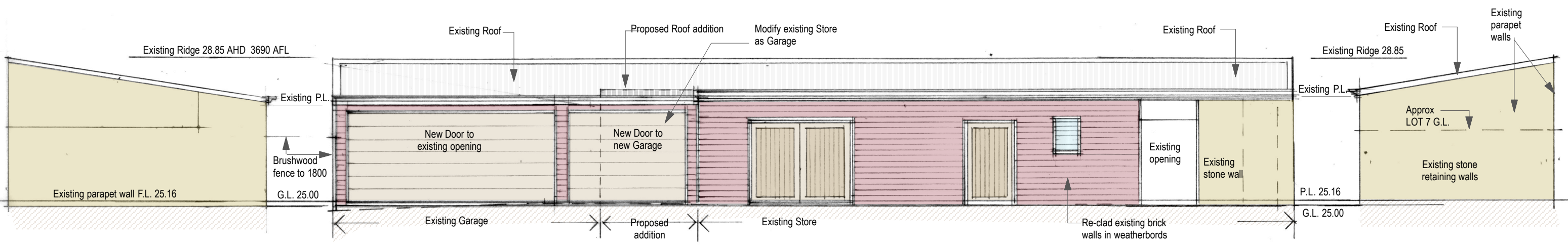
**TEMPLATE**  
**B99 vehicle**  
**6.3m radius turning**

**Wide opening Garage**  
**Doors to allow**  
**greater flexibility**  
**in turning**

**NOTE:**  
**Template created for**  
**2 action turning**  
**(3 action turning**  
**requires less paving)**



**PLAN 1:100**  
**CAR PARKING & TURNING TEMPLATE**



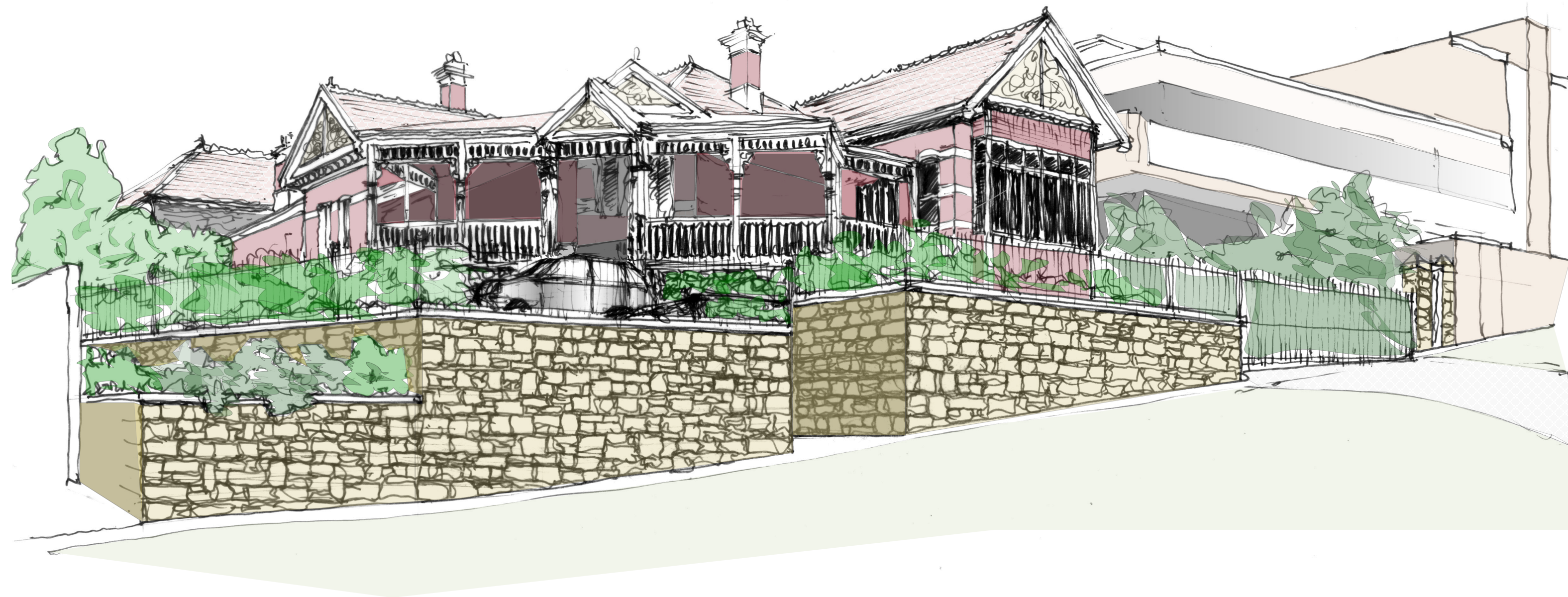
**SOUTH**  
Existing

**EAST**  
Proposed Addition to Existing

**NORTH**  
Existing

# ELEVATIONS 1:100

## GARAGE & STORE



**PERSPECTIVE 1:100**  
**SOUTH EAST CORNER OF LOT**

GERARD McCANN ARCHITECT

301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M: 0419 947 890 E: gmccann@inet.net.au

SMITH

CLIENT

REAR ADDITION &  
ALTERATIONS  
PHASE 2  
PROJECT

'LAKESIDE'  
12 THE ESPLANADE  
PEPPERMINT GROVE  
LOCATION

PERSPECTIVE  
SOUTH EAST CORNER  
DRAWING

SCALE  
DATE  
DRAWN

1:100 @A3  
25 JULY 2022  
GMCC

21-746 PA12



**PERSPECTIVE 1:100**  
**NORTH EAST CORNER OF LOT**

GERARD McCANN ARCHITECT

301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M: 0419 947 890 E: gmccann@inet.net.au

SMITH

CLIENT

REAR ADDITION &  
ALTERATIONS  
PHASE 2  
PROJECT

'LAKESIDE'  
12 THE ESPLANADE  
PEPPERMINT GROVE  
LOCATION

PERSPECTIVE  
NORTH EAST CORNER  
DRAWING

SCALE  
DATE  
DRAWN

1:100 @A3  
27 JULY 2022  
GMCC

21-746 PA13



## **Ordinary Council Meeting**

### **8.3.1 – List of Accounts – July 22**

## Accounts Paid - July 2022

Payment / Invoice	Date Description	Amount
<b>EFT Payment</b>		
<b>EFT Payment - EFT00476</b>		
<b>109 - Professional PC Support Pty Ltd (PPS)</b>		
22343M	15/06/22 Agreement Managed Svcs - July 2022	5,653.82
	<b>Total 109</b>	<b>5,653.82</b>
<b>162 - Western Metropolitan Regional Council</b>		
M-22069324	15/06/22 WMRC - MSW General Waste	4,816.61
INV-81556	16/06/22 Printing waste calendars A5 x 750 2021-22	1,803.51
	<b>Total 162</b>	<b>6,620.12</b>
<b>21 - Construction Training Fund (CTF)</b>		
INV-144795- C5X0Q3	17/06/22 BA 2021/00018 14 Keane St	30,784.98
	<b>Total 21</b>	<b>30,784.98</b>
<b>2414 - Open Systems Technology Pty Ltd (Council First)</b>		
SI007159	23/06/22 Microsoft 365 office/azure - July 2022	1,288.34
SI007167	29/06/22 Avepoint Cloud Backup - June 2022	111.38
SI007168	29/06/22 Jet Reports Subscription - 23/05-26/06/22	374.00
SI007169	29/06/22 Antivirus Monthly Fee (27 users) - May & June 2022	186.58
SI007173	01/07/22 Propertywise Fee increase - 28/06-27/09/22	2,816.29
SI007174	01/07/22 Council First On Line Monthly Sub	17,636.55
	<b>Total 2414</b>	<b>22,413.14</b>
<b>3013 - Heritage Tree Surgeons</b>		
76444	05/07/22 Hurstford Close - various works	2,420.00
	<b>Total 3013</b>	<b>2,420.00</b>
<b>3050 - ENVIRO SWEEP PTY LTD (EWCS)</b>		
98919	10/06/22 Contract road sweeping FY21/22 (via WALGA eQuote)	1,375.00
	<b>Total 3050</b>	<b>1,375.00</b>
<b>3051 - TEMPTATIONS CATERING</b>		
E27398	10/05/22 ABF/OCM Council Meetings Catering 2021-2022	459.36
E27470	14/06/22 ABF/OCM Council Meetings Catering 2021-2022	459.36
E27478	28/06/22 ABF/OCM Council Meetings Catering 2021-2022	393.60
	<b>Total 3051</b>	<b>1,312.32</b>
<b>3056 - Baileys Fertilisers (AKC Pty Ltd)</b>		
30582	10/06/22 Horticultural supplies	514.80
	<b>Total 3056</b>	<b>514.80</b>
<b>3071 - LOCAL GOVERNMENT PROFESSIONALS WA</b>		
32724	16/06/22 Advertising for Finance/ Admin Officer	165.00
	<b>Total 3071</b>	<b>165.00</b>
<b>3124 - WA TREASURY CORPORATION</b>		
30JUNE2022/ 49731-41	30/06/22 Government Guarantee Fee - 30/06/22	2,418.28
	<b>Total 3124</b>	<b>2,418.28</b>
<b>3129 - J&amp;V EARTHMOVING CONTRACTORS</b>		
60044	19/06/22 Irvine St ROW re-grade to fix drainage issue	2,732.40
	<b>Total 3129</b>	<b>2,732.40</b>
<b>3134 - Sunny Sign Company Pty Ltd</b>		
479907	13/06/22 Parking signs	288.75
	<b>Total 3134</b>	<b>288.75</b>
<b>3135 - Envisionware Pty Ltd</b>		
INV-AU-5502	23/03/22 Annual Renewal - exp 30 April 2023	4,142.89



## Accounts Paid - July 2022

Payment / Invoice	Date Description	Amount
INV-AU-5610	30/06/22 Annual Renewal - exp 30 June 2023	1,443.75
	<b>Total 3135</b>	<b>5,586.64</b>
<b>3191 - COTTESLOE PEST CONTROL</b>		
445425	27/06/22 Crossland Ct paving ant control	330.00
	<b>Total 3191</b>	<b>330.00</b>
<b>3224 - ACTION LOCK SERVICE</b>		
1061666	01/06/22 Keanes Point retractable bollard locks	208.00
	<b>Total 3224</b>	<b>208.00</b>
<b>3241 - Fire Shield Services</b>		
INV25962 PO02803	01/07/22 Fire Panel Annual Inspection	2,402.40
	<b>Total 3241</b>	<b>2,402.40</b>
<b>3273 - APACE AID (INC.)</b>		
13000	22/06/22 WESROC NPSS trees	262.50
	<b>Total 3273</b>	<b>262.50</b>
<b>3301 - PAPERBARK TECHNOLOGIES PTY LTD</b>		
00006866	08/06/22 Additional park inspections - Audit 2022	1,605.00
00006776	02/05/22 Annual VTA 2022 (29 x trees)	2,695.00
	<b>Total 3301</b>	<b>4,300.00</b>
<b>3357 - Fasta Couriers &amp; Taxi Trucks</b>		
266680	15/06/22 Courier for Council Agenda Subiaco - 10/06/22	42.72
	<b>Total 3357</b>	<b>42.72</b>
<b>340 - TOWN OF COTTESLOE</b>		
13265	30/06/22 2021-22 Q1 & Q2 project costs	21,706.09
13667	28/06/22 Health Svcs - 01.04.22 - 30.06.22	2,351.25
13668	28/06/22 Ranger Svcs - 01.04.22-30.06.22	7,735.00
	<b>Total 340</b>	<b>31,792.34</b>
<b>3405 - PORTER CONSULTING ENGINEERS</b>		
00022429	24/06/22 Bay View / Keane parking design	4,200.63
	<b>Total 3405</b>	<b>4,200.63</b>
<b>3423 - COMMERCIAL &amp; RESIDENTIAL CARPENTERS</b>		
202231	02/06/22 Replace Depot polycarbonate roof sheets	1,273.80
	<b>Total 3423</b>	<b>1,273.80</b>
<b>3431 - Salary Packaging Australia Pty Ltd (SPA)</b>		
PJ000693	30/06/22 FORTNIGHT 2022-27 - From Payroll	358.35
27062022	27/06/22 Novated DB 27062022	10.54
	<b>Total 3431</b>	<b>368.89</b>
<b>3436 - Sports Surf Technology</b>		
INV-3450	23/06/22 Groundwater monitoring report	1,562.00
	<b>Total 3436</b>	<b>1,562.00</b>
<b>3550 - Connect Call Centre Services</b>		
00111455	15/06/22 Overcalls fee contract CA0435 - May 2022	60.06
	<b>Total 3550</b>	<b>60.06</b>
<b>3579 - PENNY ASKIN E0003</b>		
220706 REIMBURSEMENT	06/07/22 220706 Reimbursement PA - Cultural Awareness	15.00
	<b>Total 3579</b>	<b>15.00</b>
<b>3593 - Dell Australia Pty Ltd</b>		
2410979142	16/06/22 4xDell Optiplex 7000 Micro - Core i5 / 16GB RAM / 256GB SSD	4,312.00
	<b>Total 3593</b>	<b>4,312.00</b>

## Accounts Paid - July 2022

Payment / Invoice	Date Description	Amount
<b>3604 - Officeworks</b>		
601515404	28/06/22 Uni-Ball Air Micro Rollerball Pen Black 4 pack	246.48
601198940	09/06/22 A3 box of photocopy paper	141.44
	<b>Total 3604</b>	<b>387.92</b>
<b>3621 - QTM PTY LTD</b>		
INV-24723	16/06/22 Solomon St / Johnston St TMP	1,104.25
	<b>Total 3621</b>	<b>1,104.25</b>
<b>3660 - Iconic Property Services</b>		
PSI021455	21/06/22 Shire Office Consumables	795.16
	<b>Total 3660</b>	<b>795.16</b>
<b>3709 - Robert Young E219</b>		
220629 REIMBURSEMENT	29/06/22 Fuel - Reimbursement R Young	134.04
	<b>Total 3709</b>	<b>134.04</b>
<b>3760 - Jascon Solutions Pty Ltd t/as Take Control Bookk</b>		
INV-1819	22/06/22 May 2022 Monthly Financial Statements	440.00
	<b>Total 3760</b>	<b>440.00</b>
<b>3786 - Profounder Turfmaster Pty Ltd</b>		
INV-0545	02/06/22 Keanes Point turf repairs	8,074.00
	<b>Total 3786</b>	<b>8,074.00</b>
<b>3795 - Solmec Consultants</b>		
22-736-01	05/07/22 HVAC Upgrade	7,062.00
	<b>Total 3795</b>	<b>7,062.00</b>
<b>3832 - Forms Express Pty Ltd</b>		
240606	01/07/22 Printing and delivery of Rates Notices as per quote	984.50
	<b>Total 3832</b>	<b>984.50</b>
<b>3847 - Clarke Builders Pty Ltd</b>		
220629 REFUND CLARKE	29/06/22 REFUND CLARKE BUILDERS P/L - Bond Footpath BA2022/00007	2,500.00
	<b>Total 3847</b>	<b>2,500.00</b>
<b>3848 - Fred Roberts</b>		
220628 REIMBURSEMENT	28/06/22 Reimbursement Fred Roberts - Deed of Release	500.00
	<b>Total 3848</b>	<b>500.00</b>
<b>428 - TOWN OF CLAREMONT</b>		
SI009523	17/06/22 Generic regional traffic management plans (AusQ)	411.40
	<b>Total 428</b>	<b>411.40</b>
<b>448 - LANDGATE</b>		
1190417	01/06/22 Copy of Certificate of Title Ref: 63599270 17/05/22	27.20
	<b>Total 448</b>	<b>27.20</b>
<b>693 - Clean City Group Pty Ltd</b>		
1395	20/06/22 Bin return service	825.00
1396	20/06/22 Waste calendar FY22.23 deliveries	302.50
1414	27/06/22 Bin return service	825.00
	<b>Total 693</b>	<b>1,952.50</b>
<b>883 - Fuji Xerox Business Innovations Australia PtyLtd</b>		
QC751216	08/06/22 Lease AP6C5571-4T - 01/07-01/10/2022	744.70
QC751316	08/06/22 Lease S523624 AP6C3371-4 - 02/07-01/10/2022	567.60
QC751416	08/06/22 Lease S523608 AP6C3371-4 01/07-01/10/2022	567.60
	<b>Total 883</b>	<b>1,879.90</b>
	<b>Total EFT00476</b>	<b>159,668.46</b>

## Accounts Paid - July 2022

Payment / Invoice	Date Description	Amount
<b>EFT Payment - EFT00477</b>		
<b>1 - Australia Post</b>		
1011653918	03/07/22 mail and postage - June 2022	3.27
	<b>Total 1</b>	<b>3.27</b>
<b>162 - Western Metropolitan Regional Council</b>		
M-2207124	30/06/22 Tip Passes Waste -15-30 June 2022	3,877.92
INV-81565	30/06/22 Verge Valet Waste -15-30 June 2022	2,777.87
	<b>Total 162</b>	<b>6,655.79</b>
<b>2414 - Open Systems Technology Pty Ltd (Council First)</b>		
SI007191	11/07/22 Microsoft Azure - June 2022	763.37
SI007192	11/07/22 Avepoint Cloud Backup - July 2022	111.38
SI007193	11/07/22 Jet reports subsription - 23/06/22 to 22/07/2022	374.00
SI007194	11/07/22 Antivirus monthly fee - July 2022	93.29
	<b>Total 2414</b>	<b>1,342.04</b>
<b>300 - Suez Recovery &amp; Recycling (Perth) Pty Ltd T/AS Veolia</b>		
166279	30/06/22 Residential Waste Services	15,244.92
49094036	30/06/22 Depot Waste - Skip Bin 4.5MT dry waste	361.99
	<b>Total 300</b>	<b>15,606.91</b>
<b>3002 - Winc Australia Pty Ltd</b>		
9038781075	21/03/22 stationery as ordered online	210.29
9039312826	23/05/22 stationery ordered online	377.76
9039748463	12/07/22 Stationery as selected online	71.85
9039746081	11/07/22 Stationery as selected online	216.45
	<b>Total 3002</b>	<b>876.35</b>
<b>3005 - Acoustiguide</b>		
20220033	08/07/22 Annual app maintenance & hosting 1/07/22-30/06/23	1,320.00
	<b>Total 3005</b>	<b>1,320.00</b>
<b>3008 - CIVICA PTY LTD</b>		
C/LA025242	17/05/22 SpydusManager Amendment#2 of INT-CR0135 01/07/22 to 30/06/23	3,171.30
	<b>Total 3008</b>	<b>3,171.30</b>
<b>3027 - PORT PRINTING</b>		
INV080093	13/07/22 Dog infringement books	598.95
	<b>Total 3027</b>	<b>598.95</b>
<b>3057 - CTI Couriers</b>		
CISC4494246	30/06/22 Library Courier - June 2022	378.02
	<b>Total 3057</b>	<b>378.02</b>
<b>3061 - DEPT OF TRANSPORT - DOI REGO SEARCHES</b>		
8027906	06/07/22 DOI Fees 2x searches - June 2022	8.20
	<b>Total 3061</b>	<b>8.20</b>
<b>3071 - LOCAL GOVERNMENT PROFESSIONALS WA</b>		
27104	01/07/22 LG Pro membership FY22/23 D.Norgard	531.00
	<b>Total 3071</b>	<b>531.00</b>
<b>3170 - AFGRI EQUIPMENT AUSTRALIA PTY LTD</b>		
2582764	30/06/22 John Deere Z710 idler pulley	56.60
	<b>Total 3170</b>	<b>56.60</b>
<b>3286 - ThinkProject Australia Pty.Ltd.</b>		
RSL-18835	05/07/22 RAMM - annual fee	7,297.72

## Accounts Paid - July 2022

Payment / Invoice	Date Description	Amount
<b>Total 3286</b>		<b>7,297.72</b>
<b>3357 - Fasta Couriers &amp; Taxi Trucks</b>		
267448	30/06/22 Councillor courier agenda to Subiaco 24/06/222	60.82
<b>Total 3357</b>		<b>60.82</b>
<b>340 - TOWN OF COTTESLOE</b>		
13682	30/06/22 2021-23 Q3 &Q4 Project costs Cottesloe Village Plan	15,371.38
<b>Total 340</b>		<b>15,371.38</b>
<b>3431 - Salary Packaging Australia Pty Ltd (SPA)</b>		
PJ000695	14/07/22 FORTNIGHT 2023- 1 - From Payroll	358.35
11072022	11/07/22 Novated DB 11072022	10.54
<b>Total 3431</b>		<b>368.89</b>
<b>3436 - Sports Surf Technology</b>		
INV-3478	06/07/22 Groundwater monitoring and DWER reporting	577.50
<b>Total 3436</b>		<b>577.50</b>
<b>3609 - JTAGZ PTY LTD</b>		
00023276	08/07/22 Animal tags expiry Oct 31st 2023	249.70
<b>Total 3609</b>		<b>249.70</b>
<b>3613 - QUADIENT NEOPOST FINANCE AUSTRALIA PTY LTD</b>		
2022.12782	01/07/22 DS-35 Inserter No260601 - July 2022	220.00
<b>Total 3613</b>		<b>220.00</b>
<b>3735 - Vocus Ltd</b>		
P856771	01/05/22 Council Site A wifi - 01-31 05/22	603.90
P856191	01/05/22 Library Site A WIFI - May 2022	526.90
P881508	01/07/22 Council Site A WIFI - July 2022	603.90
81094-040722	04/07/22 Yealink phones split - June 2022	592.02
<b>Total 3735</b>		<b>2,326.72</b>
<b>3764 - Waterlogic Australia Pty.Ltd.</b>		
CD-3352565	30/06/22 water cooler - instal and services	217.87
<b>Total 3764</b>		<b>217.87</b>
<b>3786 - Profounder Turfmaster Pty Ltd</b>		
INV-0586	30/06/22 Mowing - Manners Hill Park	2,310.00
<b>Total 3786</b>		<b>2,310.00</b>
<b>3832 - Forms Express Pty Ltd</b>		
240804	01/07/22 Printing and delivery of Rates Notices as per quote	1,147.84
<b>Total 3832</b>		<b>1,147.84</b>
<b>3840 - Ultimate Additions Pty Ltd T/AS One Stop Patio Shop</b>		
30860-3	30/06/22 CAPEX Depot shade structure	8,700.00
<b>Total 3840</b>		<b>8,700.00</b>
<b>3849 - Michele Dolin</b>		
REFUND M DOLIN 220712	12/07/22 REFUND M DOLIN 220712 - dog sterilisation	150.00
<b>Total 3849</b>		<b>150.00</b>
<b>3850 - Lachlan Roberts</b>		
REFUND L ROBERTS 220720	20/07/22 REFUND L ROBERTS 220720	2,500.00
<b>Total 3850</b>		<b>2,500.00</b>
<b>3851 - Perth Better Homes</b>		
220720 PERTH BETTER HOMES	20/07/22 220720 Refund PERTH BETTER HOMES DA2022/00025	47.00

## Accounts Paid - July 2022

Payment / Invoice	Date Description	Amount	
	<b>Total 3851</b>	<b>47.00</b>	
<b>3852 - Mong Pham</b>			
220720 REFUND MONG PHAM	20/07/22 220720 REFUND MONG PHAM BA 2022/00031	2,500.00	
	<b>Total 3852</b>	<b>2,500.00</b>	
<b>448 - LANDGATE</b>			
1197417	01/07/22 Copy of Survey trans#70386077 03/06/22	27.20	
	<b>Total 448</b>	<b>27.20</b>	
<b>483 - ROYAL FRESHWATER BAY YACHT CLUB</b>			
2533	10/03/22 Staff Xmas Part Deposit	500.00	
	<b>Total 483</b>	<b>500.00</b>	
<b>52 - Iron Mountain Australia Group Pty Ltd</b>			
AUD107356	30/06/22 Storage Business Ctn - 01/07/22-31/07/22	14.29	
	<b>Total 52</b>	<b>14.29</b>	
<b>693 - Clean City Group Pty Ltd</b>			
1415 PO02461	30/06/22 Graffiti removal - 01/06/2022	671.00	
INV-01420	08/07/22 Residential Waste - Bin Return Service	825.00	
PO02819			
INV-01416	30/06/22 Street signs repairs - various	962.50	
PO02642			
INV-1421 PO02819	11/07/22 Residential Waste - Bin Return Service	825.00	
	<b>Total 693</b>	<b>3,283.50</b>	
<b>697 - LGIS WA</b>			
100-148178	08/07/22 Property 100-PEPPE Insurance 30/06/2022-30/06/2023	61,486.52	
CR/ADJ NOTE 100- 147746	04/07/22 Property CR/Adj Note 100-147746 apply to invoice 100- 148178	10,234.40	
	<b>Total 697</b>	<b>51,252.12</b>	
<b>883 - Fuji Xerox Business Innovations Australia PtyLtd</b>			
CV027638	30/06/22 AP7C6673-T Ser.250981 Impressions 01/04/-30/06/2022	1,552.47	
QD704112	15/06/22 Lease Agreemnt. #A5000D7041 AP7C6673-T Ser.250981 15/07 to 14/10/22	1,301.30	
	<b>Total 883</b>	<b>2,853.77</b>	
	<b>Total EFT00477</b>	<b>132,524.75</b>	<b>EFT Sub-total</b>
	<b>Total - EFT Payment</b>	<b>292,193.21</b>	<b>292,193.21</b>
<b>Other - DD00335</b>			
<b>123 - Synergy</b>			
2001588735	10/06/22 Library split 13 May to 10 Jun 2022	2,557.92	
	<b>Total 123</b>	<b>2,557.92</b>	
	<b>Total DD00335</b>	<b>2,557.92</b>	
<b>Other - DD00336</b>			
<b>3377 - WESTNET PTY LTD T/AS inet</b>			
132466964	17/06/22 Web Hosting - June 2022	15.99	
	<b>Total 3377</b>	<b>15.99</b>	
	<b>Total DD00336</b>	<b>15.99</b>	
<b>Other - DD00337</b>			
<b>123 - Synergy</b>			
2005579612	04/07/22 Streetlights - 25 May to 24 Jun 2022	3,397.91	
	<b>Total 123</b>	<b>3,397.91</b>	

## Accounts Paid - July 2022

Payment / Invoice	Date Description	Amount	
<b>Total DD00337</b>		<b>3,397.91</b>	
<b>Other - DD00338</b>			
<b>123 - Synergy</b>			
2053561977	04/07/22 Streetlights (2) 28 May to 27 Jun 2022	36.43	
<b>Total 123</b>		<b>36.43</b>	
<b>Total DD00338</b>		<b>36.43</b>	<b>DD Sub-total</b>
<b>Direct Debit Total</b>			<b>6,008.25</b>
<b>Other - CCP00031</b>			
<b>3084 - Shire Credit Cards -NAB Visa flexi purchase</b>			
FEES VISA - JUNE 2022 I21785222180	29/06/22 Fees Visa - 29 June 2022	110.00	
DEPOT RY 28 MAY TO 28 JUN 2022	28/06/22 Depot RY 28 May to 28 Jun 2022	582.41	
DEPOT TW 28 MAY TO 28 JUN	28/06/22 Depot TW 28 May to 28 Jun 2022	527.61	
MCCS MC 28 MAY TO 28 JUN 2022	28/06/22 MCCS MC 28 May to 28 Jun 2022	2,100.32	
MIS DN 28 MAY TO 28 JUN 2022	28/06/22 MIS DN 28 May to 28 Jun 2022	4,735.45	
MDS JG VISA 28 MAY TO 28 JUNE	28/06/22 Fees MDS JG VISA 28 MAY TO 28 JUNE 2022	6.82	
CEO DB VISA 28 MAY TO 28 JUNE	28/06/22 CEO DB Visa 28 May to 28 June 2022	1,067.28	
ALS LH VISA 28 MAY TO 28 JUNE	28/06/22 ALS LH Visa 28 May to 28 June 2022	1,889.47	
CLS SF VISA 28 MAY TO 28 JUNE	28/06/22 CLS SF Visa 28 May to 28 June 2022	1,388.81	
<b>Total 3084</b>		<b>12,408.17</b>	
<b>Total CCP00031</b>		<b>12,408.17</b>	<b>C/C Sub-total</b>
<b>Credit Card Total</b>			<b>12,408.17</b>
<b>Other - 454</b>			
<b>3101 - PETTY CASH (Shire &amp; Library)</b>			
SHIRE PETTY CASH - JULY 2022	28/07/22 Shire Petty Cash - July 2022	191.60	
<b>Total 3101</b>		<b>191.60</b>	
<b>Total 454</b>		<b>191.60</b>	<b>CHQ Sub-total</b>
<b>CHQ Total</b>			<b>191.60</b>
<b>Total Accounts Paid - July 2022</b>			<b>310,801.23</b>



## **Ordinary Council Meeting**

### **8.3.2 – Interim Financial Statements for period ended 30 June 2022**



**INTERIM MONTHLY FINANCIAL REPORT**  
**(Containing the Statement of Financial Activity)**  
**For the period ending 30 June 2022**

**LOCAL GOVERNMENT ACT 1995**  
**LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996**

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**STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD ENDED 30 JUNE 2022**

**BY NATURE OR TYPE**

	Ref Note	Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
		\$	\$	\$	\$	%	
<b>Opening funding surplus / (deficit)</b>	1(c)	83,169	83,169	<b>78,475</b>	(4,694)	(5.64%)	
<b>Revenue from operating activities</b>							
Rates	6	3,419,404	3,419,404	<b>3,437,101</b>	17,697	0.52%	
Operating grants, subsidies and contributions	13	1,276,524	1,276,524	<b>1,283,429</b>	6,905	0.54%	
Fees and charges		325,698	325,698	<b>331,993</b>	6,295	1.93%	
Interest earnings		35,200	35,200	<b>21,261</b>	(13,939)	(39.60%)	▼
Other revenue		7,442	7,442	<b>203</b>	(7,239)	(97.27%)	▼
Profit on disposal of assets	7	0	0	<b>21,165</b>	21,165	0.00%	▲
		<b>5,064,268</b>	<b>5,064,268</b>	<b>5,095,152</b>	30,884	0.61%	
<b>Expenditure from operating activities</b>							
Employee costs		(2,133,401)	(2,133,401)	<b>(2,300,514)</b>	(167,113)	(7.83%)	▼
Materials and contracts		(2,017,916)	(1,967,916)	<b>(1,782,260)</b>	185,656	9.43%	▲
Utility charges		(94,650)	(94,650)	<b>(99,457)</b>	(4,807)	(5.08%)	
Depreciation on non-current assets		(582,290)	(582,920)	<b>(572,960)</b>	9,960	1.71%	
Interest expenses		(54,964)	(54,964)	<b>(54,375)</b>	589	1.07%	
Insurance expenses		(104,134)	(104,134)	<b>(97,432)</b>	6,702	6.44%	▲
Other expenditure		(109,732)	(109,732)	<b>(99,359)</b>	10,373	9.45%	▲
Loss on disposal of assets	7	(20,504)	(20,505)	<b>0</b>	20,505	100.00%	▲
		<b>(5,117,591)</b>	<b>(5,068,222)</b>	<b>(5,006,357)</b>	61,865	1.22%	
Non-cash amounts excluded from operating activities	1(a)	602,794	603,425	<b>551,795</b>	(51,630)	(8.56%)	▼
<b>Amount attributable to operating activities</b>		<b>549,471</b>	<b>599,471</b>	<b>640,590</b>	41,119	6.86%	
<b>Investing activities</b>							
Proceeds from non-operating grants, subsidies and contributions	14	177,734	187,493	<b>187,493</b>	0	0.00%	
Proceeds from disposal of assets	7	50,000	96,000	<b>96,020</b>	20	0.02%	
Proceeds from financial assets at amortised cost - self supporting loans	9	6,124	0	<b>0</b>	0	0.00%	
Payments for financial assets at amortised cost - self supporting loans	9	(25,000)	(25,000)	<b>0</b>	25,000	100.00%	▲
Payments for property, plant and equipment	8	(890,750)	(650,000)	<b>(363,238)</b>	286,762	44.12%	▲
		<b>(681,892)</b>	<b>(391,507)</b>	<b>(79,725)</b>	311,782	79.64%	
Non-cash amounts excluded from investing activities	1(b)	0	0	<b>0</b>	0	0.00%	
<b>Amount attributable to investing activities</b>		<b>(681,892)</b>	<b>(391,507)</b>	<b>(79,725)</b>	311,782		
<b>Financing Activities</b>							
Proceeds from new debentures	9	25,000	0	<b>0</b>	0	0.00%	
Transfer from reserves	11	248,000	0	<b>0</b>	0	0.00%	
Repayment of debentures	9	(40,077)	(33,952)	<b>(33,952)</b>	0	0.00%	
Transfer to reserves	11	(172,930)	(170,000)	<b>(380,442)</b>	(210,442)	(123.79%)	▼
<b>Amount attributable to financing activities</b>		<b>59,993</b>	<b>(203,952)</b>	<b>(414,394)</b>	(210,442)		
<b>Closing funding surplus / (deficit)</b>	1(c)	<b>10,741</b>	<b>87,181</b>	<b>224,946</b>			

**KEY INFORMATION**

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold.

Refer to Note 16 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

(a) Non-cash items excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with Financial Management Regulation 32.

	Notes	Adopted Budget	YTD Actual (b)
		\$	\$
<b>Non-cash items excluded from operating activities</b>			
<b>Adjustments to operating activities</b>			
Less: Profit on asset disposals	7	0	(21,165)
Add: Loss on asset disposals	7	20,504	0
Add: Depreciation on assets		582,290	572,960
<b>Total non-cash items excluded from operating activities</b>		<b>602,794</b>	<b>551,795</b>

(b) Adjustments to net current assets in the Statement of Financial Activity

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation* 32 to agree to the surplus/(deficit) after imposition of general rates.

		Last Year Closing 30 June 2021	Year to Date 30 June 2022
<b>Adjustments to net current assets</b>			
Less: Reserves - restricted cash	11	(1,290,762)	(1,671,204)
Less: Profit on Disposal		30,473	(21,165)
Add: Borrowings	9	34,439	35,782
Add: Provisions - employee	12	181,725	219,211
Add: Lease liabilities	10	33,762	33,762
Add: Less Provision Reserve		(106,384)	(156,749)
<b>Total adjustments to net current assets</b>		<b>(1,116,747)</b>	<b>(1,560,363)</b>

(c) Net current assets used in the Statement of Financial Activity

**Current assets**

Cash and cash equivalents	2	2,141,935	2,167,593
Rates receivables	3	14,092	23,657
Receivables	3	17,603	144,040

**Less: Current liabilities**

Payables	5	(728,482)	(260,186)
Borrowings	9	(34,439)	(36,822)
Lease liabilities	10	(33,762)	(33,762)
Provisions	12	(181,725)	(219,211)
<b>Less: Total adjustments to net current assets</b>	1(b)	<b>(1,116,747)</b>	<b>(1,560,363)</b>

**Closing funding surplus / (deficit)**

**78,475**      **224,946**

**CURRENT AND NON-CURRENT CLASSIFICATION**

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

Liabilities under transfers to acquire or construct non-financial assets to be controlled by the entity

**STATEMENT OF FINANCIAL POSITION  
FOR THE PERIOD ENDED 30 JUNE 2022**

	NOTE	2022 \$	2021 \$
<b>CURRENT ASSETS</b>			
Cash and cash equivalents	2	2,167,593	2,141,935
Trade and other receivables	3	167,697	31,694
<b>TOTAL CURRENT ASSETS</b>		<b>2,335,290</b>	<b>2,173,629</b>
<b>NON-CURRENT ASSETS</b>			
Trade and other receivables	3	98,504	98,504
Other financial assets	5	0	17,517
Investment in associate		121,996	120,045
Property, plant and equipment		15,848,408	15,174,804
Infrastructure		14,566,991	14,713,658
Right-of-use assets		60,916	60,916
<b>TOTAL NON-CURRENT ASSETS</b>		<b>30,696,815</b>	<b>30,185,444</b>
<b>TOTAL ASSETS</b>		<b>33,032,105</b>	<b>32,359,073</b>
<b>CURRENT LIABILITIES</b>			
Trade and other payables	5	260,186	728,480
Lease liabilities	10	33,762	33,762
Borrowings	9	36,822	34,439
Employee related provisions	12	219,211	181,724
<b>TOTAL CURRENT LIABILITIES</b>		<b>549,981</b>	<b>978,405</b>
<b>NON-CURRENT LIABILITIES</b>			
Lease liabilities	13(a)	65,237	31,475
Borrowings	14(a)	620,931	691,029
Employee related provisions	15	30,036	26,919
<b>TOTAL NON-CURRENT LIABILITIES</b>		<b>716,204</b>	<b>749,423</b>
<b>TOTAL LIABILITIES</b>		<b>1,266,185</b>	<b>1,727,828</b>
<b>NET ASSETS</b>		<b>31,765,920</b>	<b>30,631,245</b>
<b>EQUITY</b>			
Retained surplus		9,796,971	9,841,269
Reserves - cash backed	5	1,671,204	1,290,763
Revaluation surplus	11	20,297,745	19,499,213
<b>TOTAL EQUITY</b>		<b>31,765,920</b>	<b>30,631,245</b>

This statement is to be read in conjunction with the accompanying notes.

## KEY TERMS AND DESCRIPTIONS

### FOR THE PERIOD ENDED 30 JUNE 2022

#### REVENUE

##### RATES

All rates levied under the *Local Government Act 1995*. Includes general, differential, specified area rates, minimum rates, interim rates, back rates, ex-gratia rates, less discounts and concessions offered. Exclude administration fees, interest on instalments, interest on arrears, service charges and sewerage rates.

##### OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Refers to all amounts received as grants, subsidies and contributions that are not non-operating grants.

##### NON-OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Amounts received specifically for the acquisition, construction of new or the upgrading of identifiable non financial assets paid to a local government, irrespective of whether these amounts are received as capital grants, subsidies, contributions or donations.

##### REVENUE FROM CONTRACTS WITH CUSTOMERS

Revenue from contracts with customers is recognised when the local government satisfies its performance obligations under the contract.

##### FEES AND CHARGES

Revenues (other than service charges) from the use of facilities and charges made for local government services, sewerage rates, rentals, hire charges, fee for service, photocopying charges, licences, sale of goods or information, fines, penalties and administration fees. Local governments may wish to disclose more detail such as rubbish collection fees, rental of property, fines and penalties, other fees and charges.

##### SERVICE CHARGES

Service charges imposed under *Division 6 of Part 6 of the Local Government Act 1995*. *Regulation 54 of the Local Government (Financial Management) Regulations 1996* identifies these as television and radio broadcasting, underground electricity and neighbourhood surveillance services. Exclude rubbish removal charges. Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

##### INTEREST EARNINGS

Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

##### OTHER REVENUE / INCOME

Other revenue, which can not be classified under the above headings, includes dividends, discounts, rebates etc.

##### PROFIT ON ASSET DISPOSAL

Excess of assets received over the net book value for assets on their disposal.

## NATURE OR TYPE DESCRIPTIONS

#### EXPENSES

##### EMPLOYEE COSTS

All costs associate with the employment of person such as salaries, wages, allowances, benefits such as vehicle and housing, superannuation, employment expenses, removal expenses, relocation expenses, worker's compensation insurance, training costs, conferences, safety expenses, medical examinations, fringe benefit tax, etc.

##### MATERIALS AND CONTRACTS

All expenditures on materials, supplies and contracts not classified under other headings. These include supply of goods and materials, legal expenses, consultancy, maintenance agreements, communication expenses, advertising expenses, membership, periodicals, publications, hire expenses, rental, leases, postage and freight etc. Local governments may wish to disclose more detail such as contract services, consultancy, information technology, rental or lease expenditures.

##### UTILITIES (GAS, ELECTRICITY, WATER, ETC.)

Expenditures made to the respective agencies for the provision of power, gas or water. Exclude expenditures incurred for the reinstatement of roadwork on behalf of these agencies.

##### INSURANCE

All insurance other than worker's compensation and health benefit insurance included as a cost of employment.

##### LOSS ON ASSET DISPOSAL

Shortfall between the value of assets received over the net book value for assets on their disposal.

##### DEPRECIATION ON NON-CURRENT ASSETS

Depreciation expense raised on all classes of assets.

##### INTEREST EXPENSES

Interest and other costs of finance paid, including costs of finance for loan debentures, overdraft accommodation and refinancing expenses.

##### OTHER EXPENDITURE

Statutory fees, taxes, allowance for impairment of assets, member's fees or State taxes. Donations and subsidies made to community groups.

Funding surplus / (deficit) Components

	Funding surplus / (deficit)			
	Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
Opening	\$83,169	\$83,169	\$78,475	-\$4,694
Closing	\$10,741	\$87,181	\$224,946	\$137,765

Cash and cash equivalents			Payables			Receivables		
	\$2,167,593	% of total		\$224,065	% Outstanding		\$167,697	% Collected
Unrestricted Cash	\$496,387	22.9%	Trade Payables	\$230,494		Rates Receivable	\$23,657	99.3%
Restricted Cash	\$1,671,206	77.1%	0 to 30 Days	\$316,018	92.8%	Trade Receivable	\$144,040	% Outstanding
			30 to 90 Days	\$24,551	7.2%	30 to 90 Days	\$3,791	5.1%
			Over 90 Days	\$112	0%	Over 90 Days	\$136,699	94.9%

Key Operating Activities

Rates Revenue			Operating Grants and Contributions			Fees and Charges		
YTD Actual	\$3,437,101	% Variance	YTD Actual	\$1,283,429.00	% Variance	YTD Actual	\$331,993	% Variance
YTD Budget	\$3,419,404	0.5%	YTD Budget	\$1,276,524.00	0.5%	YTD Budget	\$325,698	1.9%

Key Investing Activities

Proceeds on sale			Asset Acquisition			Capital Grants		
YTD Actual	\$96,020	%	YTD Actual	\$363,239	% Spent	YTD Actual	\$59,832	% Received
Adopted Budget	\$50,000	92.0%	Adopted Budget	\$890,750	(59.2%)	Adopted Budget	\$177,734	(66.3%)

Key Financing Activities

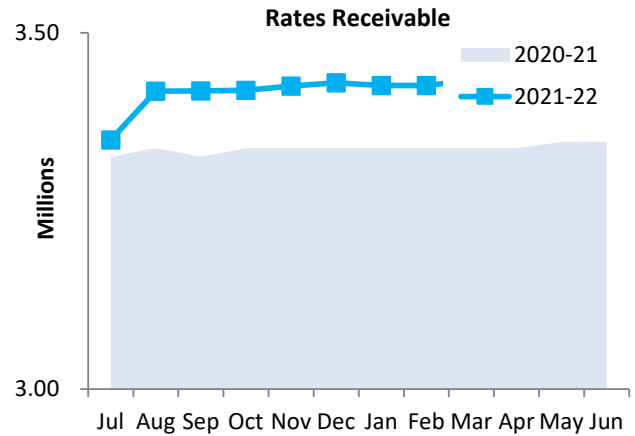
Borrowings		Reserves		Lease Liability	
Principal repayments	\$33,952	Reserves balance	\$1,671,204	Principal repayments	\$0.00
Interest expense	\$49,447	Interest earned	\$4,441.92	Interest expense	\$0.00
Principal due	\$691,516			Principal due	\$0.00

This information is to be read in conjunction with the accompanying Financial Statements and notes.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD ENDED 30 JUNE 2022**

**OPERATING ACTIVITIES  
NOTE 3  
RECEIVABLES**

Rates receivable	30 June 2021	30 Jun 2022
	\$	\$
Opening arrears previous years	14,092	14,092
Levied this year	3,345,071	3,437,101
Less - collections to date	(3,345,071)	(3,427,536)
Equals current outstanding	<b>14,092</b>	<b>23,657</b>
<b>Net rates collectable</b>	<b>14,092</b>	<b>23,657</b>
% Collected	99.6%	99.3%

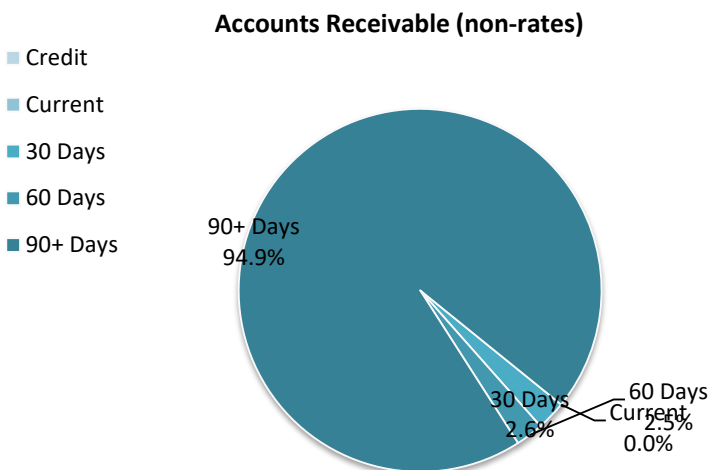


Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	0	0	3,791	3,550	136,699	144,040
Percentage	0.0%	0%	2.6%	2.5%	94.9%	
<b>Balance per trial balance</b>						
Sundry receivable			0	0	0	144,040
GST receivable			0	0	0	0
FESA Levy Clearing			0	0	0	0
<b>Total receivables general outstanding</b>						<b>144,040</b>

Amounts shown above include GST (where applicable)

**KEY INFORMATION**

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business. Receivables expected to be collected within 12 months of the end of the reporting period are classified as current assets. All other receivables are classified as non-current assets. Collectability of trade and other receivables is reviewed on an ongoing basis. Debts that are known to be uncollectible are written off when identified. An allowance for impairment of receivables is raised when there is objective evidence that they will not be collectible.

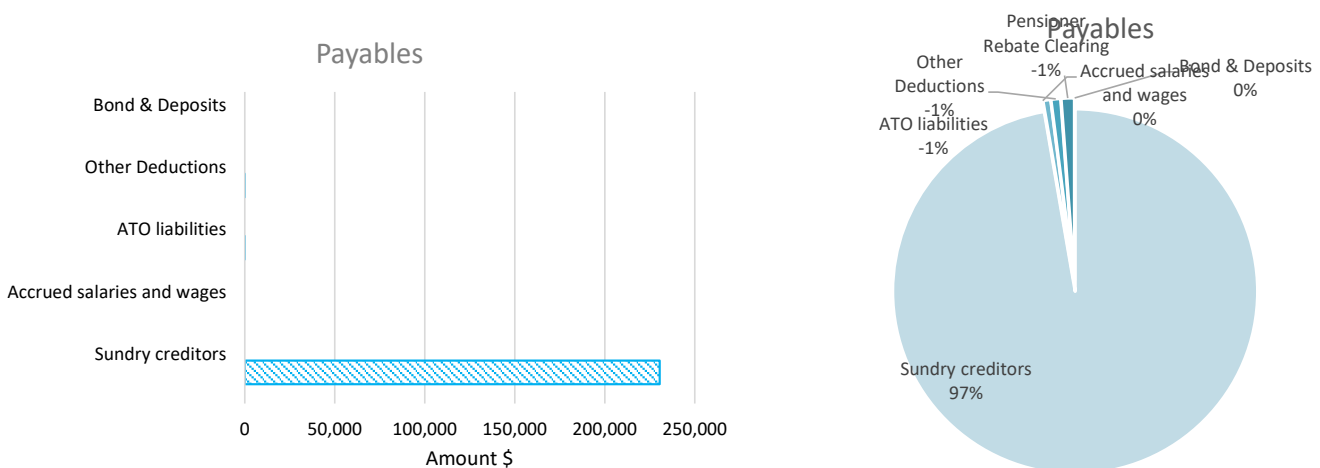
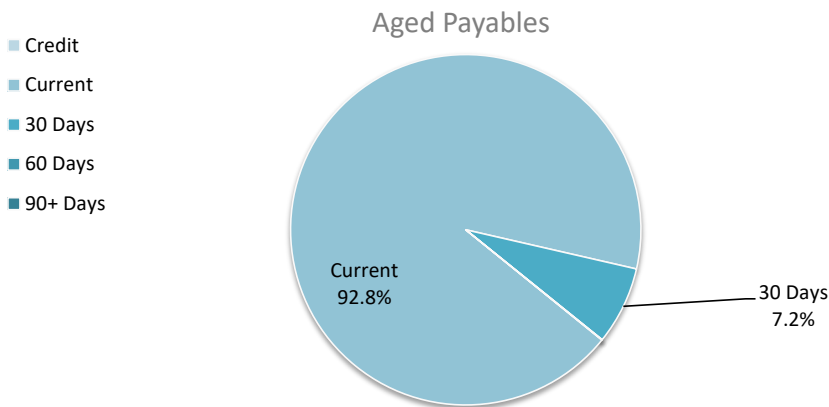


Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	316,018	24,551	0	112	340,681
Percentage	0%	92.8%	7.2%	0%	0%	
<b>Balance per trial balance</b>						
Sundry creditors			0	0	0	230,494
Accrued salaries and wages			0	0	0	0
ATO liabilities			0	0	0	(1,609)
Other Deductions			0	0	0	(2,036)
Pensioner Rebate Clearing			0	0	0	(2,784)
Bond & Deposits			0	0	0	0
<b>Total payables general outstanding</b>						<b>224,065</b>

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition.



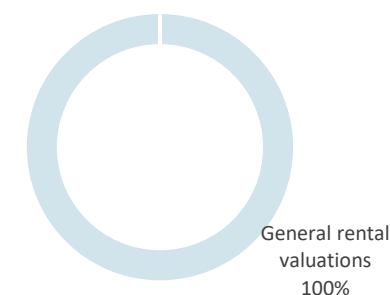
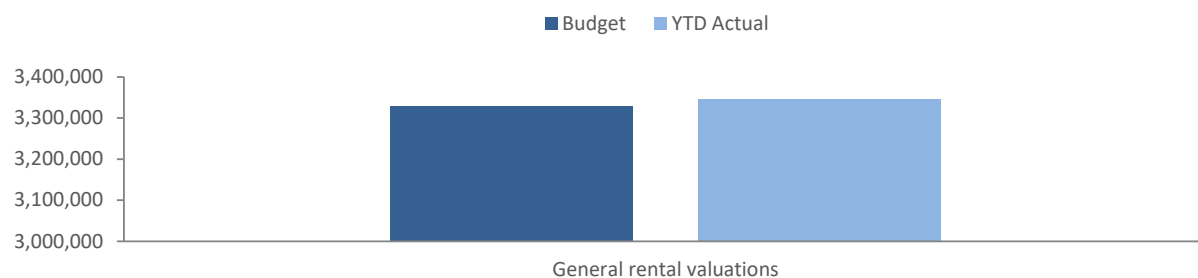
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD ENDED 30 JUNE 2022**

**OPERATING ACTIVITIES  
NOTE 6  
RATE REVENUE**

General rate revenue	Budget							YTD Actual			
	Rate in \$ (cents)	Number of Properties	Rateable Value	Rate Revenue	Interim Rate	Back Rate	Total Revenue	Rate Revenue	Interim Rates	Back Rates	Total Revenue
<b>RATE TYPE</b>				\$	\$	\$	\$	\$	\$	\$	\$
<b>Gross rental value</b>											
General rental valuations	0.0875	591	37,967,621	3,320,268	8,000	0	3,328,268	3,326,988	18,977		3,345,965
<b>Sub-Total</b>		<b>591</b>	<b>37,967,621</b>	<b>3,320,268</b>	<b>8,000</b>	<b>0</b>	<b>3,328,268</b>	<b>3,326,988</b>	<b>18,977</b>	<b>0</b>	<b>3,345,965</b>
<b>Minimum payment</b>	<b>Minimum \$</b>										
<b>Gross rental value</b>											
General rental valuations							0				0
General Rates	1,424	64	810,290	91,136	0	0	91,136	91,136	0	0	91,136
<b>Sub-total</b>		<b>64</b>	<b>810,290</b>	<b>91,136</b>	<b>0</b>	<b>0</b>	<b>91,136</b>	<b>91,136</b>	<b>0</b>	<b>0</b>	<b>91,136</b>
<b>Total general rates</b>							<b>3,419,404</b>				<b>3,437,101</b>

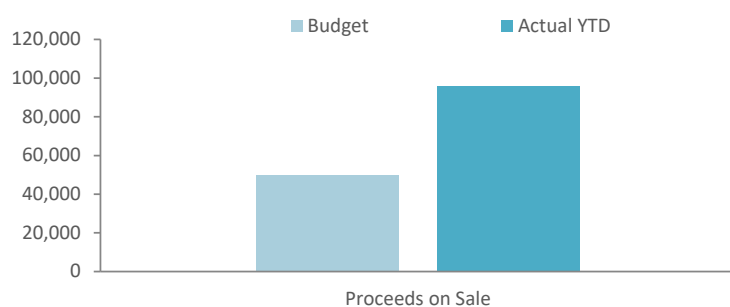
**KEY INFORMATION**

Prepaid rates are, until the taxable event for the rates has occurred, refundable at the request of the ratepayer. Rates received in advance give rise to a financial liability. On 1 July 2020 the prepaid rates were recognised as a financial asset and a related amount was recognised as a financial liability and no income was recognised. When the taxable event occurs the financial liability is extinguished and income recognised for the prepaid rates that have not been refunded.





Asset Ref.	Asset description	Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
		\$	\$	\$	\$	\$	\$	\$	\$
	<b>Plant and equipment</b>								
	Plant	70,505	50,000	0	(20,505)	74,854	96,020	21,165	0
		<b>70,505</b>	<b>50,000</b>	<b>0</b>	<b>(20,505)</b>	<b>74,854</b>	<b>96,020</b>	<b>21,165</b>	<b>0</b>



Repayments - borrowings

Information on borrowings		New Loans			Principal Repayments		Principal Outstanding		Interest Repayments	
Particulars	Loan No.	1 July 2021	Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
<b>Recreation and culture</b>										
Library Community Centre	41	725,468			33,952	33,953	691,516	691,515	49,447	49,447
		725,468	0	0	33,952	33,953	691,516	691,515	49,447	49,447
<b>Self supporting loans</b>										
<b>Recreation and culture</b>										
SSL- tennis Club	42	0		25,000		6,124		18,876		
		0	0	25,000	0	6,124	0	18,876	0	0
<b>Total</b>		725,468	0	25,000	33,952	40,077	691,516	710,391	49,447	49,447
Current borrowings		40,077					36,822			
Non-current borrowings		685,391					654,694			
		725,468					691,516			

All debenture repayments were financed by general purpose revenue.

Self supporting loans are financed by repayments from third parties.

KEY INFORMATION

All loans and borrowings are initially recognised at the fair value of the consideration received less directly attributable transaction costs. After initial recognition, interest-bearing loans and borrowings are subsequently measured at amortised cost using the effective interest method. Fees paid on the establishment of loan facilities that are yield related are included as part of the carrying amount of the loans and borrowings.

Cash backed reserve

Reserve name	Opening Balance	Budget Interest Earned	Actual Interest Earned	Budget Transfers In (+)	Actual Transfers In (+)	Budget Transfers Out (-)	Actual Transfers Out (-)	Budget Closing Balance	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Road & Drainage Reserve	444,108	30	1,528	0	100,000	(113,000)	0	331,138	545,636
Library Reserve	11,194	700	39	20,000	24,000	0	0	31,894	35,233
Staff Leave Reserve	106,383	900	366	50,000	50,000	0	0	157,283	156,749
Building & Infrastructure Reserve	642,982	1,300	2,213	100,000	100,000	(135,000)	0	609,282	745,195
Plant Replacement Reserve	20,985	0	72	0	82,000	0	0	20,985	103,057
IT Reserve	24,201	0	69	0	0	0	0	24,201	24,270
Public Art Reserve	20,934	0	83	0	20,000	0	0	20,934	41,017
Legal Costs Reserve	19,975	0	72	0	0	0	0	19,975	20,047
	<b>1,290,762</b>	<b>2,930</b>	<b>4,442</b>	<b>170,000</b>	<b>376,000</b>	<b>(248,000)</b>	<b>0</b>	<b>1,215,692</b>	<b>1,671,204</b>

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD ENDED 30 JUNE 2022**

**NOTE 15  
TRUST FUND**

Funds held at balance date which are required by legislation to be credited to the trust fund and which are not included in the financial statements are as follows:

Description	Opening Balance 1 July 2021	Amount Received	Amount Paid	Closing Balance 30 Jun 2022
	\$	\$	\$	\$
Manor Hill Bonds	3,800	8,950	(7,030)	5,720
Footpath Bond	30,500	219,200	(147,110)	102,590
LEMC Funding	51,607	0	(51,607)	0
	<b>85,907</b>	<b>228,150</b>	<b>(205,747)</b>	<b>108,310</b>



## Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022

Cardholder Name: Lance Hopkinson

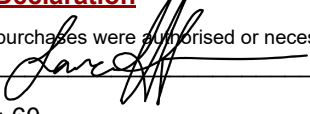



### JSKR VISA Purchasing Card (Client Expenses)

Date	Details	Approval	Receipt	Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
02 Jun 2022	Demco Software	317-3522188	Approval Req'd	✓	\$778.26
27160	129	1106	\$778.26	\$0.00	\$778.26
Purchase (USD 551.25) Demco Software event booking system (U.S. \$)					
10 Jun 2022	Zlr*all Stamps Malaga		Approval Req'd	✓	\$57.90
27250	139	1106	\$52.64	\$5.26	\$57.90
Purchase Zlr*all Stamps date stamp					
14 Jun 2022	Adobe Creative Cloud Sydney		Approval Req'd	✓	\$43.99
28545	129	1005	\$39.99	\$4.00	\$43.99
Purchase Adobe Creative Cloud Adobe Suite monthly subscription					
15 Jun 2022	Onemusic Australia Ultimo		Approval Req'd	✓	\$88.22
28545	139	1106	\$80.20	\$8.02	\$88.22
Purchase Onemusic Australia Apra licence					
15 Jun 2022	Woolworths/Cottesloe Grov Cottesloe		Approval Req'd	✓	\$12.30
28770	139	1106	\$11.18	\$1.12	\$12.30
Purchase Woolworths/Cottesloe Grov kitchen supplies WSLG tender meeting					
20 Jun 2022	Woolworths/Cottesloe Grov Cottesloe		Approval Req'd	✓	\$5.35
28770	139	1106	\$4.86	\$0.49	\$5.35
Purchase Woolworths/Cottesloe Grov JP supplies					
20 Jun 2022	Perths Own Stationery Maylands		Approval Req'd	✓	\$332.67
27250	139	1106	\$302.43	\$30.24	\$332.67
Purchase Perths Own Stationery Library covering					
21 Jun 2022	Woolworths/Cottesloe Grov Cottesloe		Approval Req'd	✓	\$9.30
28770	139	1106	\$8.45	\$0.85	\$9.30
Purchase Woolworths/Cottesloe Grov kitchen supplies					
20 Jun 2022	Zlr*all Stamps Malaga Malaga		Approval Req'd	✓	\$57.90
27250	139	1106	\$52.64	\$5.26	\$57.90
Purchase Zlr*all Stamps Malaga date stamp					
21 Jun 2022	Paymate*spun Laidley		Approval Req'd	✓	\$200.00
27160	139	1106	\$181.82	\$18.18	\$200.00
Purchase Paymate*spun Spydus network membership					
23 Jun 2022	Sp Jb Hi-Fi Online Southbank		Approval Req'd	✓	\$137.85
28473	139	1106	\$125.32	\$12.53	\$137.85
Purchase Sp Jb Hi-Fi Online Adult DVD's					
23 Jun 2022	Officeworks Bentleigh Eas		Approval Req'd	✓	\$158.91
27250	139	1106	\$144.46	\$14.45	\$158.91
Purchase Officeworks usb / adaptors					

28 Jun 2022	Account Fees		No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82
27130	129	1106	\$6.20	\$0.62	\$6.82
Account Fees Cc Fp User Fee bank charges					
<b>Total for this period:</b>					<b>\$1,889.47</b>

**Cardholder Declaration**

I declare that all purchases were authorised or necessarily incurred on behalf of the company.  
 Signature  Dated 21 / 07 / 2022  
 Employee ID: 60

**Approved By.**   
 Signature \_\_\_\_\_ Dated 21/07/2022 / \_\_\_\_\_

**On Completion**

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022  
Cardholder Name: Donald Burnett



JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
27 May 2022	Adobe Acropro Subs Sydney		Approved	<input checked="" type="checkbox"/>	\$21.99
27130	190	0403	\$19.99	\$2.00	\$21.99
Purchase Adobe Acropro Subs Adobe fee for may					
30 May 2022	Woolworths/Cottesloe Grov Cottesloe		Approved	<input checked="" type="checkbox"/>	\$6.90
28280	190	0403	\$6.27	\$0.63	\$6.90
Purchase Woolworths/Cottesloe Grov Milk					
31 May 2022	Coles 0392 Mosman Park		Approved	<input checked="" type="checkbox"/>	\$51.66
27140	190	0403	\$46.96	\$4.70	\$51.66
Purchase Coles 0392 Mhairis farwell					
31 May 2022	Metal Artwork Creations Hamersley		Approved	<input checked="" type="checkbox"/>	\$66.00
27140	190	0403	\$60.00	\$6.00	\$66.00
Purchase Metal Artwork Creations Name please for Joel Gajic					
31 May 2022	Coles 0392 Mosman Park		Approved	<input checked="" type="checkbox"/>	\$400.00
27140	190	0403	\$363.64	\$36.36	\$400.00
Purchase Coles 0392 Mhairi's farwell gift					
31 May 2022	Boatshed Market Pty Cottesloe		Approved	<input checked="" type="checkbox"/>	\$39.95
28280	190	0403	\$36.32	\$3.63	\$39.95
Purchase Boatshed Market Pty Special catering - cake					
01 Jun 2022	House Melbourne		Approved	<input checked="" type="checkbox"/>	\$359.50
28280	190	0401	\$326.82	\$32.68	\$359.50
Purchase House update crockery and cultery.					
01 Jun 2022	Pottery Barn E Commerc Bondi Junctio		Approved	<input checked="" type="checkbox"/>	\$91.96
27140	190	0403	\$83.60	\$8.36	\$91.96
Purchase Pottery Barn E Commerc Name plate for Joel Gajic					
08 Jun 2022	Pline Ph Cottesloe Cottesloe		Approved	<input checked="" type="checkbox"/>	\$22.50
27140	190	0403	\$20.45	\$2.05	\$22.50
Purchase Pline Ph Cottesloe staff flu shot					
28 Jun 2022	Account Fees		No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82
27130	190	0403	\$6.20	\$0.62	\$6.82
Account Fees Cc Fp User Fee bank fees					
<b>Total for this period:</b>					<b>\$1,067.28</b>

**Cardholder Declaration**

I declare that all purchases were authorised and necessarily incurred on behalf of the company.  
Signature  Dated 21/07/2022

Employee ID: 5

**Approved By**

Signature \_\_\_\_\_

*Reed Thomas*

Dated 21 / 07 / 22

**On Completion**

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator





Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022

Cardholder Name: Stewart Farley



JSKR VISA Purchasing Card (Client Expenses)

Date	Details	Approval	Receipt	Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
29 May 2022	Big W/Rockingham Road Spearwood	Approved	<input checked="" type="checkbox"/>	\$60.00	
28471	139	1106	\$54.55	\$5.45	\$60.00
	Purchase Big W/Rockingham Road junior book purchases				
07 Jun 2022	Bookdepository.Com 441452307905	Approved	<input checked="" type="checkbox"/>	\$87.95	
28471	139	1106	\$79.95	\$8.00	\$87.95
	Purchase Bookdepository.Com Junior Book Purchases				
08 Jun 2022	Bookdepository.Com 441452307905	Approved	<input checked="" type="checkbox"/>	\$29.97	
28471	139	1106	\$27.25	\$2.72	\$29.97
	Purchase Bookdepository.Com Junior Book purchases				
14 Jun 2022	Woolworths/Cottesloe Grov Cottesloe	Approved	<input checked="" type="checkbox"/>	\$40.00	
28340	139	1106	\$36.36	\$3.64	\$40.00
	Purchase Woolworths/Cottesloe Grov kids holiday craft materials				
21 Jun 2022	Cleverpatch Pty Ltd Beresfield	Approved	<input checked="" type="checkbox"/>	\$510.25	
28340	139	1106	\$463.86	\$46.39	\$510.25
	Purchase Cleverpatch Pty Ltd Holiday craft supplies				
22 Jun 2022	Educational Art Nedlands	Approved	<input checked="" type="checkbox"/>	\$653.82	
28340	139	1106	\$594.38	\$59.44	\$653.82
	Purchase Educational Art kids holiday craft material				
28 Jun 2022	Account Fees	No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82	
27130	139	1106	\$6.20	\$0.62	\$6.82
	Account Fees Cc Fp User Fee Account Fees				
<b>Total for this period:</b>				<b>\$1,388.81</b>	

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature Stewart Farley

Dated 21 / 07 / 22

Employee ID: 63

Approved By

Signature 

Dated 21 / 07 / 22

**On Completion**

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022

Cardholder Name: Robert Young



JSKR VISA Purchasing Card (Client Expenses)

Date	Details	Approval	Receipt	Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
29 May 2022	Bp Greenwood 6171 Greenwood	Approval Req'd	<input checked="" type="checkbox"/>	\$132.62	
28360	139	1201	\$120.56	\$12.06	\$132.62
	Purchase Bp Greenwood 6171 Ute Fuel				
31 May 2022	Coles Express 6919 Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>	\$92.84	
28360	139	1201	\$84.40	\$8.44	\$92.84
	Purchase Coles Express 6919 Depo Fuel				
01 Jun 2022	Coles Express 6919 Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>	\$82.11	
28360	139	1201	\$74.65	\$7.46	\$82.11
	Purchase Coles Express 6919 Loader fuel				
09 Jun 2022	Coles Express 6919 Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>	\$122.23	
28360	139	1201	\$111.12	\$11.11	\$122.23
	Purchase Coles Express 6919 Ute Fuel				
13 Jun 2022	Whitworths Nautical W Mosman Park	Approval Req'd	<input checked="" type="checkbox"/>	\$20.94	
28270	139	1201	\$19.04	\$1.90	\$20.94
	Purchase Whitworths Nautical W Water tanks office				
20 Jun 2022	T J M Products Pty L O'Connor	Approval Req'd	<input checked="" type="checkbox"/>	\$109.00	
28350	139	1201	\$99.09	\$9.91	\$109.00
	Purchase T J M Products Pty L Loader tool holder				
21 Jun 2022	Bunnings 453000 O'Connor	Approval Req'd	<input checked="" type="checkbox"/>	\$3.90	
28350	139	1201	\$3.55	\$0.35	\$3.90
	Purchase Bunnings 453000 Loader bolts				
22 Jun 2022	Bunnings 453000 O'Connor	Approval Req'd	<input checked="" type="checkbox"/>	\$11.95	
28350	139	1201	\$10.86	\$1.09	\$11.95
	Purchase Bunnings 453000 loader bolts				
28 Jun 2022	Account Fees	No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82	
27130	139	1201	\$6.20	\$0.62	\$6.82
	Account Fees Cc Fp User Fee Bank Fees				
<b>Total for this period:</b>				<b>\$582.41</b>	

**Cardholder Declaration**

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature  \_\_\_\_\_

Dated 29 / 6 / 2022

Employee ID: RY

**Approved By**

Signature  \_\_\_\_\_

Dated 29 / 06 / 2022

**On Completion**

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022

Cardholder Name: Tim Whitham



JSKR VISA Purchasing Card (Client Expenses)

Date	Details	Approval	Receipt	Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
26 May 2022	Bunnings 483000 28270 139 Purchase Bunnings 483000 hardware	Claremont 1104	Approval Req'd	<input checked="" type="checkbox"/>	\$8.30
			\$7.55	\$0.75	\$8.30
31 May 2022	Ampol Mosman Pa 55363f Mosman Park 28360 139 Purchase Ampol Mosman Pa 55363f Fuels	1104	Approval Req'd	<input checked="" type="checkbox"/>	\$200.00
			\$181.82	\$18.18	\$200.00
10 Jun 2022	Ampol Mosman Pa 55363f Mosman Park 28360 139 Purchase Ampol Mosman Pa 55363f ute fuel	1104	Approval Req'd	<input checked="" type="checkbox"/>	\$100.00
			\$90.91	\$9.09	\$100.00
20 Jun 2022	Bunnings 483000 28270 139 Purchase Bunnings 483000 Horticultural supplies	Claremont 1104	Approval Req'd	<input checked="" type="checkbox"/>	\$82.47
			\$74.97	\$7.50	\$82.47
21 Jun 2022	Ampol Mosman Pa 55363f Mosman Park 28360 139 Purchase Ampol Mosman Pa 55363f Ute Fuel	1104	Approval Req'd	<input checked="" type="checkbox"/>	\$130.02
			\$118.20	\$11.82	\$130.02
28 Jun 2022	Account Fees 27130 139 Account Fees Cc Fp User Fee Bank Fees	1104	No Appr Req'd	<input checked="" type="checkbox"/>	\$6.82
			\$6.20	\$0.62	\$6.82
<b>Total for this period:</b>					<b>\$527.61</b>

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature \_\_\_\_\_

Dated 29 / 6 / 2022

Employee ID: TW

Approved By

Signature \_\_\_\_\_

Dated 29 / 06 / 2022

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022

Cardholder Name: Michael Costarella



JSKR VISA Purchasing Card (Client Expenses)

Date	Details	Approval	Receipt	Amount (\$AUD)	
GL Code	CC Code	Department	Net	Tax	Gross
02 Jun 2022	Planning Institute Of Aus Barton	No Appr Req'd	<input checked="" type="checkbox"/>	\$324.50	
26540	119	1002	\$295.00	\$29.50	\$324.50
Purchase Planning Institute Of Aus Staff training- Planning					
02 Jun 2022	Planning Institute Of Aus Barton	No Appr Req'd	<input checked="" type="checkbox"/>	\$346.50	
26540	119	1002	\$315.00	\$31.50	\$346.50
Purchase Planning Institute Of Aus Staff training - Planning					
08 Jun 2022	Peppermint News Agc Peppermint Gr	No Appr Req'd	<input checked="" type="checkbox"/>	\$261.00	
27180	190	1106	\$237.27	\$23.73	\$261.00
Purchase Peppermint News Agc Newspapers and Magazines					
17 Jun 2022	The Good Guys Web Store Southbank	No Appr Req'd	<input checked="" type="checkbox"/>	\$707.00	
27160	139	0403	\$642.73	\$64.27	\$707.00
Purchase The Good Guys Web Store IT Equipment for Office					
20 Jun 2022	Seek AU 47835874 Melbourne	No Appr Req'd	<input checked="" type="checkbox"/>	\$324.50	
28120	129	0403	\$295.00	\$29.50	\$324.50
Purchase Seek AU 47835874 Advertising Finance/ Admin Position- Seek					
22 Jun 2022	Eb *aboriginal Cultura 801-413-7200	No Appr Req'd	<input checked="" type="checkbox"/>	\$130.00	
26540	129	0403	\$118.18	\$11.82	\$130.00
Purchase Eb *aboriginal Cultura Cultural Awareness Training- PA					
<b>Total for this period:</b>				<b>\$2,093.50</b>	

Cardholder Declaration

Bank fees \$6.82 = Total \$2,100.32

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature 

Dated 29 / 06 / 2022

Employee ID: E0005

Approved By

Signature 

Dated 29/06/2022

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022

Cardholder Name: Joel Lee Gajic



JSKR VISA Purchasing Card (Client Expenses)

Date	Details	Approval	Receipt Amount (\$AUD)		
GL Code	CC Code	Department	Net	Tax	Gross
28 Jun 2022	Account Fees	No Appr Req'd		<input checked="" type="checkbox"/>	\$6.82
	<i>Not Coded</i> Account Fees Cc Fp User Fee	<i>Not Coded</i> 27130-1002-190	\$6.20	\$0.62	\$6.82
Total for this period:					\$6.82

**Cardholder Declaration**

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature \_\_\_\_\_

Dated 21 / 07 / 2022

Employee ID: E0020

**Approved By**

Signature \_\_\_\_\_

Dated 21/07/2022

**On Completion**

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Statement for NAB

Statement Period: 28 May 2022 to 28 Jun 2022

Cardholder Name: Donovan Norgard



JSKR VISA Purchasing Card (Client Expenses)


Date		Details		Approval	Receipt	Amount (\$AUD)
GL Code	CC Code	Department		Net	Tax	Gross
25 May 2022	Ampol Mosman Pa 55363f Mosman Park	55363f		Approval Req'd	<input checked="" type="checkbox"/>	\$194.50
28360	129	1104		\$176.82	\$17.68	\$194.50
Purchase Ampol Mosman Pa 55363f Fuel for Isuzu truck						
31 May 2022	Bp Exp Myaree 1840 Myaree	1840	Myaree	Approval Req'd	<input checked="" type="checkbox"/>	\$126.63
28360	129	1104		\$115.12	\$11.51	\$126.63
Purchase Bp Exp Myaree 1840 Fuel						
30 May 2022	Ampol Mosman Pa 55363f Mosman Park	55363f		Approval Req'd	<input checked="" type="checkbox"/>	\$20.00
28360	129	1104		\$18.18	\$1.82	\$20.00
Purchase Ampol Mosman Pa 55363f Fuel for Library vehicle						
03 Jun 2022	Adobe Acropro Subs Sydney			Approval Req'd	<input checked="" type="checkbox"/>	\$21.99
28845	129	1104		\$19.99	\$2.00	\$21.99
Purchase Adobe Acropro Subs AdobePro subscription						
03 Jun 2022	Puma Dowerin Mahomets Flat			Approval Req'd	<input checked="" type="checkbox"/>	\$118.85
28360	129	1104		\$108.05	\$10.80	\$118.85
Purchase Puma Dowerin Fuel						
02 Jun 2022	Sunny Signs Company Malaga			Approval Req'd	<input checked="" type="checkbox"/>	\$26.53
28790	129	1104		\$24.12	\$2.41	\$26.53
Purchase Sunny Signs Company Fasteners for signs						
05 Jun 2022	Puma Dowerin Mahomets Flat			Approval Req'd	<input checked="" type="checkbox"/>	\$130.98
28360	129	1104		\$119.07	\$11.91	\$130.98
Purchase Puma Dowerin Fuel						
09 Jun 2022	Batteryworld Claremon Claremont			Approval Req'd	<input checked="" type="checkbox"/>	\$836.00
30700	129	1104		\$760.00	\$76.00	\$836.00
Purchase Batteryworld Claremon Batteries x 4 for solar ROW light						
09 Jun 2022	Ampol Mosman Pa 55363f Mosman Park	55363f		Approval Req'd	<input checked="" type="checkbox"/>	\$113.77
28360	129	1104		\$103.43	\$10.34	\$113.77
Purchase Ampol Mosman Pa 55363f Fuel						
13 Jun 2022	Mac Tyrepower & 4x4 Myaree			Approval Req'd	<input checked="" type="checkbox"/>	\$495.00
28830	129	1104		\$450.00	\$45.00	\$495.00
Purchase Mac Tyrepower & 4x4						



Tyres						
13 Jun 2022	Bp Exp Myaree 1840 Myaree	28360	129	1104	Approval Req'd	\$117.01
	Purchase Bp Exp Myaree 1840 Fuel				\$106.37 \$10.64	\$117.01
18 Jun 2022	Eg Group/Lot 1442 Joondal Banksia Grove	28360	129	1104	Approval Req'd	\$130.94
	Purchase Eg Group/Lot 1442 Joondal Fuel				\$119.04 \$11.90	\$130.94
21 Jun 2022	The Lifting Company Kewdale	28830	129	1104	Approval Req'd	\$202.40
	Purchase The Lifting Company Front End Loader - jib arm lifting straps				\$184.00 \$18.40	\$202.40
22 Jun 2022	Officeworks 0616 O'Connor	28845	129	1104	Approval Req'd	\$133.98
	Purchase Officeworks 0616 Depot office supplies and laptop carry bag				\$121.80 \$12.18	\$133.98
21 Jun 2022	Bullivants Pty Ltd Welshpool	28830	129	1104	Approval Req'd	\$303.79
	Purchase Bullivants Pty Ltd Lifting chains and clevis hooks				\$276.17 \$27.62	\$303.79
21 Jun 2022	Rsea Pty Ltd - Welshpo Welshpool	28840	129	1104	Approval Req'd	\$13.95
	Purchase Rsea Pty Ltd - Welshpo Fire warden hardhat				\$12.68 \$1.27	\$13.95
23 Jun 2022	Harvey Norman Av/it Osborne Park	28845	129	1104	Approval Req'd	\$1,593.96
	Purchase Harvey Norman Av/it Depot A3 colour printer and consumables				\$1,449.05 \$144.91	\$1,593.96
28 Jun 2022	Account Fees	27130	129	1104	No Appr Req'd	\$6.82
	Account Fees Cc Fp User Fee Bank fees				\$6.20 \$0.62	\$6.82
24 Jun 2022	Bp Exp Myaree 1840 Myaree	28360	129	1104	Approval Req'd	\$105.36
	Purchase Bp Exp Myaree 1840 Fuel				\$95.78 \$9.58	\$105.36
27 Jun 2022	Officeworks 0623 Belmont	28845	129	1104	Approval Req'd	\$42.99
	Purchase Officeworks 0623 Depot - stationery				\$39.08 \$3.91	\$42.99
<b>Total for this period:</b>						<b>\$4,735.45</b>

**Cardholder Declaration**

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature  \_\_\_\_\_

Dated 29 / 06 / 2022

Employee ID: 169

**Approved By**

Signature  \_\_\_\_\_

Dated 29/06/2022

**On Completion**

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



## **Ordinary Council Meeting**

### **8.4.1 – Matters for Information and Noting**

# RECYCLING TONNAGES AND PRODUCT TONNAGES JUNE 2022



PRODUCT	PRODUCT Percentages	PRODUCT Tonnages
AL CANS	0.45	0.06
MIXED PAPER	17.08	2.10
ONP	10.13	1.24
OCC - CARDBOARD	20.81	2.56
STEEL	2.89	0.36
GLASS	19.91	2.45
MIXED PLASTICS	0.87	0.11
PET	1.54	0.19
HDPE	1.80	0.22
<b>TOTAL RECOVERED</b>	<b>75.48</b>	<b>9.28</b>
WASTE / CONTAMINATION	24.52	3.01
<b>MONTHLY TOTAL</b>	<b>100.00</b>	<b>12.29</b>

