



SHIRE OF PEPPERMINT GROVE

ATTACHMENTS

**Ordinary Council Meeting
23 July 2019**

TABLE OF CONTENTS

SUBJECT HEADING	PAGE
8.1.1 42 View Street – Ancillary Dwelling/Store Room above Existing Garage.....	3
8.1.2 2 Bay View Terrace – Plan Amendment to DA2019/00001	10
8.1.3 – 12 The Esplanade – Single House - Additions and Conservation Works	15
8.1.4 – PLC – Entry Signage Corner of View and McNeil Street.....	29
8.1.5 – 17 View Street – Installation of Elevator to Exterior of Single House.	44
8.1.6 – 47 Johnston Street – Modifications to Boundary Brick Wall/Fence (BA2019/00023)	54
8.4.1 – Financial Report – June 2019.....	57
8.4.2 – Accounts Paid – June 2019.....	64
8.4.3 – Matters for Information and Noting	67
11.1 – CEO Annual performance Review.....	69



Ordinary Council Meeting

8.1.1 42 View Street – Ancillary
Dwelling/Store Room above Existing
Garage

**ITEM 8.1.1
ATTACHMENT ONE**



**ITEM 8.1.1
ATTACHMENT TWO**



Metal Deck Cladding
FC Panels in Black over and under windows.



Steel Stair and Balustrade

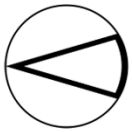
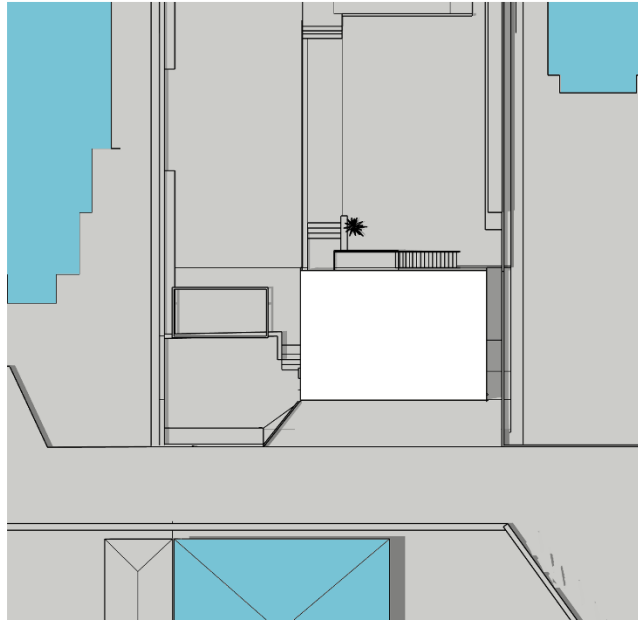
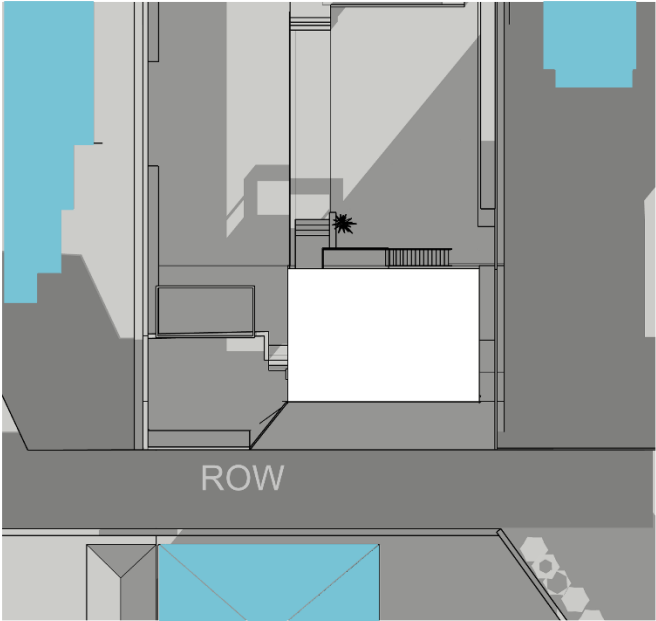


NORTH (EXISTING TREES)



NORTH

42 VIEW STREET ELEVATIONS



Winter Solstice

Summer Solstice

42 VIEW STREET



42 VIEW STREET ELEVATIONS



42 VIEW STREET ELEVATIONS



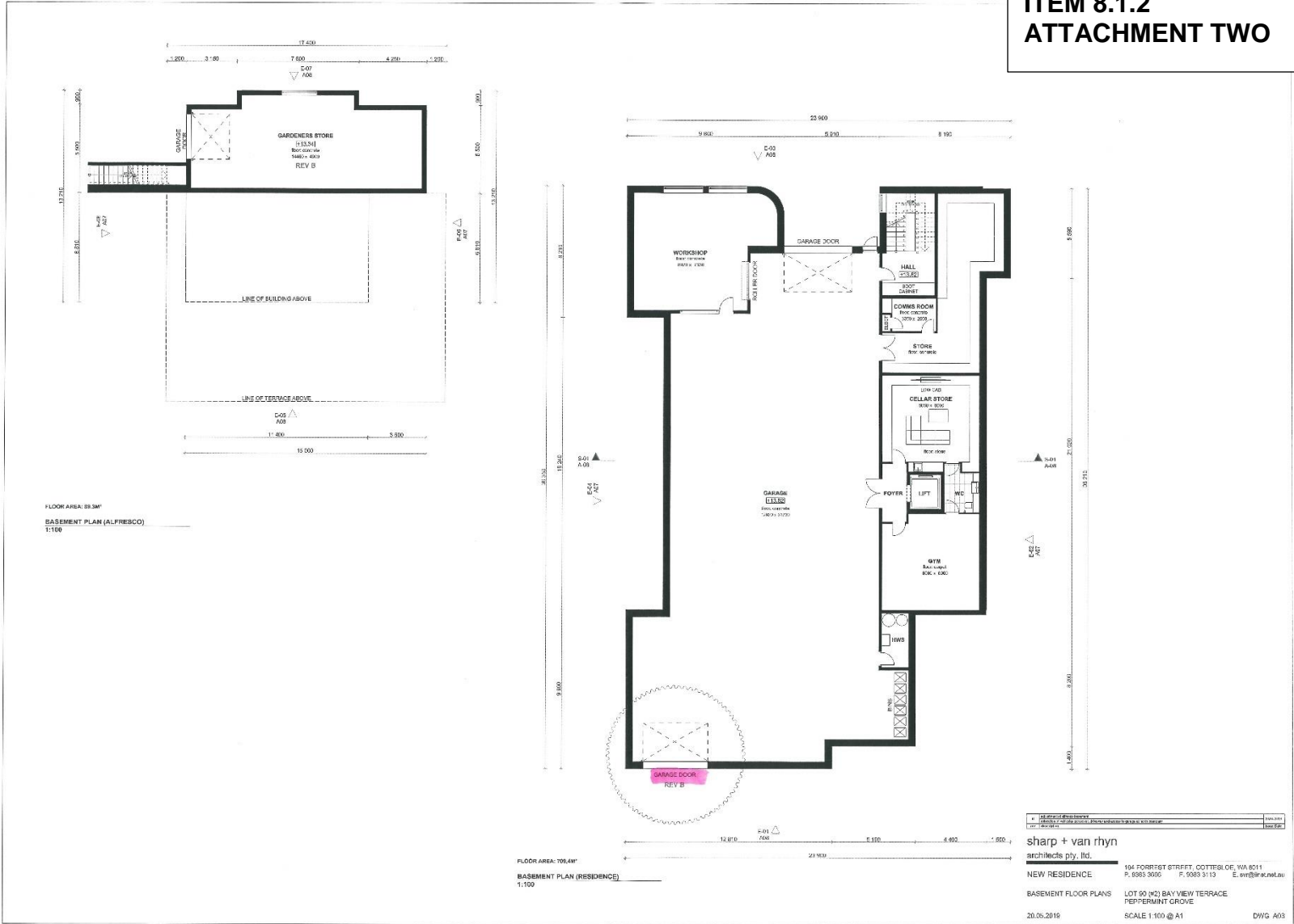
Ordinary Council Meeting

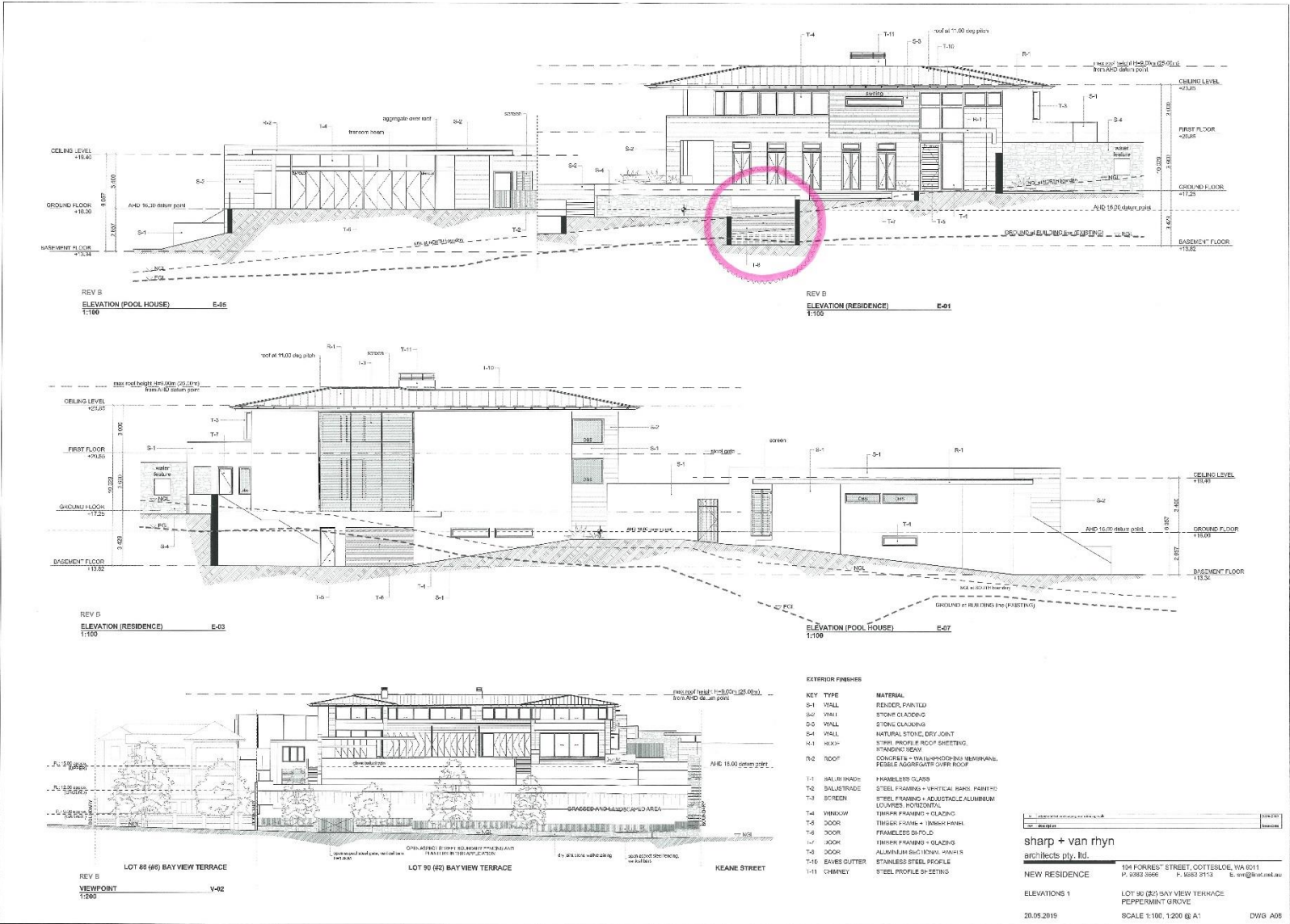
8.1.2 2 Bay View Terrace – Plan Amendment to DA2019/00001

**ITEM 8.1.2
ATTACHMENT ONE**



**ITEM 8.1.2
ATTACHMENT TWO**





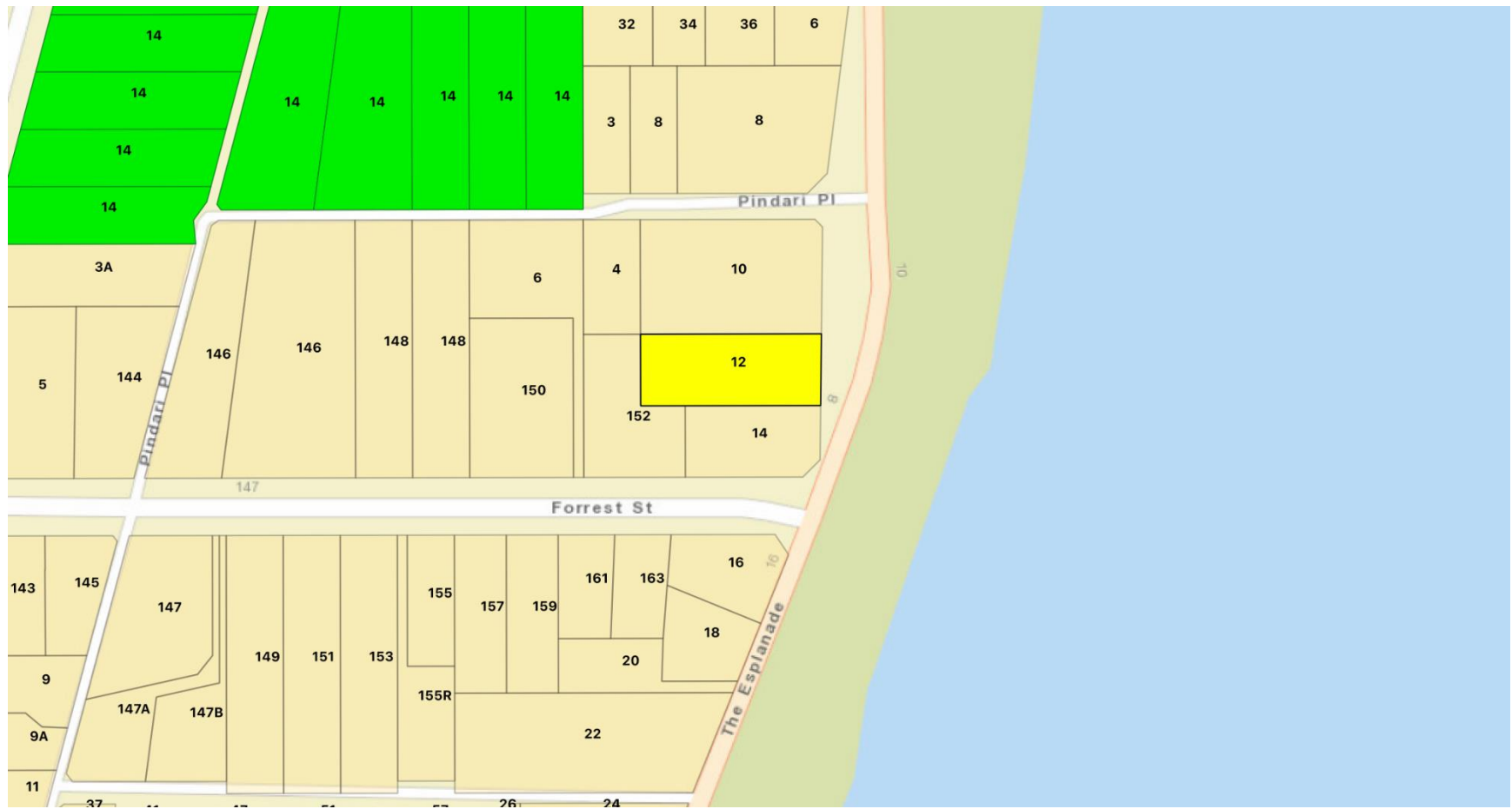




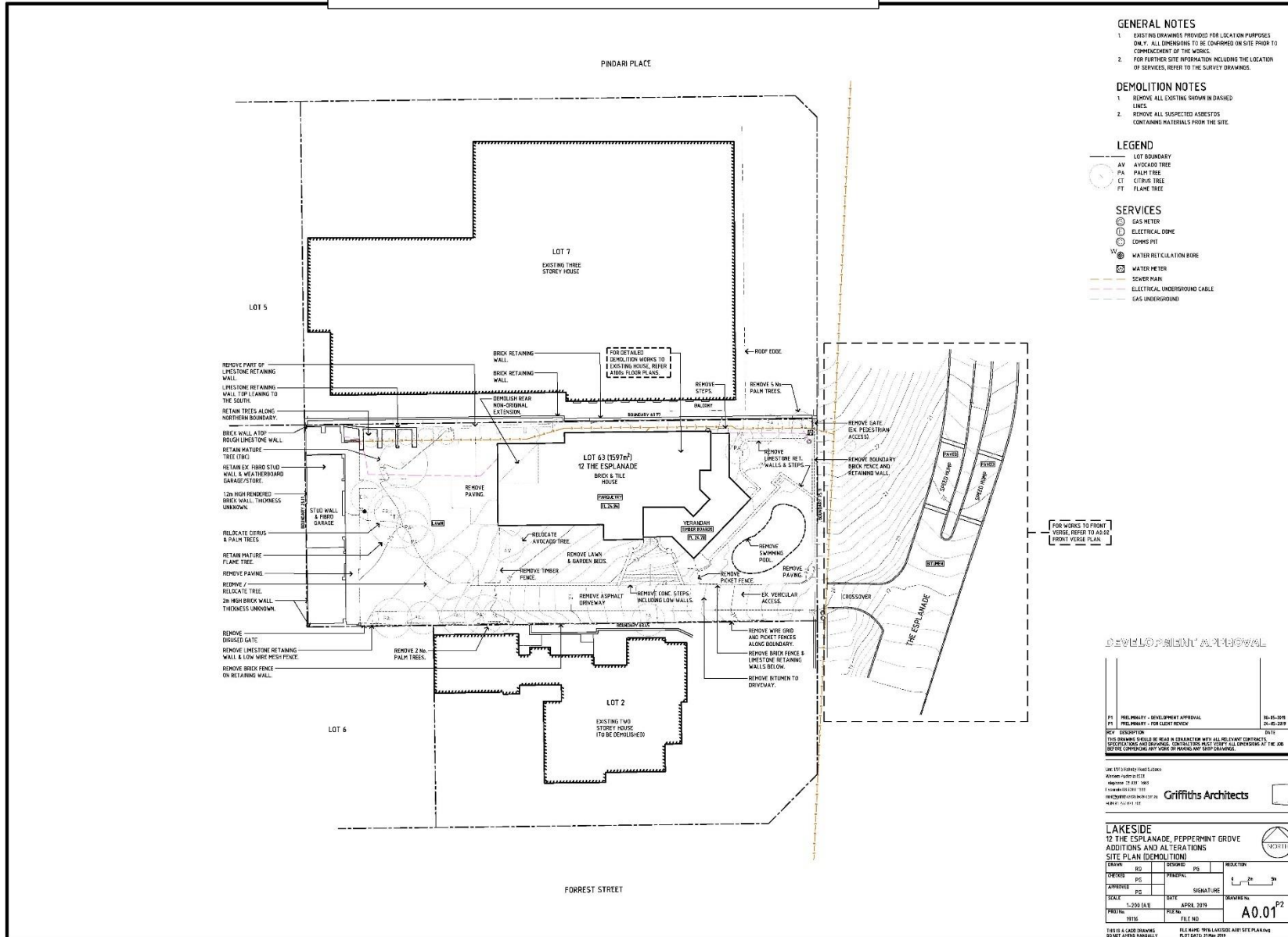
Ordinary Council Meeting

8.1.3 – 12 The Esplanade – Single House - Additions and Conservation Works

ITEM 8.1.3
ATTACHMENT TWO



ITEM 8.1.3 ATTACHMENT TWO



GENERAL NOTES

- EXISTING DRAWINGS PROVIDED FOR LOCATION PURPOSES ONLY. ALL OPENINGS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.
- FOR FURTHER SITE INFORMATION INCLUDING THE LOCATION OF SERVICES, REFER TO THE SURVEY DRAWINGS.

DEMOLITION NOTES

- REMOVE ALL EXISTING SHOWN IN DASHED LINES.
- REMOVE ALL SUSPECTED ASBESTOS CONTAINING MATERIALS FROM THE SITE.

LEGEND

- LOT BOUNDARY
- AV AVOCADO TREE
- PA PALM TREE
- CT CITRUS TREE
- FT FLAME TREE

SERVICES

- GAS METER
- ELECTRICAL ZONE
- COINM PIT
- WATER RETICULATION BORE
- WATER METER
- SEWER MAIN
- ELECTRICAL UNDERGROUND CABLE
- GAS UNDERGROUND

DEVELOPMENT APPROVAL

PI	PRELIMINARY - DEVELOPMENT APPROVAL	30-05-2019
PI	PRELIMINARY - FOR CLERK REVIEW	20-05-2019
PI	DESCRIPTION	DELT

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL PRELIMINARY CONTRACTS, SPECIFICATIONS AND DRAWINGS. CONTRACTORS MUST VERIFY ALL INFORMATION AT THE JOB BEFORE COMMENCING ANY WORK OR MAKING ANY TEMPORARY CHANGES.

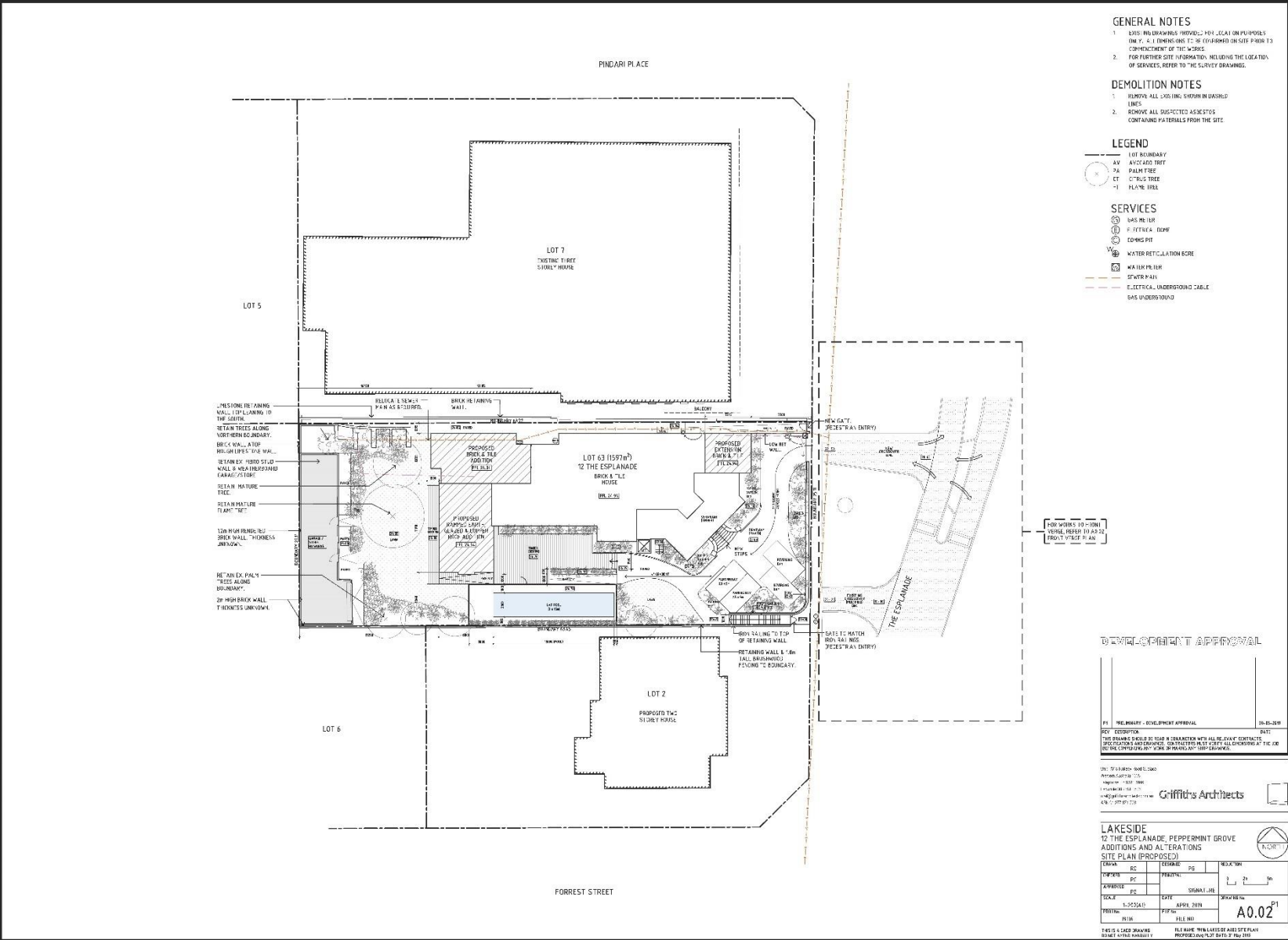
LINE 100 (3) 000000 (Hatched)
Kilobits: 1000 bits per second
Megabits: 1,000,000 bits per second
Gigabits: 1,000,000,000 bits per second
Terabits: 1,000,000,000,000 bits per second

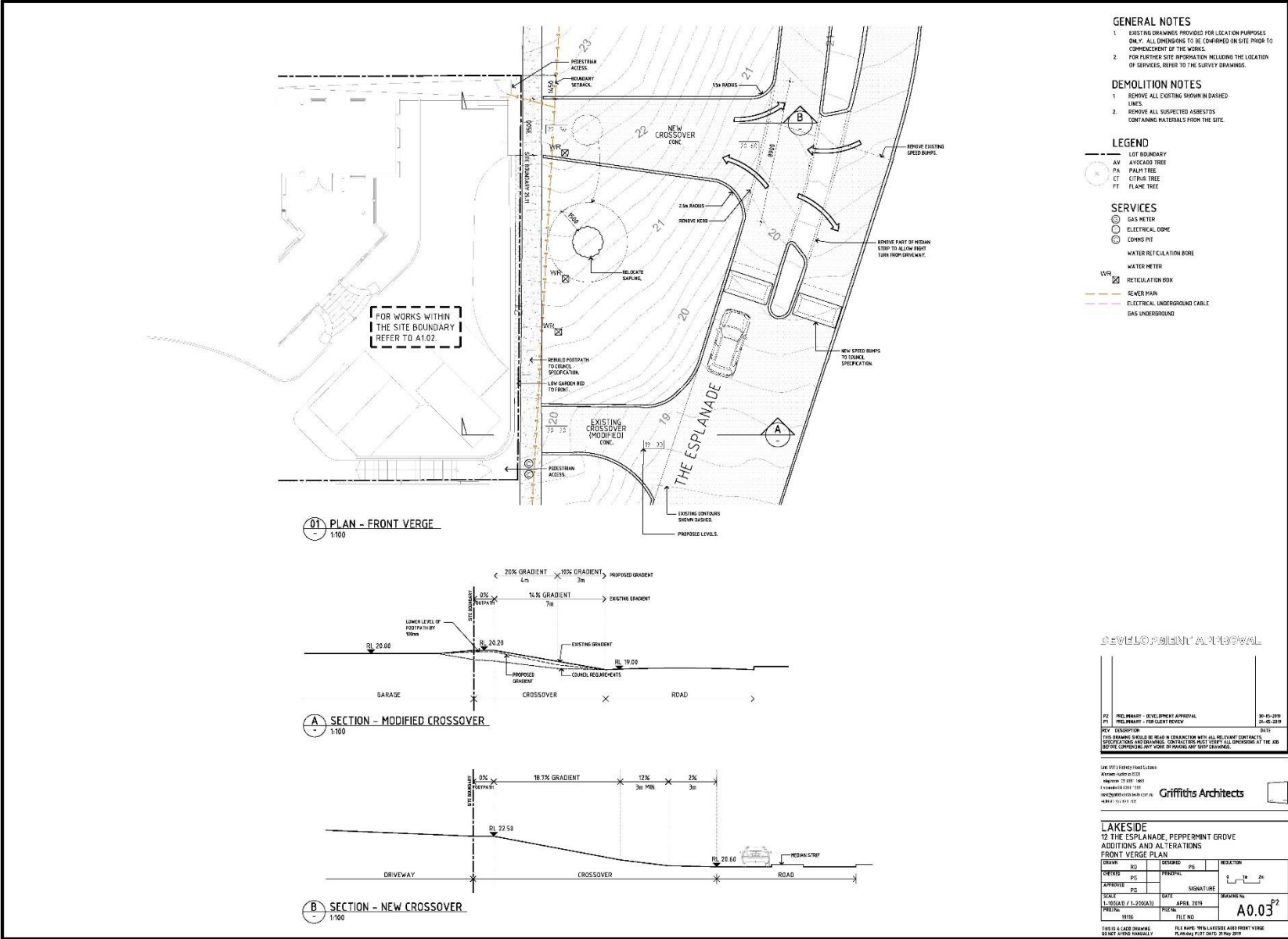
Griffiths Architects

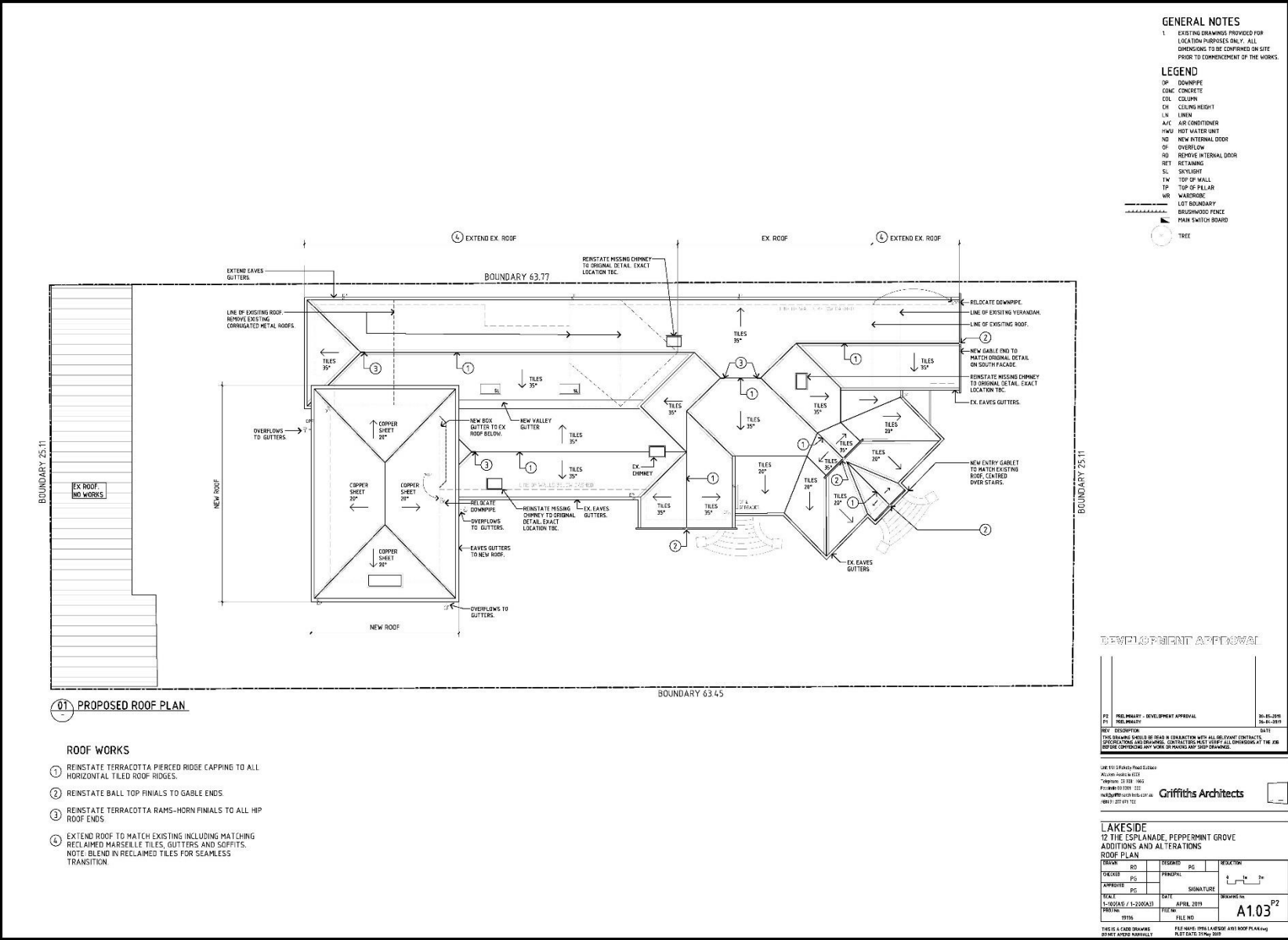
LAKESIDE 12 THE ESPLANADE, PEPPERMINT GROVE ADDITIONS AND ALTERATIONS SITE PLAN (DEMOLITION)

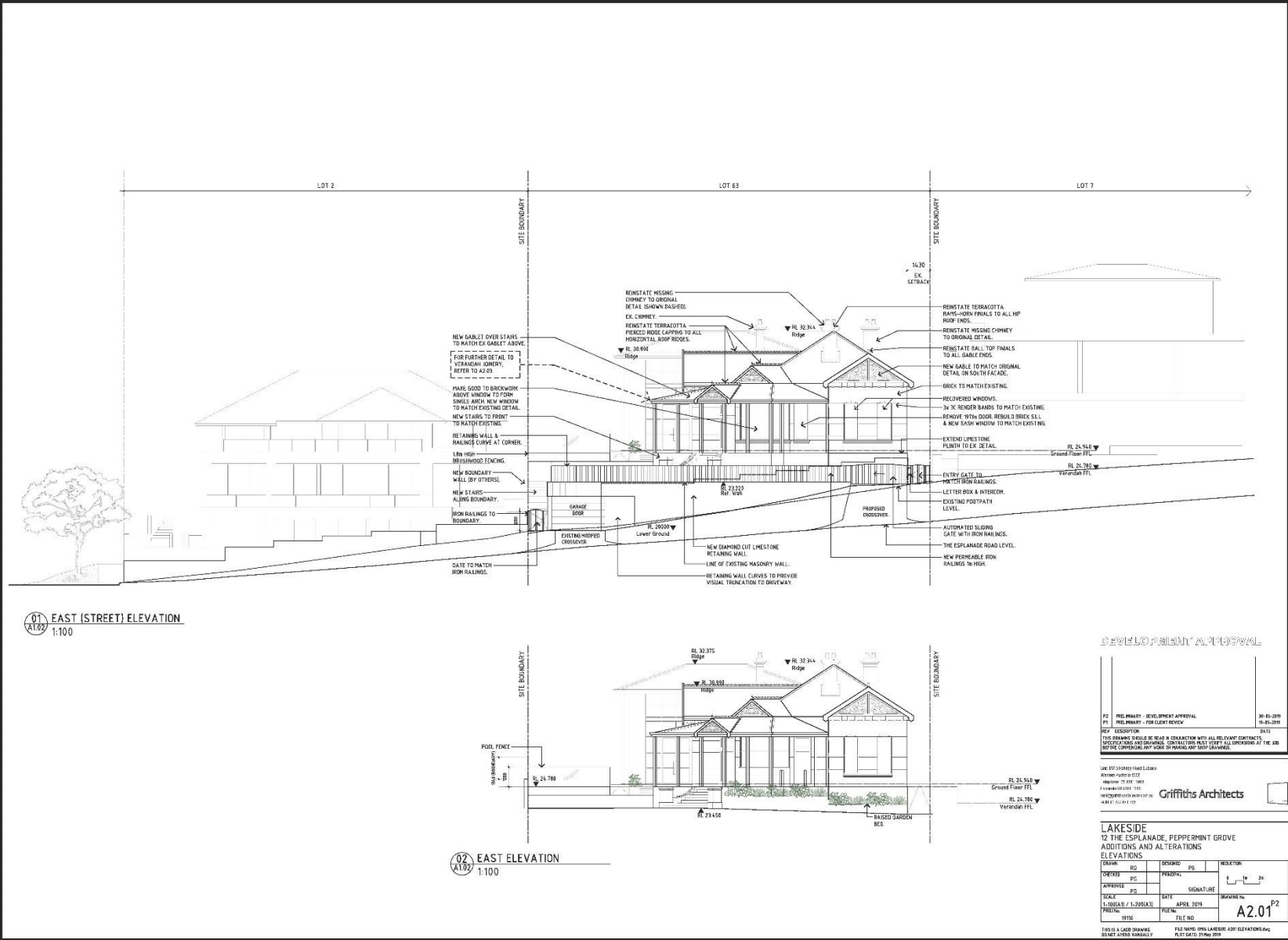
DRAWN	RS	DESIGNED	PS	REVISION	
APPROVED	PS	PERMITTED		1	2
DATE	APRIL 2019	SIGNATURE			
PREPARED	RS	FILE NO.			
DATE		FILE NO.			

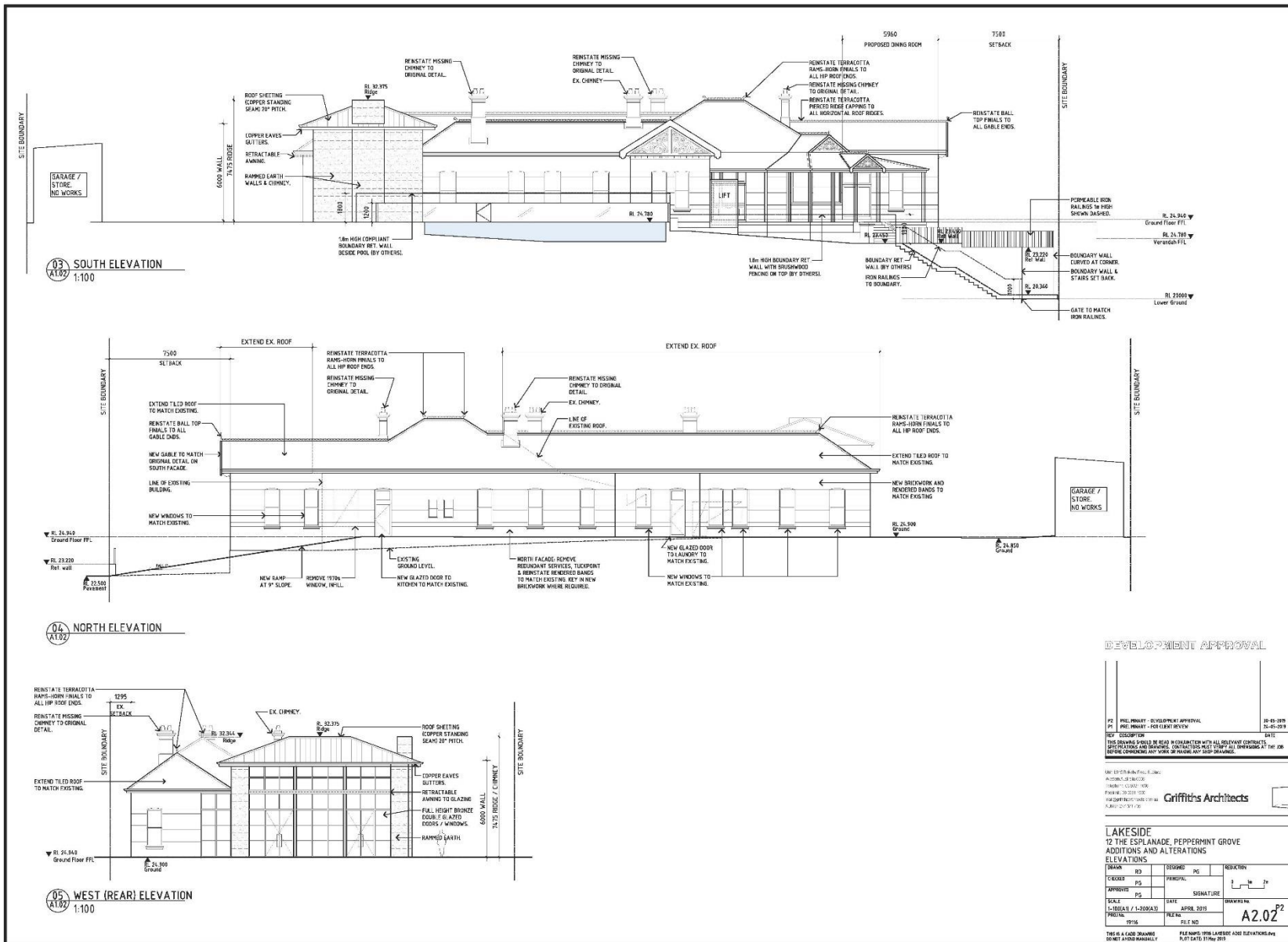
THIS IS A CAD DRAWING. FILE NAME: 1218 LAKESIDE ADD SITE PLANNING. PLOT DATE: 17/04/2019











DEVELOPMENT APPROVAL

DATE RECEIVED FOR REVIEW: 20-05-2019

DATE: 26-05-2019

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS. CONTRACTORS MUST NOTIFY ALL WORKMANS OF THE JOB BEFORE COMMENCING ANY WORK OF PLACING ANY SUDP DRAMING.

UNDEVELOPED FULL SCALE
TABLE OF RECORDS
SCALE: 1:1000
PROJECT NO: 19-0311-02
SUBJECT: PEPPERMINT GROVE
A1.02 2/19/19

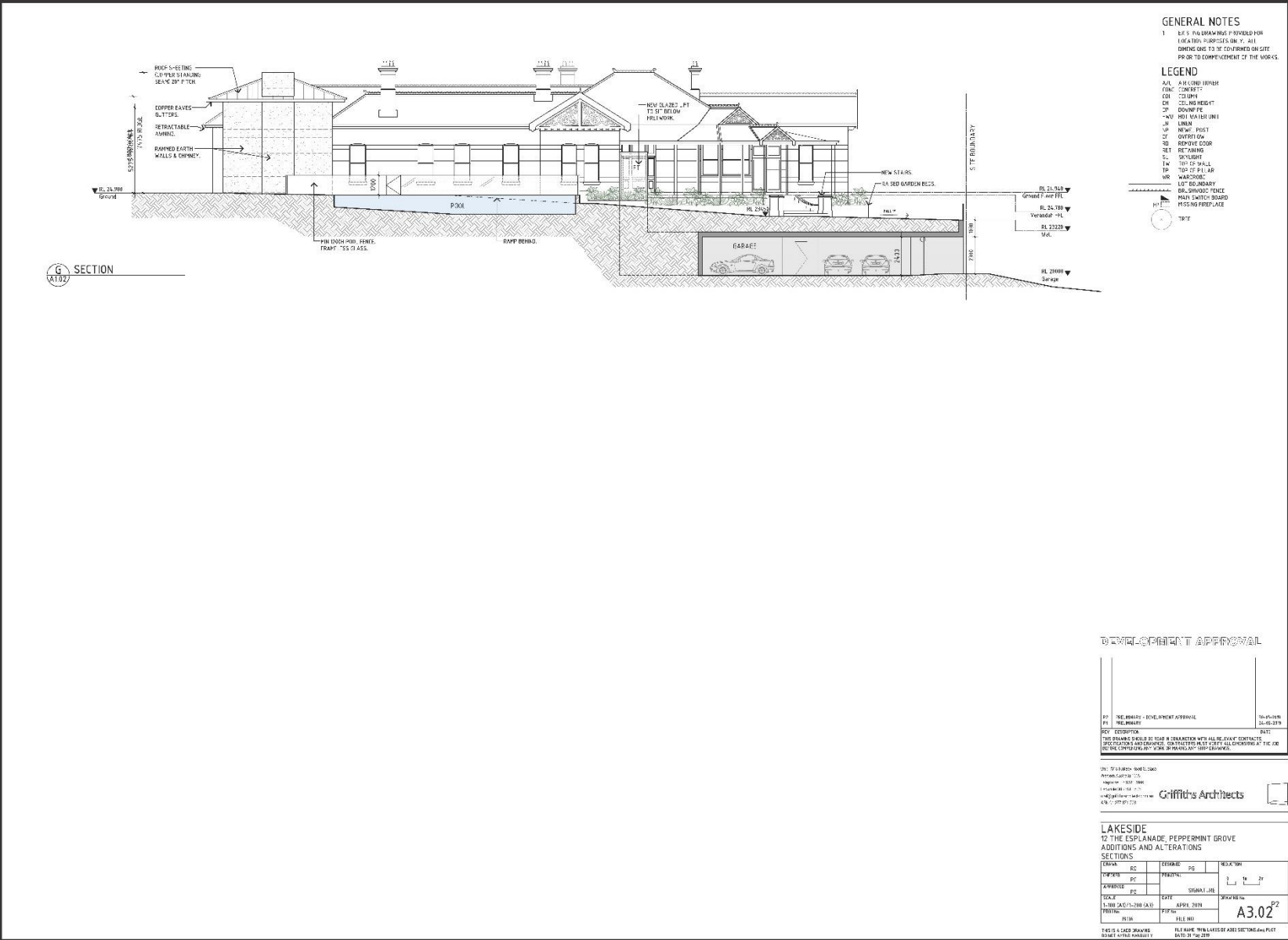
Griffiths Architects

LAKESSIDE
12 THE ESPLANADE, PEPPERMINT GROVE
ADDITIONS AND ALTERATIONS
ELEVATIONS

DRAWN	REV	DESIGN	PG	SECTION
CHECKED	PS	PERFORMA		
DRAWN	PS			
CHECKED	PS			SIGNATURE
TITLE		DATE		DRAWING NO.
1-155018 / 1-120043		APRIL 2018		A2.02
PRELIM		PERM		FILE NO.
0116				

THIS IS A CAD DRAWING
DO NOT ALTER MANUALLY

FILE NAME: 1916 LAKESSIDE AND DEVELOPERS.DWG
PLOT DATE: 17/06/2019



GENERAL NOTES

1. SEE 3 FULL DRAWINGS PROVIDED FOR LIAISON PURPOSES ONLY. ALL WORKING DRS TO BE CO-FORMED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.

LEGEND

- ALU ALUMINIUM
- FINI FINISH
- CON CONCRETE
- COI COILING
- CH CHIMNEY HEIGHT
- CP COPPER
- DOV DOWNPIPE
- HW HOT WATER HEATER UNIT
- JK JOINT
- UP UPPIPE
- NEW NEW
- FRIST FRIST
- OF OFFSET
- SD REMOVE DOOR
- SET SETTING
- RE REMOVED
- SC SCROUB
- TR TOP OF WALL
- TR TOP OF FLOOR
- W/W WOODWORK
- WR WR
- LOF LOOSE
- BR BRICKWORK
- BR BRICKWORK
- MA MAIN SWITCH BOARD
- MS METAL SHEET
- TR TR

SECTION
 A102

DEVELOPMENT APPROVAL

P1 DEVELOPMENT APPROVAL P2 DEVELOPMENT APPROVAL DATE	16-05-2019 26-05-2019 DATE
--	----------------------------------

Griffiths Architects

**LAKESIDE
 12 THE ESPLANADE, PEPPERMINT GROVE
 ADDITIONS AND ALTERATIONS
 SECTIONS**

DRAWN BY CHECKED BY DATE PROJECT NO.	DESIGNED BY PERMITTED BY DATE FILE NO.	SHEET NO. 1 2 3 4 5 6 7 8 9 10 11 12 DRAWING NO. A3.02 P2 FILE NAME: W10 LAKESIDE ADDS SECTIONS.dwg DATE: 28/05/2019
---	---	---



PERSPECTIVE PHOTOMONTAGE FROM THE ESPLANADE

DEVELOPMENT APPROVAL

P2	REG. NUMBER - DEVELOPMENT APPROVAL	16-05-2019
PL	REG. NUMBER	20-10-2018
REV	DESCRIPTION	DATE
THIS DRAWING IS VALID BY READ IN CONJUNCTION WITH ALL PREVIOUS CONTRACTS SPECIFICATIONS AND NOTICES. CONTRACTORS MUST VERIFY ALL DIMENSIONS AT THE JOB BEFORE COMMENCING ANY WORK. DIMENSIONS MAY VARY SLIGHTLY.		

LAKESIDE ARCHITECTS
 12 THE ESPLANADE, PEPPERMINT GROVE
 PEPPERMINT GROVE QLD 4015
 PHONE: 07 5511 1111
 FAX: 07 5511 1111
 EMAIL: info@lakesidearchitects.com.au
 WEBSITE: www.lakesidearchitects.com.au

LAKESIDE
 12 THE ESPLANADE, PEPPERMINT GROVE
 ADDITIONS AND ALTERATIONS
 PERSPECTIVE IMAGES

DRAWN	RD	DESIGNED	DG	SECTION	
CHECKED	JPS	PERMITTED		1	2019 19
APPROVED	JPS	SIGNATURE			
SCALE	1:100 (AS SHOWN)	CAD FILE		DATE	
PROJ. NO.	1516	FILE NO.		TITLE NO.	
			A4.01		

10% & 5 LINE DRAWING
 25% & 5 LINE DRAWING



PERSPECTIVE PHOTOMONTAGE FROM THE ESPLANADE

DEVELOPMENT APPROVAL

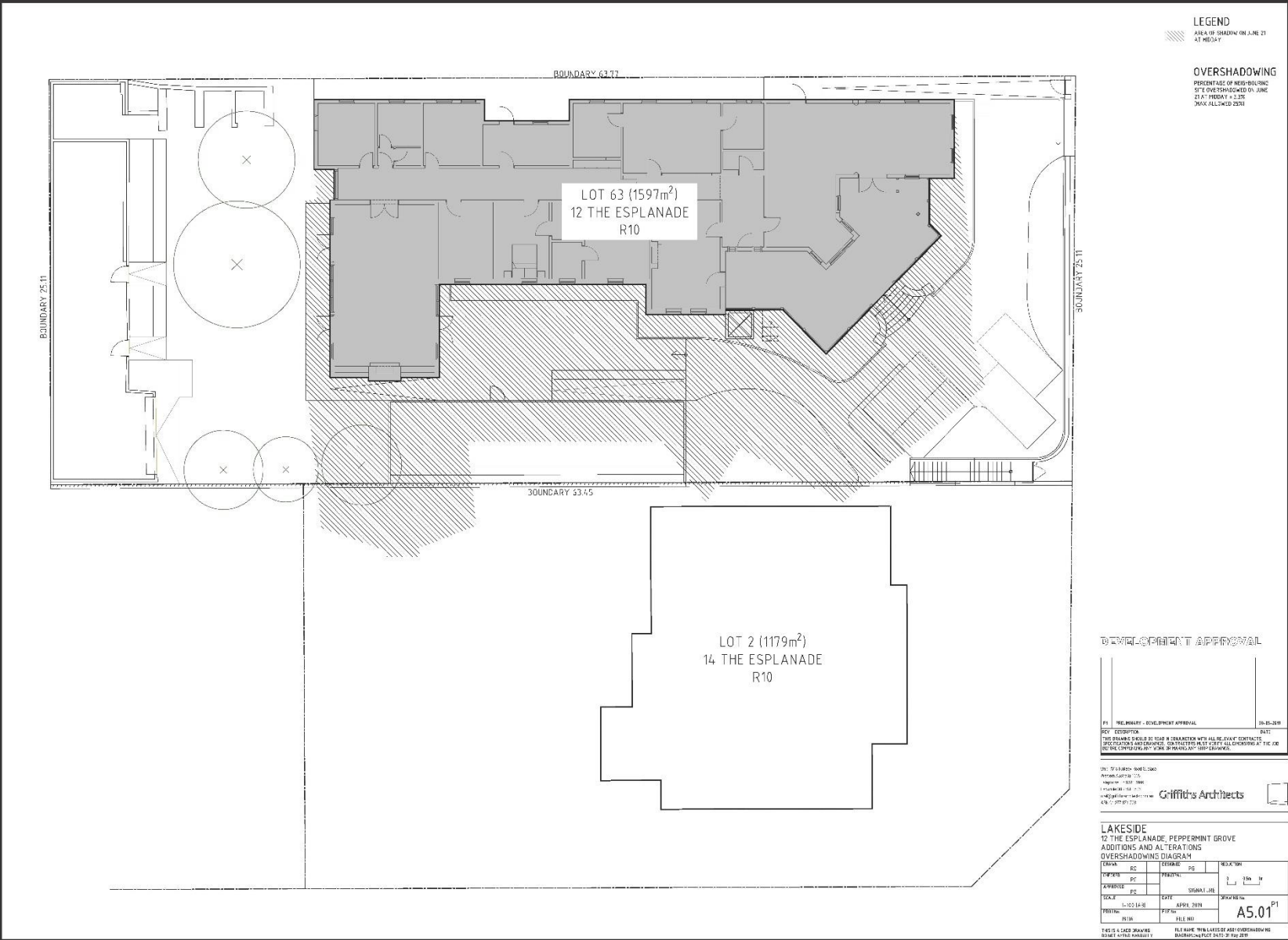
P2 PRELIMINARY DEVELOPMENT APPROVAL	20.03.2019
P3 PRELIMINARY	20.03.2019
P4 EXCEPT	
THIS DRAWING IS VALID AS LONG AS IT IS IN CONFORMANCE WITH ALL RELEVANT LEGISLATION, REGULATIONS AND BY-LAWS. CONSULT YOUR LOCAL COUNCIL FOR MORE INFORMATION. P. 1 & 2 SEE OTHER DRAWINGS FOR MORE INFORMATION.	

Lot 102/103 Peppermint Grove
 Thomas Road, Peppermint Grove
 Telephone: 08 9357 1988
 Fax: 08 9357 1988
 Email: info@griffithsarchitects.com.au
 Griffiths Architects

LAKESIDE
 12 THE ESPLANADE, PEPPERMINT GROVE
 ADDITIONS AND ALTERATIONS
 PERSPECTIVE IMAGES

OWNER	RS	DESIGNER	RG	SCALE	1:100
PROJECT	RS	PERIOD			
PROJECT	RS	SIGNATURE			
DATE	14.03.2019	DATE	APRIL 2019	SCALE	
PROJECT	RS	PROJECT	RS		
					A4.02 ^{P2}

P. 1 & 2 & 3 & 4 & 5 & 6 & 7 & 8 & 9 & 10 & 11 & 12 & 13 & 14 & 15 & 16 & 17 & 18 & 19 & 20 & 21 & 22 & 23 & 24 & 25 & 26 & 27 & 28 & 29 & 30 & 31 & 32 & 33 & 34 & 35 & 36 & 37 & 38 & 39 & 40 & 41 & 42 & 43 & 44 & 45 & 46 & 47 & 48 & 49 & 50 & 51 & 52 & 53 & 54 & 55 & 56 & 57 & 58 & 59 & 60 & 61 & 62 & 63 & 64 & 65 & 66 & 67 & 68 & 69 & 70 & 71 & 72 & 73 & 74 & 75 & 76 & 77 & 78 & 79 & 80 & 81 & 82 & 83 & 84 & 85 & 86 & 87 & 88 & 89 & 90 & 91 & 92 & 93 & 94 & 95 & 96 & 97 & 98 & 99 & 100



**ITEM 8.1.3
ATTACHMENT THREE**

LAKESIDE
12 THE ESPLANADE, PEPPERMINT GROVE

RESIDENTIAL DEVELOPMENT
COMPLIANCE CHECKLIST

PLANNING FRAMEWORK	
LPS Zoning / R-Code	R10
Land use permissibility	Residential

5.1.1 SITE AREA	DEEMED TO COMPLY	PROPOSED	COMPLIANT
Min. lot area (m ²)	875	1596 (Existing)	Yes
Average lot area (m ²)	1000		Yes
Min. frontage (m)	20	25 (Existing)	Yes
Plot Ratio (Scheme)	less than 0.5	0.31	Yes

5.1.2 STREET SETBACK	DEEMED TO COMPLY	PROPOSED	COMPLIANT
Primary Street (m)	9	23-26	Yes

5.1.3 BOUNDARY SETBACK (NORTH)
- Setback has been continued as per the existing boundary setback.
- Setback adheres to the design principles, specifically the setback will not have an adverse impact on the neighbouring property.

5.1.3 BOUNDARY SETBACK (WEST)	DEEMED TO COMPLY	PROPOSED	COMPLIANT
Required Setback (m)	4.2	16.4	Yes

5.1.3 BOUNDARY SETBACK (SOUTH)	DEEMED TO COMPLY	PROPOSED	COMPLIANT
Required Setback (m)	2.8	6.6	Yes

5.1.4 OPEN SPACE	DEEMED TO COMPLY	PROPOSED	COMPLIANT
Required (%)	60	60	Yes

5.1.6 BUILDING HEIGHTS	DEEMED TO COMPLY	PROPOSED	COMPLIANT
Top of external wall (m)	6	6	Yes
Top of pitched roof (m)	9	7.5	Yes

5.2.1 SETBACK OF GARAGES AND CARPORT	DEEMED TO COMPLY	PROPOSED	COMPLIANT
Max frontage allowed (%)	50	10	Yes

5.3.3 PARKING	DEEMED TO COMPLY	PROPOSED	COMPLIANT
2 + bedroom dwelling, bays required	2	6	Yes

Note: 4 primary parking bays are provided in the basement garage. 2 visitor bays are provided at ground level as there is no street parking on either the main street or nearest secondary street close to the property.

MEAN NATURAL GROUND LEVEL	
North West Corner RL	28.6
North East Corner RL	23.1
South East Corner RL	19.8
South West Corner RL	25.1
Average RL	24.2

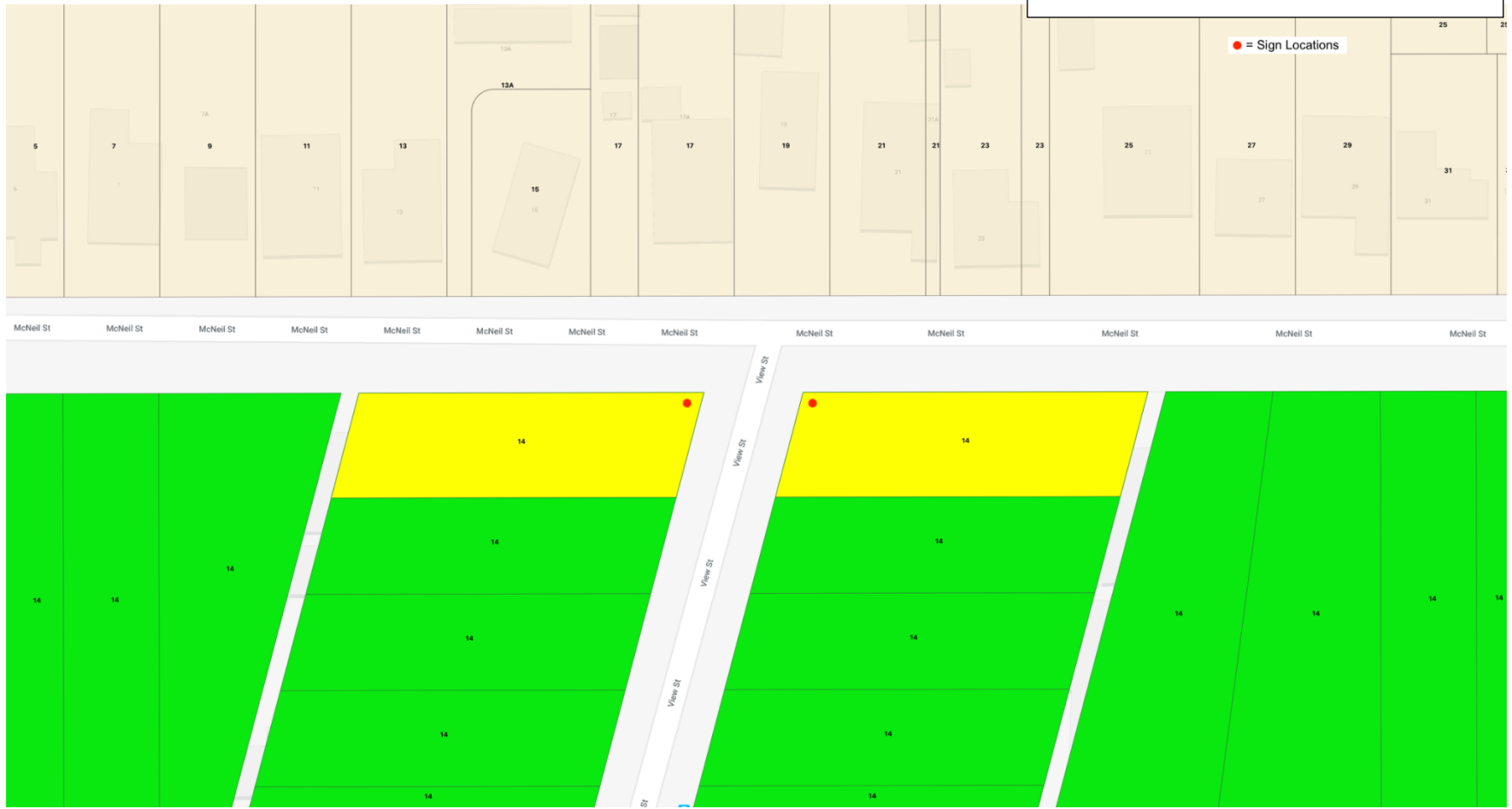




Ordinary Council Meeting

8.1.4 – PLC – Entry Signage Corner of
View and McNeil Street

**ITEM 8.1.4
ATTACHMENT ONE**

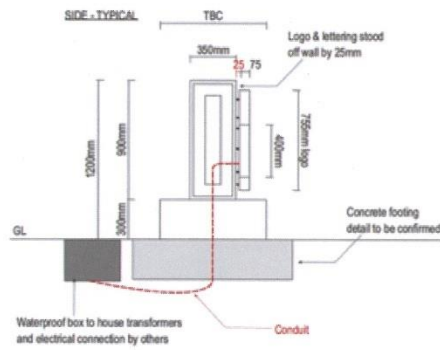


**ITEM 8.1.4
ATTACHMENT TWO**

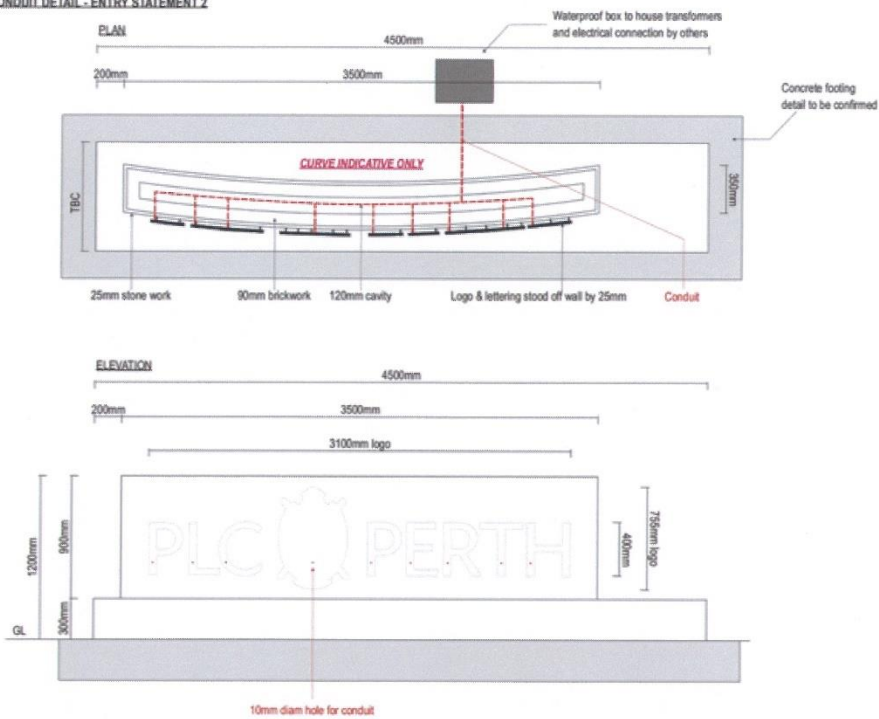
LOCATION



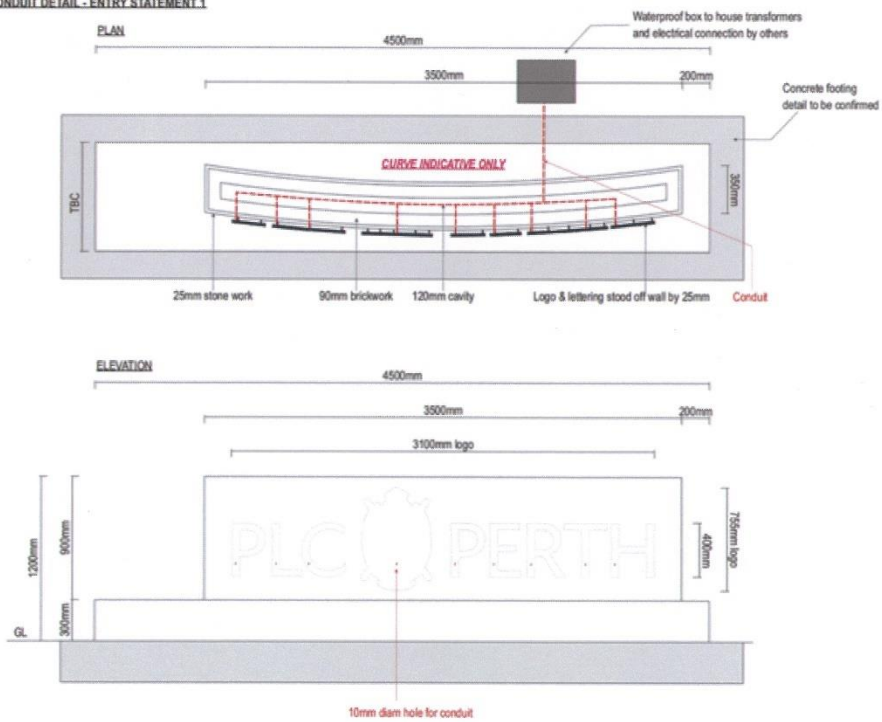
CONDUIT DETAIL



CONDUIT DETAIL - ENTRY STATEMENT 2

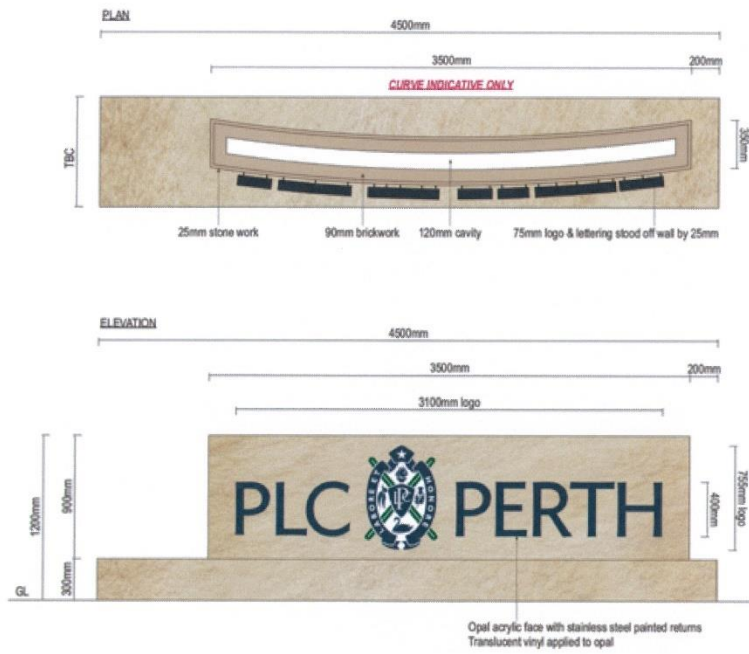


CONDUIT DETAIL - ENTRY STATEMENT 1



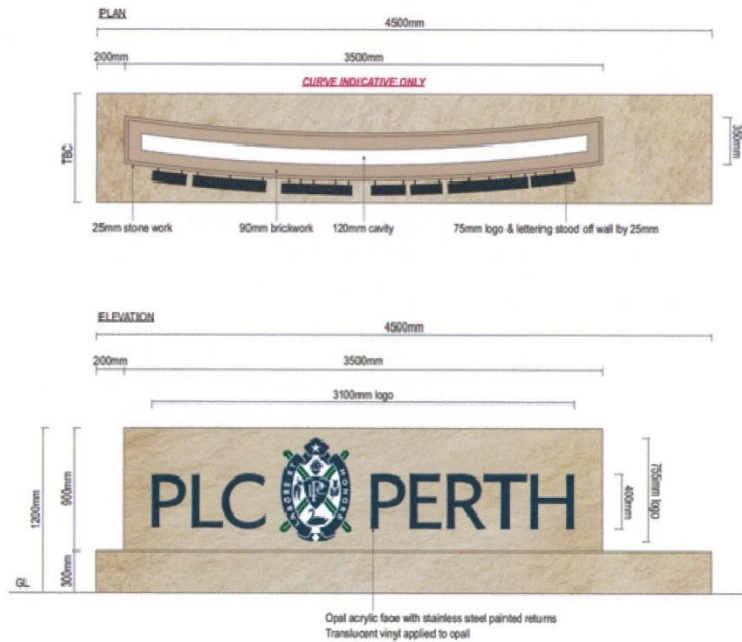
ENTRY STATEMENT 1

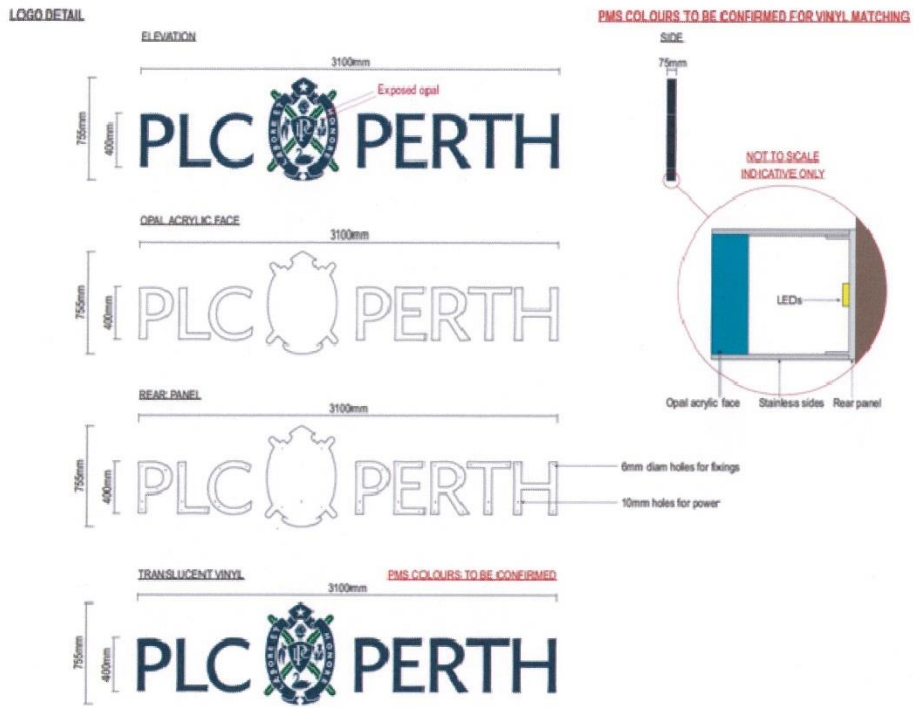
PMS COLOURS TO BE CONFIRMED FOR VINYL MATCHING



ENTRY STATEMENT 2

PMS COLOURS TO BE CONFIRMED FOR VINYL MATCHING





Rob Morrison

PaperScout

The Scout Hall 8 Murchison St Shenton Park WA 6008
m 0457 222 273 | studio 08 9381 5131 | paperscout.com.au



















**PART 3 — ZONES AND THE USE OF LAND
16. ZONES**

1. (1) The zones are delineated and depicted on the Scheme Map according to the legend on the Scheme Map.
2. (2) The objectives of each zone are as follows –

Table 2 - Zone Objectives

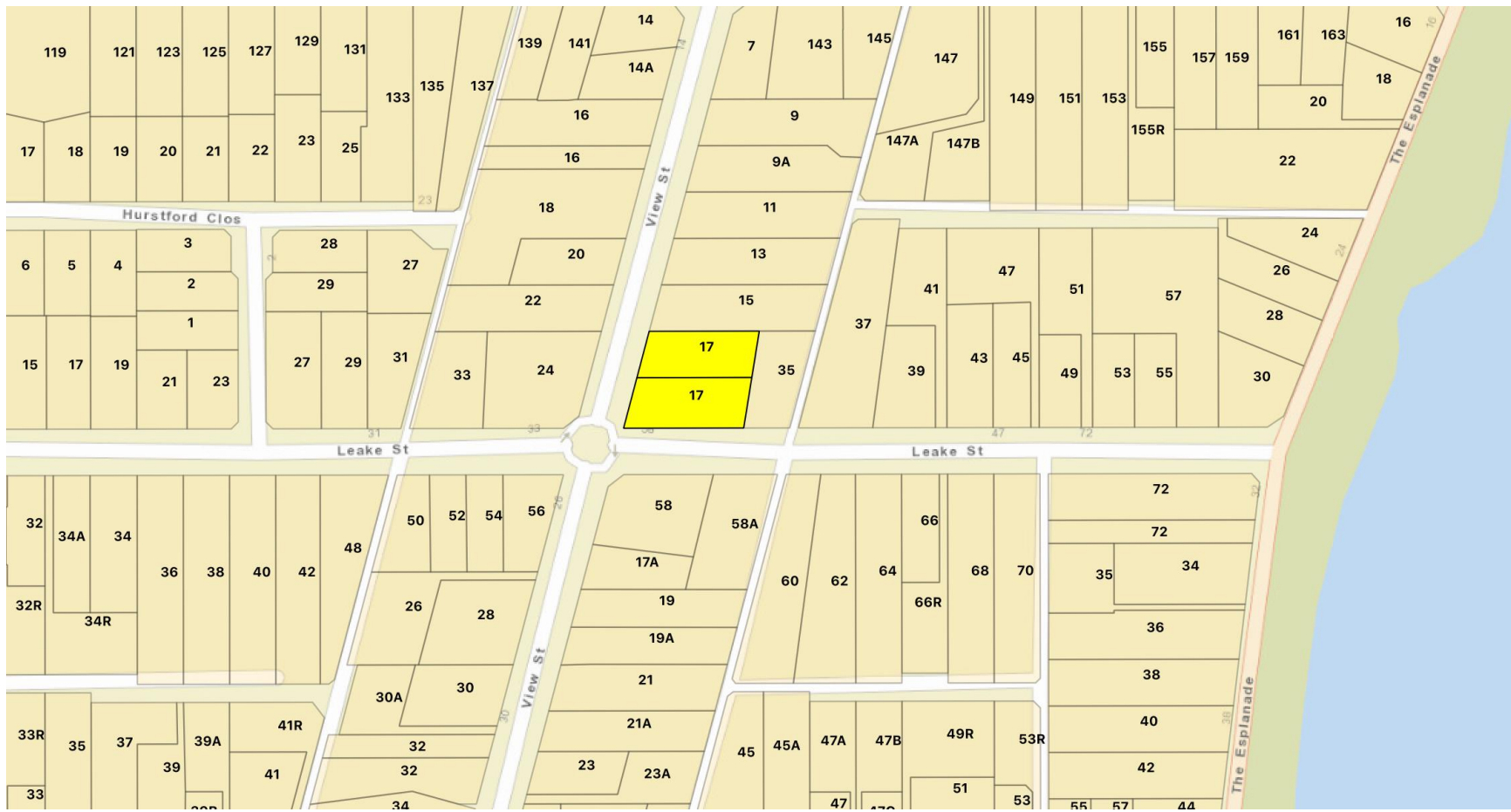
Private clubs, institutions and places of worship	<ul style="list-style-type: none">• To provide sites for privately owned and operated recreation, institutions and places of worship.• To integrate private recreation areas with public recreation areas wherever possible.• To provide for a range of privately-owned community facilities, and uses that are incidental and ancillary to the provision of those facilities, which are compatible with surrounding development.• To ensure that the standard of development is in keeping with surrounding development and protects the amenity of the area.
---	---



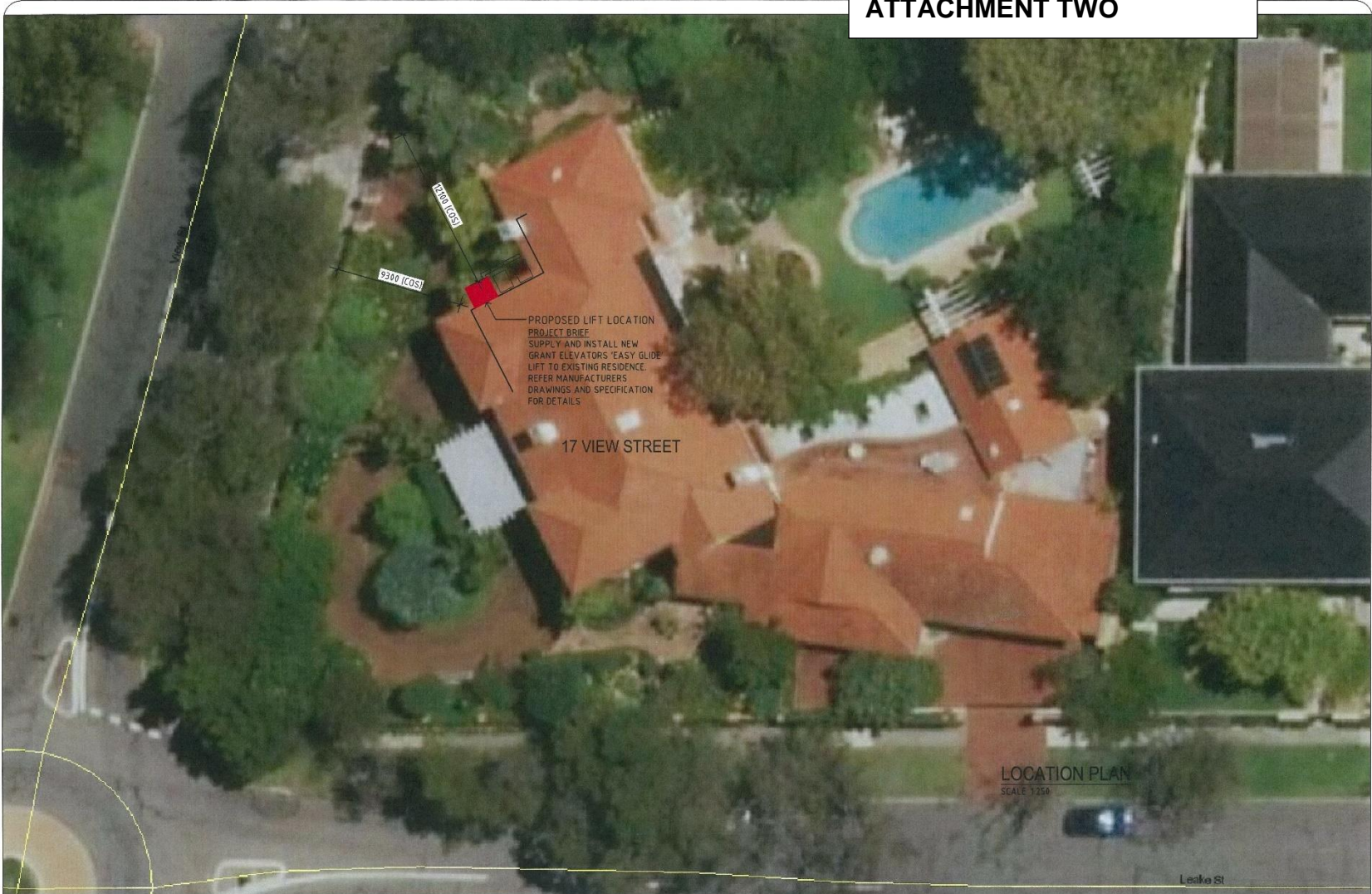
Ordinary Council Meeting

8.1.5 – 17 View Street – Installation of Elevator to Exterior of Single House.

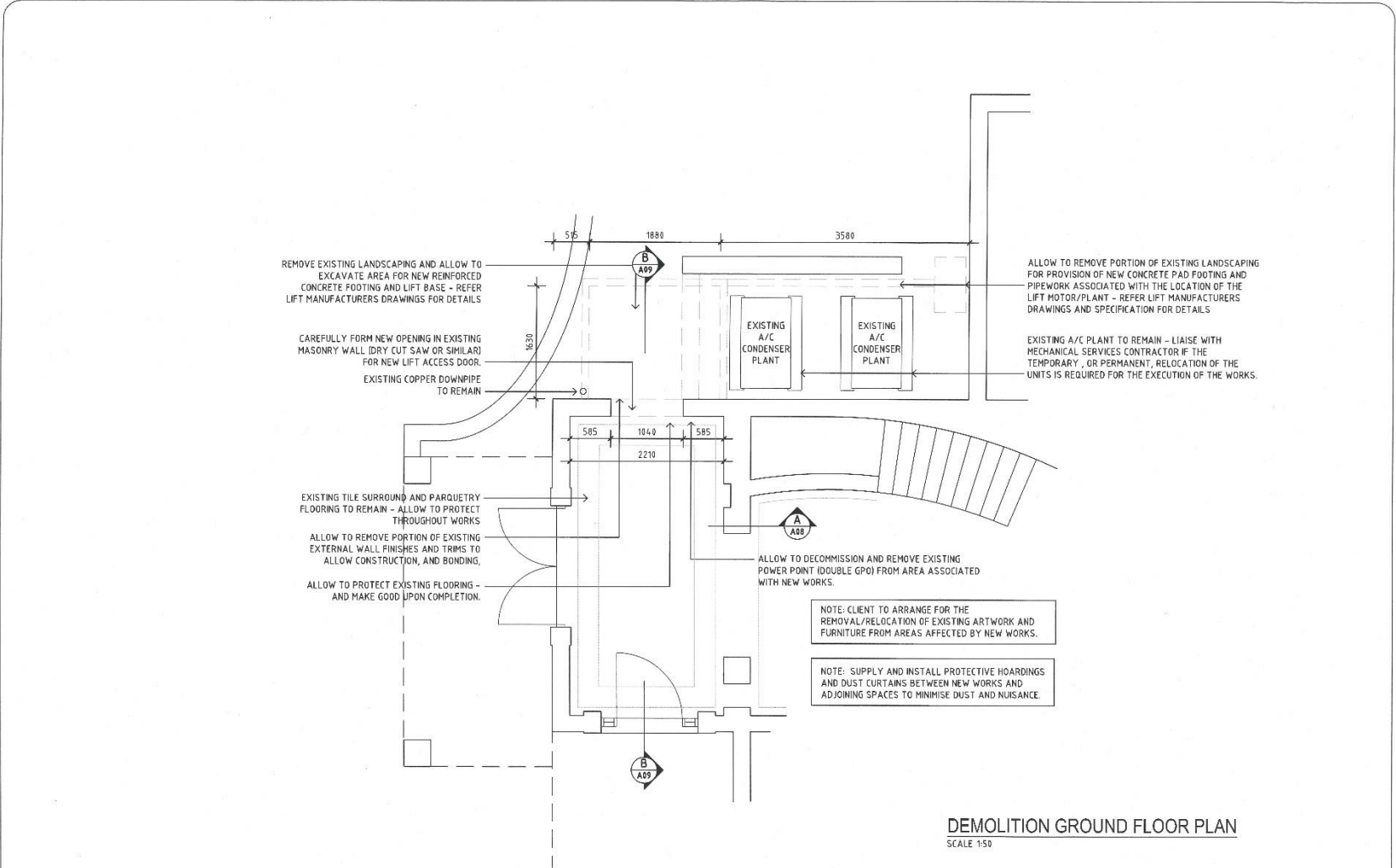
**ITEM 8.1.5
ATTACHMENT ONE**



**ITEM 8.1.5
ATTACHMENT TWO**

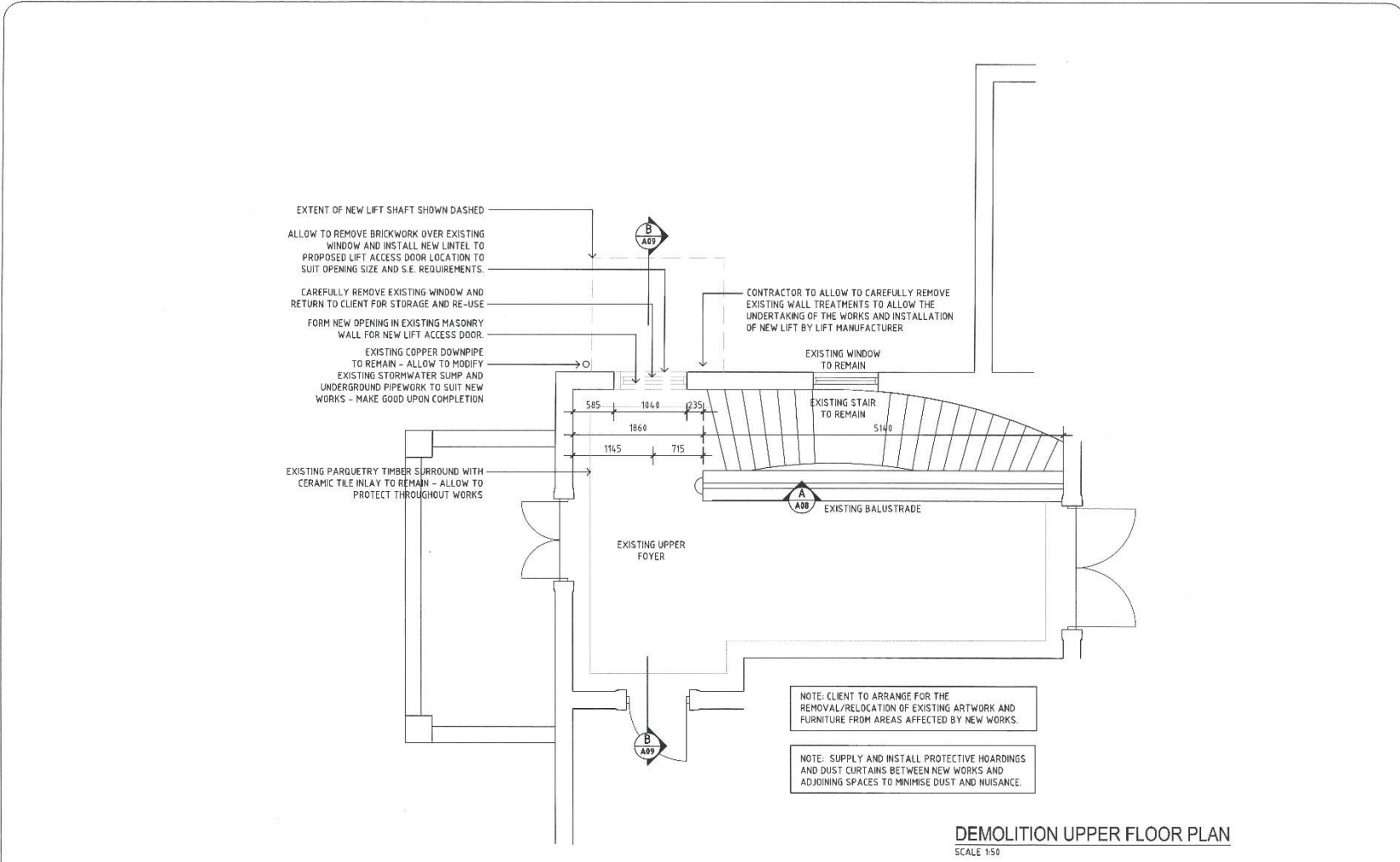


D	01.05.19	ISSUED FOR BUILDING PERMIT	<small>THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF SCRIBE BUILDING COMPLIANCE PTY LTD. THE INFORMATION AND CONTENT HEREIN IS PROVIDED AS A SERVICE TO OUR CLIENTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SCRIBE BUILDING COMPLIANCE PTY LTD. SCRIBE BUILDING COMPLIANCE PTY LTD. IS NOT RESPONSIBLE FOR ANY DAMAGE OR LOSS OF DATA OR PROFITS, DIRECT OR INDIRECT, ARISING FROM THE USE OF THIS DRAWING. ALL DIMENSIONS ARE TO BE TAKEN FROM THE FACE UNLESS OTHERWISE SPECIFIED. ANY DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE CHECKED ON SITE.</small>		ISSUED FOR BUILDING APPROVAL		DATE	MAY 2019	PROJECT PROPOSED LIFT INSTALLATION 17 VIEW STREET PEPPERMINT GROVE	ISSUE	BUILDING PERMIT				
C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT					SCALE	1:250 AT A3		DWG TITLE	LOCATION PLAN				
B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT					DRAWN	SPM		PROJECT No.	1907/0613	DRAWING No.	A01	REV.	D
A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT					CHECKED	SPM							



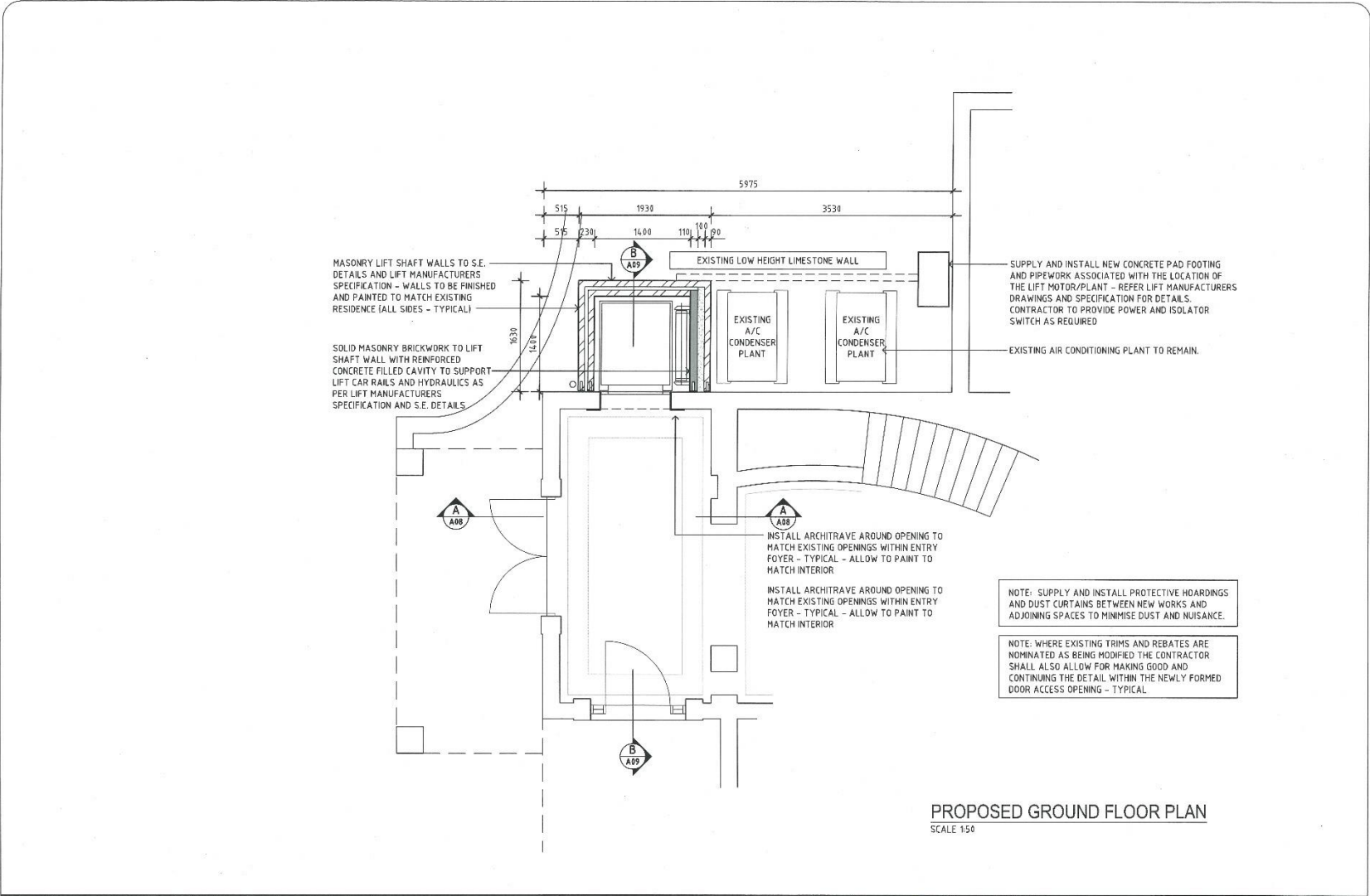
DEMOLITION GROUND FLOOR PLAN
SCALE 1:50

D	01.05.19	ISSUED FOR BUILDING PERMIT		ISSUED FOR BUILDING APPROVAL		DATE	MAY 2019	PROJECT	ISSUE			
C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT				SCALE	1:50 AT A3	PROPOSED LIFT INSTALLATION	BUILDING PERMIT			
B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT				DRAWN	SPM	17 VIEW STREET	DWG TITLE			
A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT				CHECKED	SPM	PEPPERMINT GROVE	DEMOLITION GROUND FLOOR PLAN			
							PROJECT NO.	1901/0613	DRAWING NO.	A04	REV.	D



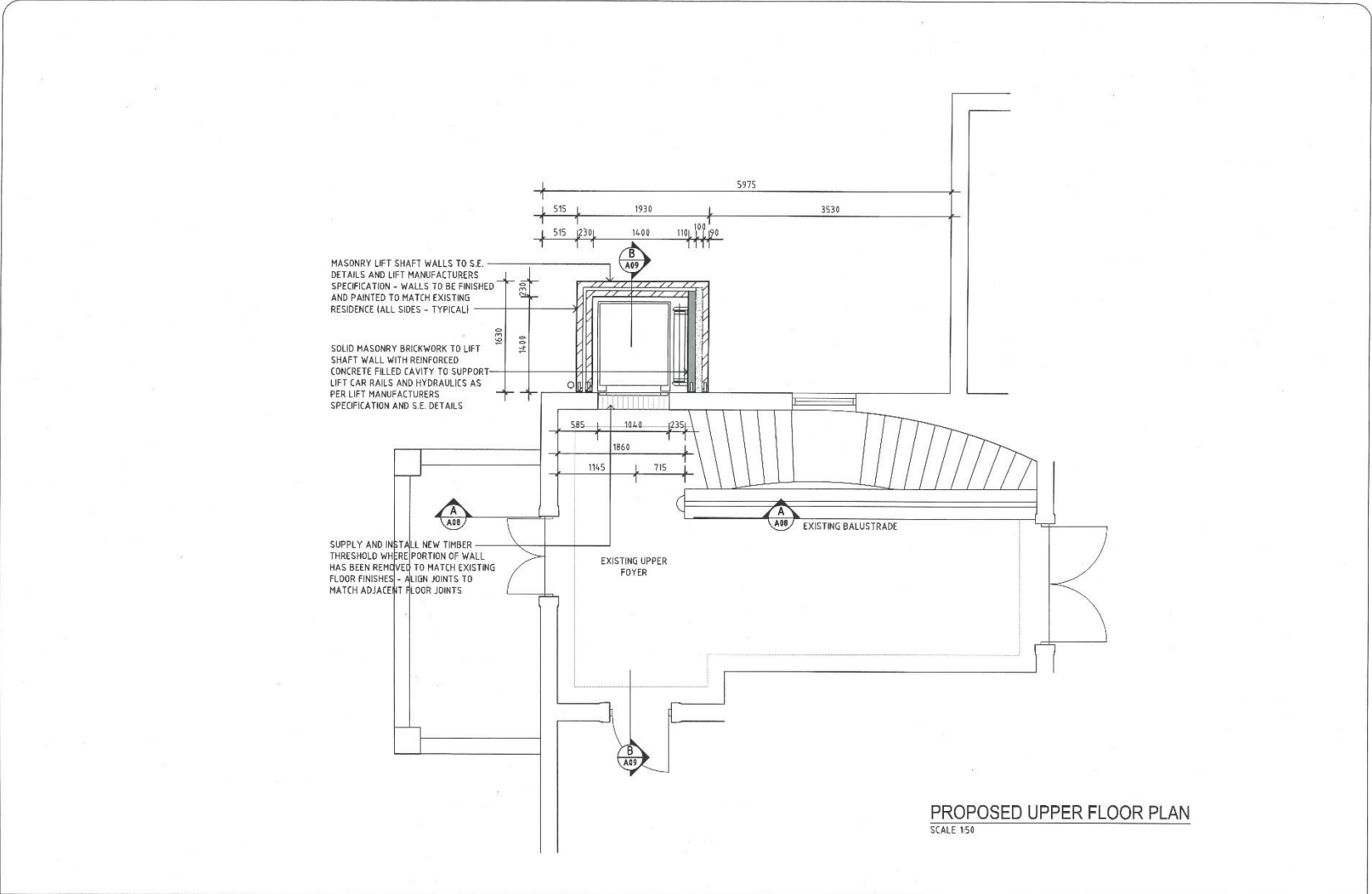
DEMOLITION UPPER FLOOR PLAN
SCALE 1:50

		THIS DRAWING IS SEPARATE AND THE PROPERTY OF SCRIBE DESIGN GROUP PTY LTD. THIS DRAWING MUST NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF SCRIBE DESIGN GROUP PTY LTD. NOT TO SCALE UNLESS OTHERWISE STATED. THIS DRAWING IS PREPARED TO BE USED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER SHALL BE RECTIFIED.		ISSUED FOR BUILDING APPROVAL		DATE MAY 2019 SCALE 150 AT A3 DRAWN SFH CHECKED SFH	PROJECT PROPOSED LIFT INSTALLATION 17 VIEW STREET PEPPERMINT GROVE	ISSUE BUILDING PERMIT END TITLE DEMOLITION UPPER FLOOR PLAN PROJECT No 180/10813 DRAWING No A05 REV D	
D	01.05.19	ISSUED FOR BUILDING PERMIT							
C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT							
B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT							
A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT							

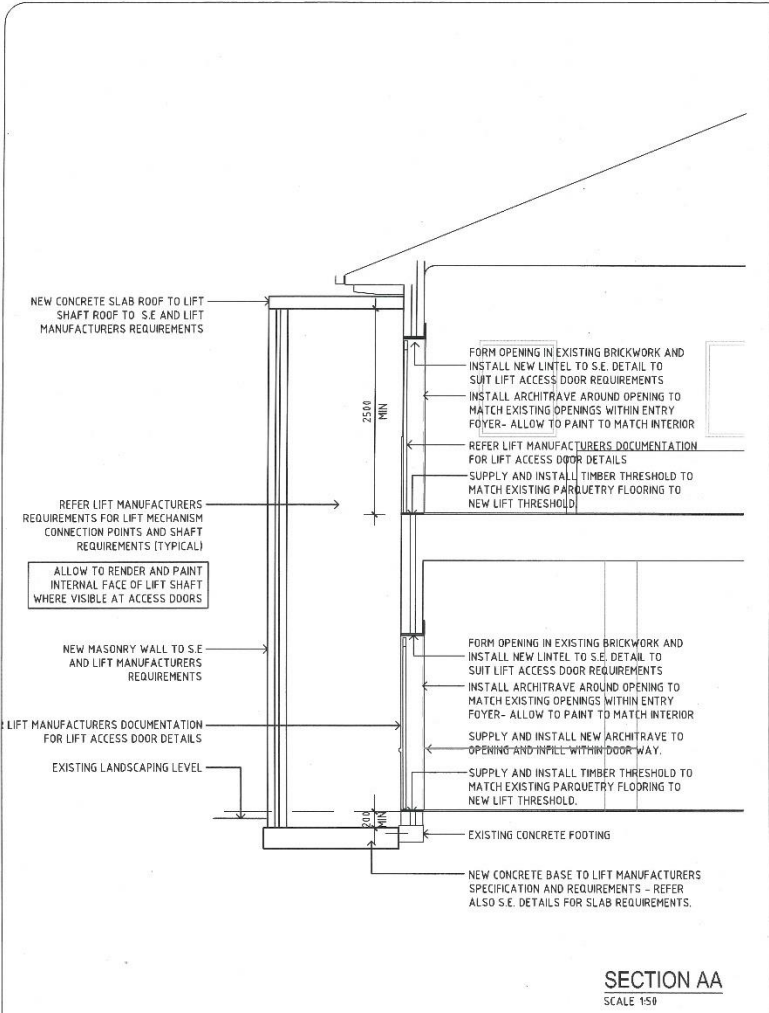


PROPOSED GROUND FLOOR PLAN
SCALE 1:50

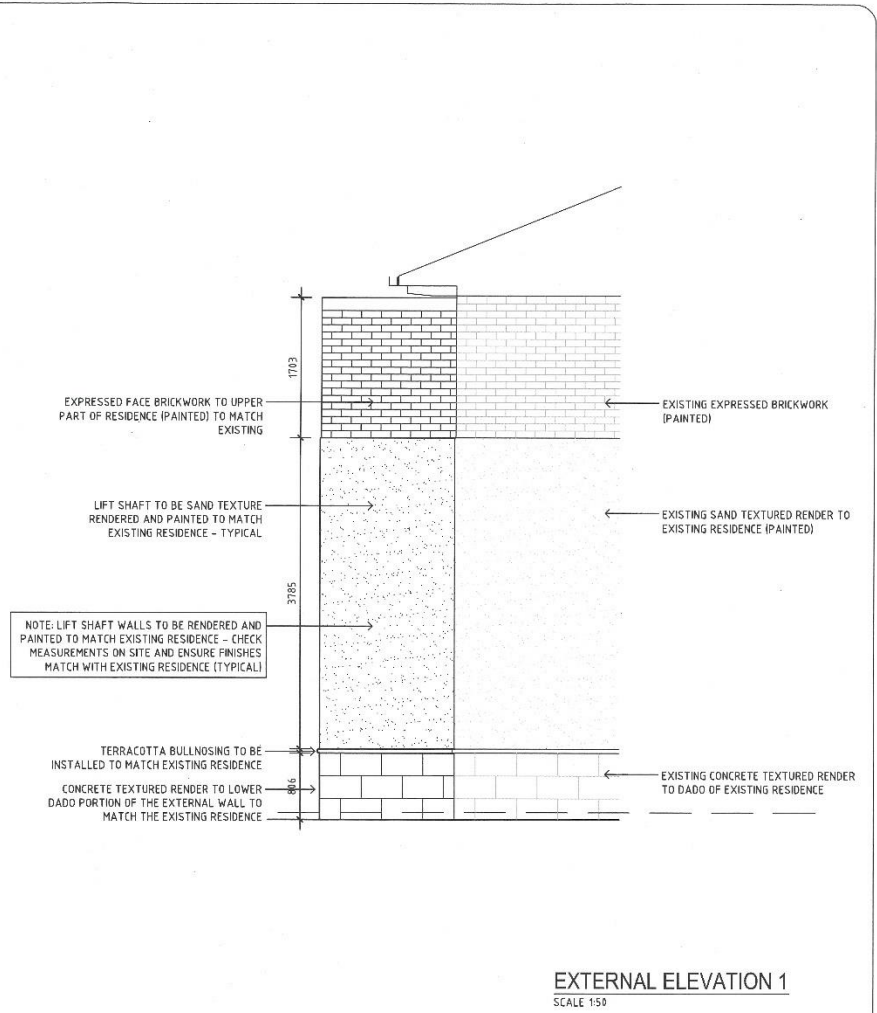
		THIS DRAWING IS THE PROPERTY OF Scribe Building Compliance Pty Ltd. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE. WITHOUT LIMITATION, ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT OR SITE IS STRICTLY PROHIBITED. ALL DIMENSIONS ARE TO UNLESS OTHERWISE SPECIFIED. ANY WORK IS TO BE DONE IN ACCORDANCE WITH THE DRAWING AND NOT TO SCALE.		ISSUED FOR BUILDING APPROVAL		DATE: MAY 2019 SCALE: 1:50 AT A3 DRAWN: SPM CHECKED: SPM	PROJECT: PROPOSED LIFT INSTALLATION 17 VIEW STREET PEPPERMINT GROVE	ISSUE: BUILDING PERMIT DRAWING TITLE: PROPOSED GROUND FLOOR PLAN PROJECT No: 1901/0813 DRAWING No: A05 REV: D
--	--	--	--	------------------------------	--	---	---	---



D	01.05.19	ISSUED FOR BUILDING PERMIT	THIS DRAWING IS PROPERTY OF Scribe Building Compliance and the property of Scribe Building Compliance Pty Ltd. This drawing may not be used, reproduced or amended without the written approval of Scribe Building Compliance Pty Ltd. To not scale this drawing also provisions are to be verified on site and any discrepancies reported before any work is undertaken and rectified.		ISSUED FOR BUILDING APPROVAL		DATE	MAY 2019	PROJECT	PROPOSED LIFT INSTALLATION	BBK	BUILDING PERMIT
C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT					SCALE	1:50 AT A3	PROJECT	PROPOSED UPPER FLOOR PLAN	BBK	FILE
B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT					DRAWN	SPH	PROJECT	17 VIEW STREET	BBK	PROJECT NO.
A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT					CHECKED	SPH	PROJECT	PEPPERMINT GROVE	BBK	DRAWING NO.
											REV	D

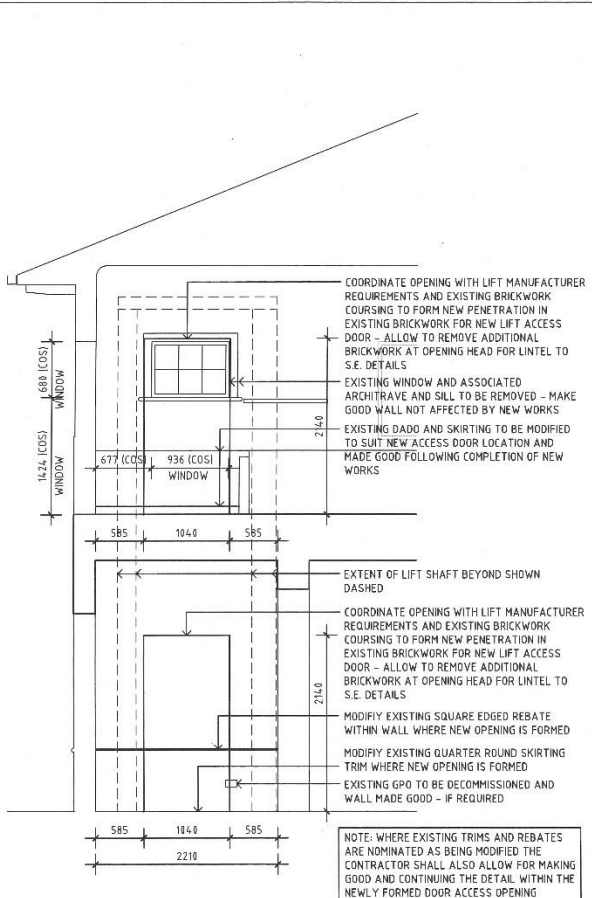


SECTION AA
SCALE 1:50

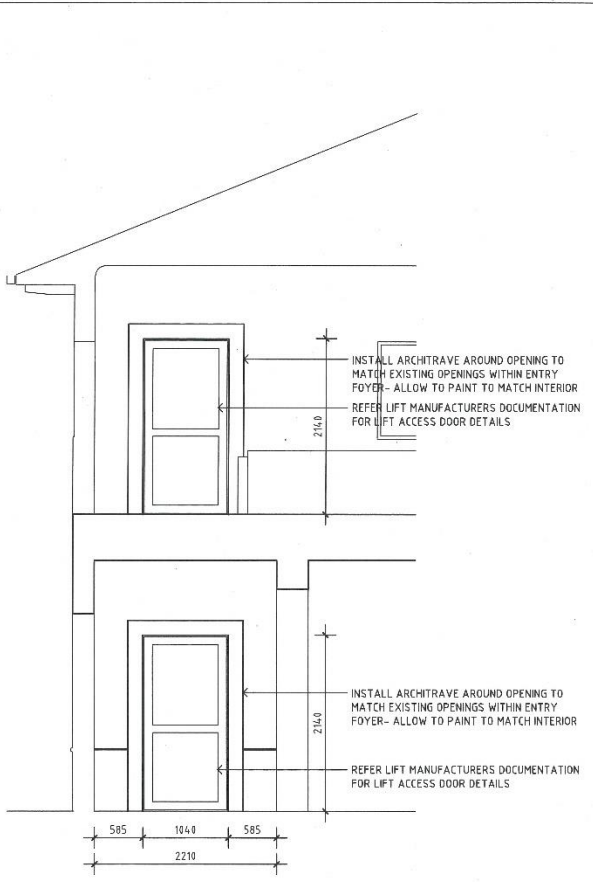


EXTERNAL ELEVATION 1
SCALE 1:50

<table border="1"> <tr> <td>D</td> <td>01.05.19</td> <td>ISSUED FOR BUILDING PERMIT</td> </tr> <tr> <td>C</td> <td>16.04.19</td> <td>ISSUED FOR CLIENT REVIEW AND COMMENT</td> </tr> <tr> <td>B</td> <td>15.04.19</td> <td>ISSUED FOR CLIENT REVIEW AND COMMENT</td> </tr> <tr> <td>A</td> <td>11.04.19</td> <td>ISSUED FOR CLIENT REVIEW AND COMMENT</td> </tr> </table>		D	01.05.19	ISSUED FOR BUILDING PERMIT	C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT	B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT	A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT	<p>THE DRAWING COPYRIGHT AND THE PROPERTY OF SCRIBE DESIGN GROUP PTY LTD. THIS DRAWING IS NOT TO BE REPRODUCED OR MENDED, IN PART OR WHOLE, IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SCRIBE DESIGN GROUP PTY LTD. OR ANY SCALE THIS DRAWING IS UNLAWFUL TO BE USED WITHOUT THE WRITTEN PERMISSION OF SCRIBE DESIGN GROUP PTY LTD. ANY OTHER PARTS OF THIS DRAWING ARE UNLAWFUL TO BE USED WITHOUT THE WRITTEN PERMISSION OF SCRIBE DESIGN GROUP PTY LTD.</p>	<p>ISSUED FOR BUILDING APPROVAL</p>		<p>DATE: MAY 2019 SCALE: 1:50 AT A3 DRAWN: SPH CHECKED: SPH</p>	<p>PROJECT: PROPOSED LIFT INSTALLATION 17 VIEW STREET PEPPERMINT GROVE</p>	<p>ISSUE: BUILDING PERMIT DRAW TITLE: SECTION AA PROJECT NO: 1907/0613 DRAWING NO: A03 REV: D</p>
D	01.05.19	ISSUED FOR BUILDING PERMIT																	
C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT																	
B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT																	
A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT																	

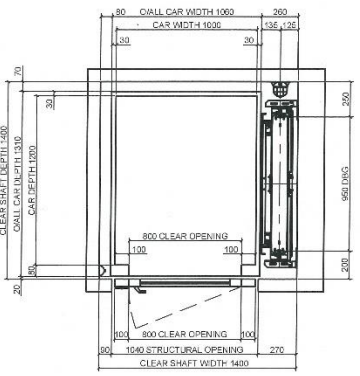


SECTION BB (INTERNAL ELEVATION) - DEMOLITION
SCALE 150

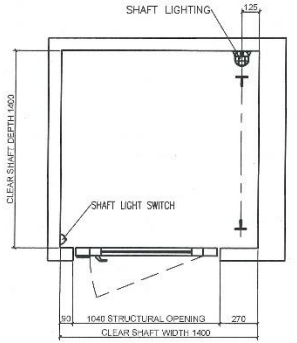


SECTION BB (INTERNAL ELEVATION) - PROPOSED
SCALE 150

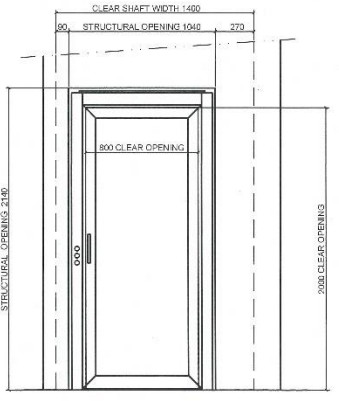
<table border="1"> <tr> <td>D</td> <td>01.05.19</td> <td>ISSUED FOR BUILDING PERMIT</td> </tr> <tr> <td>C</td> <td>16.04.19</td> <td>ISSUED FOR CLIENT REVIEW AND COMMENT</td> </tr> <tr> <td>B</td> <td>15.04.19</td> <td>ISSUED FOR CLIENT REVIEW AND COMMENT</td> </tr> <tr> <td>A</td> <td>11.04.19</td> <td>ISSUED FOR CLIENT REVIEW AND COMMENT</td> </tr> </table>		D	01.05.19	ISSUED FOR BUILDING PERMIT	C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT	B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT	A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT	<p>THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF SCRIBE DESIGN GROUP PTY LTD. THE DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SCRIBE DESIGN GROUP PTY LTD. IN THE EVENT OF ANY BREACH OF THIS DRAWING IS A CRIMINAL OFFENCE UNDER THE CRIMINAL JUSTICE ACT 1988 AND ANY OFFENCES APPLIED TO STATE ANY WORK OR OUP DRAWINGS ARE UNLAWFUL.</p>	<p>ISSUED FOR BUILDING APPROVAL</p>		<p>DATE: MAY 2019 SCALE: 150 AT A3 DRAWN: SPH CHECKED: SPH</p>	<p>PROJECT PROPOSED LIFT INSTALLATION 17 VIEW STREET PEPPERMINT GROVE</p>	<p>ISSUE: BUILDING PERMIT DRAWING TITLE: SECTION BB PROJECT No: 1907/0613 DRAWING No: A09 REV: D</p>
D	01.05.19	ISSUED FOR BUILDING PERMIT																	
C	16.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT																	
B	15.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT																	
A	11.04.19	ISSUED FOR CLIENT REVIEW AND COMMENT																	



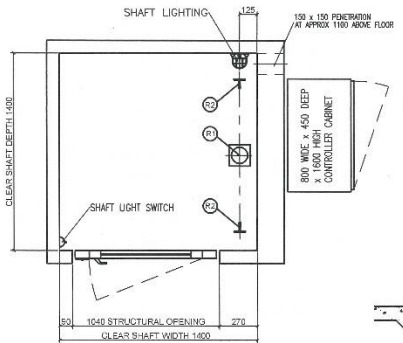
PLAN OF CAR IN SHAFT



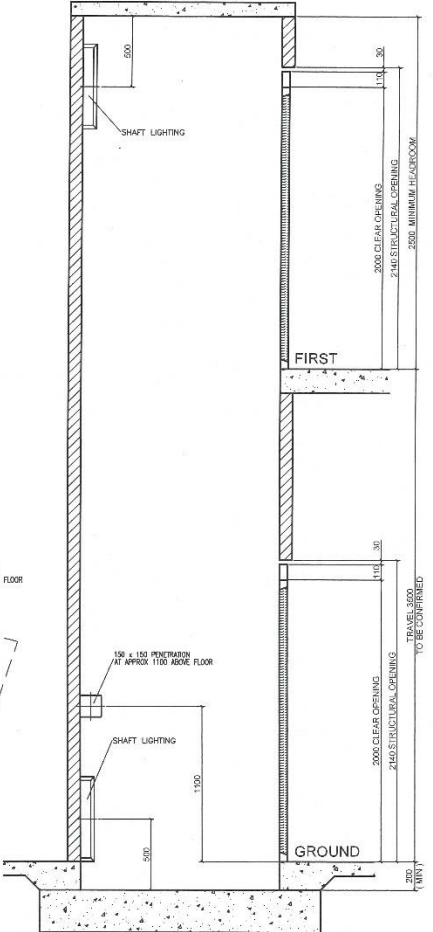
PLAN AT FIRST FLOOR LEVEL



TYPICAL STRUCTURAL OPENING DETAIL



PLAN AT GROUND FLOOR LEVEL



SECTION ELEVATION

Lift shaft to be square, plumb and flush to the dimensions shown on our drawings. The allowable building tolerance is +20mm to -5mm.
NOTE: The above tolerances do not apply to doorframes. Final location of the door/jamb may vary depending on the variations in shaft tolerances.
The shaft walls and pit floor must be capable of sustaining all applied loads as specified on our layout drawings.
Non-lift equipment must not be installed inside the lift shaft or machine room (i.e. air conditioning duct, utility pipes, security cables, power cables etc.)

- LIFT SHAFT**
 - 1.1 WATER PROOFING:** Water proof the lift pit & shaft. No seepage or damp areas are allowed. Water proof the machine room or area where the control cabinet is located. The controller is not provided with a water proof enclosure. The space in front of the controller is also required to be covered once sheared from the weather.
 - 1.2 LOAD BEARING WALLS:** Must be either poured concrete, or pre-cast concrete, or cast in situ reinforced block or steel columns as design by a structural engineer. Condy block walls are not suitable. Loads are shown on our drawings.
 - 1.3 SHIRT AND FIT FINISH:** A smooth plane surface shall be provided. Steps, the shaft and pit is sloped, chases, holes, patched and free of any construction debris and formwork marks or other protrusions. If your lift does not have our doors the wall above and below door openings will be visible from inside the lift car when travelling and should be considered when finishing the inside of the shaft.
 - 1.4 SHIRT ROOF:** Seal the top of the Lift Shaft with a solid, non-perforated, non-combustible, waterproof cover membrane fixed and independent of the main roof. The cover must sustain the load of a person, nominally 135 kg.
- 2. DOOR OPENINGS & PENETRATIONS**
 - 2.1 WEATHER AND WATER PROTECT LIFT LOBBY AREAS ON ALL FLOORS:** Provide weather and water protected lift lobbies. Landing doors are not and cannot be made water proof. An entrance and protection against wind driven rain is required where the doors are located in the open.
 - 2.2 WINDOW OPENINGS:** Window openings for doors must be formed to the dimensions and position shown on our draw. Window dimensions are to be taken from the finished floor level (FFL) not slab or rough floor level.
 - 2.3 PENETRATIONS:** Form penetrations for hall station bases and indicators as shown on our drawings.
 - 2.4 REINFORCING:** Form rebar across each door opening as shown on our drawings.
 - 2.5 SIKING GOOD:** Build it and make good to all lift door frames and penetrations. Finishing of ribs back to door frame by builder once frames are installed. Make good up to the lift door sills, the finished floor must be level with the do sill.
 - 2.6 FINISHED FLOOR LEVEL:** Mark the finished floor level in each door opening. The doors will be installed and set to this position. Additional costs will apply to adjust doors once they are fixed in position.
 - 2.7 ENTRANCE PROTECTION:** Supply, fit and maintain shaft protection barrettes to of shaft entrance in accordance with AS4431.
- 3. ELECTRICAL**
 - 3.1 Provide a dedicated single phase (240v), 32 amp supply to the lift motor area fed from the line side of the building main switch with its own circuit breaker in the main power board (in accordance with AS3000). Lift mains are to be terminated in a locally 1-phase breaker 1100mm high adjacent the location of the lift controller cabinet. Fire rated mains may be required in accordance with the relevant BCA.**
 - 3.2 Supply and fit inside the lift shaft, bulbhead or bunker light fittings with protection gaskets. Each light fitting requires a 1/2inch connection to the power supply. Light fixtures must be located inside the shaft adjacent to the top and both doors, and within close proximity to the lift controller cabinet.**
 - 3.3 Provide adequate lighting in the area the lift controller is located.**
 - 3.4 Provide a double GPO in close proximity to the lift controller cabinet.**
 - 3.5 Provide a single separate analogue telephone point within 200mm of the location of the lift controller cabinet. The pit shall not be an extension to the main house line. Single private residence only. In all other applications a separate dedicated phone line must be provided. All connection charges and line rental is by the builder / owner.**
- 4. MACHINE ROOM**
 - 4.1 WEATHERPROOF:** The controller cabinet is not water proof and cannot be installed outdoors. The control cabinet must be located in a dry, lift location out of the weather.
 - 4.2 CORDED HALLES:** Provide cord holes for hydraulic / electrical cables as shown on our drawings. Patch and make good cone holes.
 - 4.3 (Commercial / Public Applications) Supply and install a fire door with closer and night latch lock. Minimum door dimensions is 1800mm x 2000mm. The access door must open outwards from the machine room.**
 - 4.4 (Private Residence) Clear permanent access of 300mm x 2000mm clear must be provided in front of the lift control cabinet. The access door must open outwards from the machine room.**

- 5. GENERAL SITE REQUIREMENTS**
 - 5.1 Provide clear and safe site access in accordance with current Occupational Health & Safety requirements. Clear level access for delivery by tailgate loader or crane truck must be provided with access in to the storage area by pallet jacks. Extra cost will be incurred if a non-standard delivery is required.**
 - 5.2 Barrettes must be permanently fitted and clear of any scaffolding or obstructions prior to commencing installation.**
 - 5.3 Provide adequate, covered, dry and secure storage space for lift equipment onsite. The storage location must be within clear and accessible proximity to the lift shaft(s).**
 - 5.4 Provide crate bins (prior to starting installation) for rubbish and packaging disposal. We will place the rubbish and packaging in the bins provided but we do not offer rubbish removal. If bins are not available at the time of installation all packaging and rubbish will be left in the lift storage area and others will be responsible for removal from there.**
 - 5.5 We require uninterrupted use of the lift shaft and surrounding areas during installation and commissioning stages.**
 - 5.6 Staff amenities must be provided for and must include onsite, these include toilets and showers.**
 - 5.7 The client / builder is responsible for insurance and protection of the goods once delivered to site.**
 - 5.8 The client or builder must be available to inspect the car and doors for any scratches / damage once installation is at the end of the project. An acceptance of finishes through sign off form will be provided prior to installation. If it inspection check list is not signed off then client / builder accepts the finish.**

TECHNICAL SCHEDULE			
TYPE OF LIFT	DAILY GUIDE	SPED	1.31 mps
RATED LOAD	400 kg	No. OF FLOORS	2
PASSENGERS	3	No. OF SERVICES	2 POINT

CAR GUIDES LOADS		LOADS ON THE FIT (NOT SIMULTANEOUS)	
GUIDE RAIL LOADS		R1: 1596 daN	R5: 0000 daN
Fx daN 348	Fy	R2: 913 daN	R6: 0000 daN
Fy daN 72	Fx	R3: 0000 daN	R7: 0000 daN
		R4: 0000 daN	R8: 0000 daN

All designs and information contained in this drawing remain our sole property and must neither be reproduced, copied nor passed on to third parties without our specific consent.

GRANT ELEVATORS
GRANT ELEVATOR SALES
9-11 CLINE ST BAYSWATER
WESTERN AUSTRALIA 6053
TEL: (08) 9379 3465
FAX: (08) 9379 34366

BUILDERS WORK DETAILS			
LIFT FOR:	BUNNING RESIDENCE		
SITUATED AT:	17 NEW STREET PEPPERMIN GROVE		
SCALE:	1:10	DRAWN:	OK
DATE:	3 APRIL 2019	CHECKED:	
CONTR. No.		DRG. No.	



APPROVED BY:	
NAME:	
DATE:	



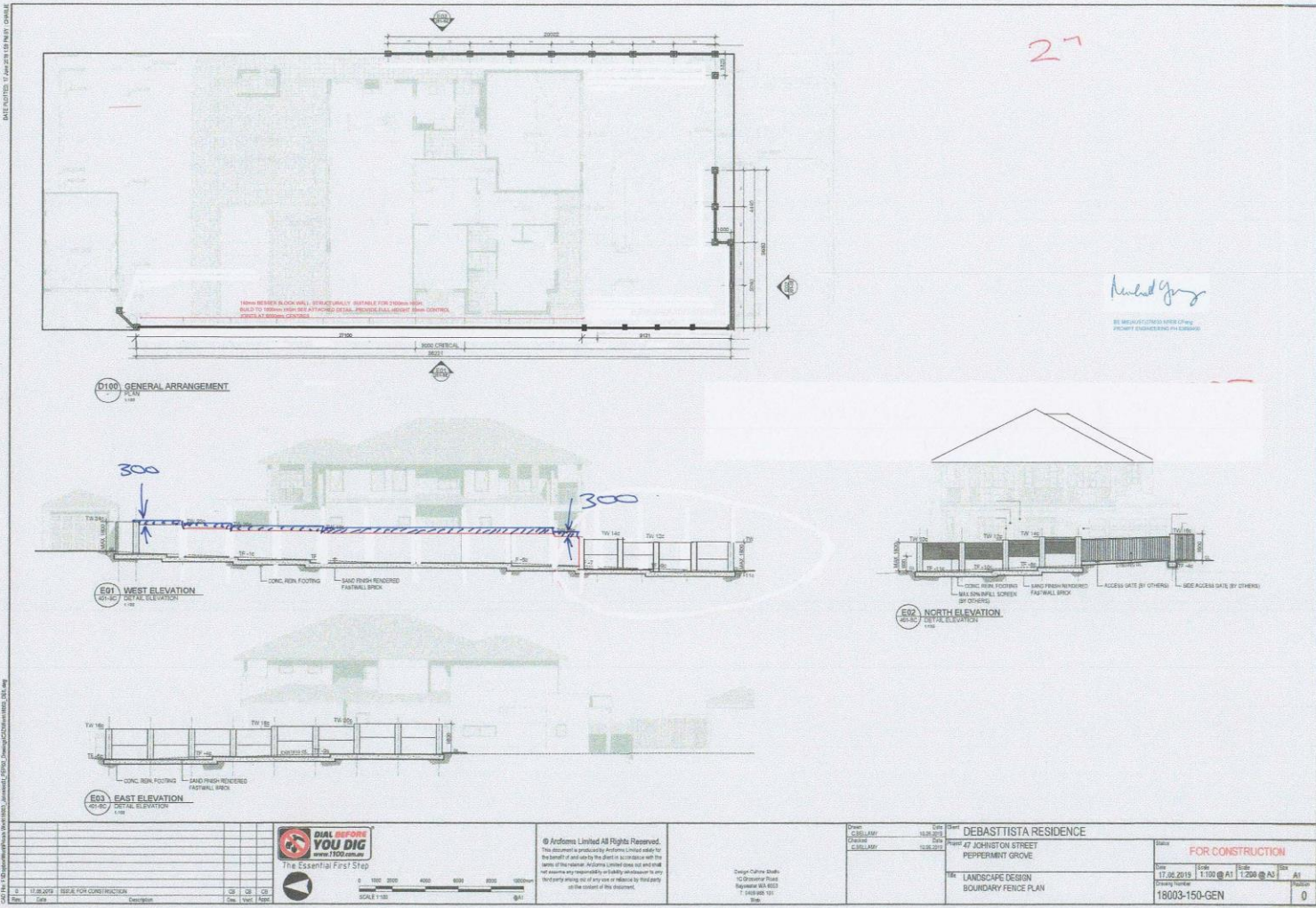
Ordinary Council Meeting

8.1.6 – 47 Johnston Street –
Modifications to Boundary Brick
Wall/Fence (BA2019/00023)

**ITEM 8.1.6
ATTACHMENT ONE**



**ITEM 8.1.6
ATTACHMENT TWO**





Ordinary Council Meeting

8.4.1 – Financial Report – June 2019

SHIRE OF PEPPERMINT GROVE
Statement of Financial Activity
for the period 1 July 2018 to 30 June 2019

	ADOPTED BUDGET 2018/19	REVISED BUDGET 2018/19	YTD BUDGET 2018/19	YTD ACTUAL 2018/19	VARIANCE \$ Actual v YTD Budget	VARIANCE % Actual v YTD Budget	FORECAST ACTUAL 2018/19
Operating Revenue							
FEES & CHARGES	229,165	213,165	213,165	247,682	34,517	16%	245,997
GRANTS & SUBSIDIES	117,282	236,611	236,611	286,731	50,120	21%	162,724
CONTRIBUTIONS, REIMBURSEMENTS	1,260,046	1,305,026	1,305,026	1,295,849	(9,177)	-1%	1,307,488
INTEREST ON INVESTMENTS	53,000	61,200	61,200	63,756	2,556	4%	63,423
OTHER REVENUE	11,250	14,250	14,250	16,585	2,335	16%	16,553
PROFIT ON SALE OF ASSETS	0	0	0	0	0		0
	1,670,743	1,830,252	1,830,252	1,910,602	80,350	4%	1,796,185
Operating Expenses							
EMPLOYEE COSTS	(2,241,641)	(2,291,354)	(2,291,354)	(2,266,490)	24,864	-1%	(2,272,305)
MATERIALS & CONTRACTS	(1,853,519)	(1,967,879)	(1,967,879)	(1,794,115)	173,764	-9%	(1,862,701)
PUBLIC UTILITIES	(130,043)	(130,043)	(130,043)	(123,394)	6,649	-5%	(126,563)
DEPRECIATION	(386,563)	(386,563)	(386,563)	(439,982)	(53,419)	14%	(439,982)
INTEREST EXPENSES	(61,030)	(61,030)	(61,030)	(58,478)	2,552	-4%	(61,030)
INSURANCES	(94,256)	(94,256)	(94,256)	(94,309)	(53)	0%	(94,309)
LOSS ON SALE OF ASSETS	0	0	0	0	0		0
OTHER EXPENSES	(77,250)	(69,750)	(69,750)	(61,930)	7,820	-11%	(69,750)
	(4,844,302)	(5,000,875)	(5,000,875)	(4,838,699)	162,176	-3%	(4,926,640)
CHANGE IN NET ASSETS	(3,173,559)	(3,170,623)	(3,170,623)	(2,928,097)	242,526	-8%	(3,130,455)
Adjustments for Non-Cash (Revenue) and Expenditure							
(Profit)/Loss on Asset Disposals	0	0	0	0	0		
Depreciation on Assets	386,563	386,563	386,563	439,982	53,419	14%	439,982
	386,563	386,563	386,563	439,982	53,419		439,982
Capital Expenditure							
Land & Buildings	0	0	0	0	0		0
Plant and Equipment	(164,500)	(164,500)	(164,500)	(130,852)	33,648	-20%	(130,852)
Furniture & Equipment	0	(35,000)	(35,000)	(4,208)	30,792	-88%	(40,000)
Infrastructure Assets - Roads	(270,000)	(150,000)	(150,000)	(159,413)	(9,413)	6%	(159,413)
Infrastructure Assets - Other	(20,000)	(206,600)	(206,600)	0	206,600	-100%	0
Infrastructure Assets - Footpaths	(50,000)	(170,000)	(170,000)	(17,668)	152,332	-90%	(170,000)
Infrastructure Assets - Parks & Reserves	0	0	0	0	0		0
Infrastructure Assets - Drainage	(9,000)	(9,000)	(9,000)	(4,323)	4,677	-52%	(4,323)
	(513,500)	(735,100)	(735,100)	(316,463)	418,637	-57%	(504,588)
Capital Revenue							
Proceeds from Disposal of assets	130,000	130,000	130,000	100,455	(29,545)	-23%	100,455
Debt Management							
Repayment of Debentures	(27,701)	(27,701)	(27,701)	(27,701)	0	0%	(27,701)
Reserves and Restricted Funds							
Transfers to Reserves	(200,300)	(197,850)	(197,850)	(119,810)	78,040	-39%	(119,810)
Transfers from Reserves	22,920	141,220	141,220	0	(141,220)	-100%	0
	(177,380)	(56,630)	(56,630)	(119,810)	(63,180)		(119,810)
Net Current Assets July 1 B/Fwd	234,565	234,565	234,565	234,565	(0)	0%	234,565
Net Current Assets Year to Date	81,992	78	78	628,499	628,421	805668%	238,017
Amount Raised from Rates	3,223,004	3,239,004	3,239,004	3,245,569	6,565	0%	3,245,569

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2018 to 30 June 2019

1 Basis of Accounting

This financial report is a special-purpose financial report, which has been prepared in accordance with applicable Australian Accounting Standards, the Local Government Act 1995 (as amended) and accompanying regulations. The report has been prepared on an accrual basis under the convention of historical cost accounting.

2 Net Current Assets

	YTD ACTUAL 2018/19	C/FWD 1 July 2018
CURRENT ASSETS		
Cash - Unrestricted	784,082	327,696
Cash - Restricted	1,331,817	1,212,006
Receivables	55,469	96,840
	2,171,367	1,636,542
CURRENT LIABILITIES		
Sundry Creditors	(195,838)	(174,757)
Leave Provisions	(188,779)	(188,779)
	1,786,751	1,273,006
Less: Cash - Reserves - Restricted	(1,331,817)	(1,212,006)
Add: Current Liabilities not cleared	173,565	173,565
NET CURRENT ASSET POSITION	628,499	234,565

SHIRE OF PEPPERMINT GROVE

Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2018 to 30 June 2019

3 Reserves

	YTD ACTUAL 2018/19	BUDGET 2018/19
(a) Roads Reserve		
<i>To be used for</i>		
Opening Balance	375,365	375,365
Amount Set Aside / Transfer to Reserve	0	
Amount Used / Transfer from Reserve	0	0
Interest Received	9,991	9,384
	385,356	384,749
(b) Library Infrastructure Reserve		
<i>To be used for</i>		
Opening Balance	10,668	10,668
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
Interest Received	284	267
	10,952	10,935
(c) Staff Leave reserve		
<i>To be used for</i>		
Opening Balance	144,512	144,512
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(22,920)
Interest Received	3,847	3,613
	148,359	125,205
(d) Infrastructure/Bld Mtce Reserve		
<i>To be used for</i>		
Opening Balance	550,537	550,537
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(103,300)
Interest Received	14,654	13,763
	565,191	461,000
(e) Plant Reserve		
<i>To be used for</i>		
Opening Balance	20,000	20,000
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	0	0
Interest Received	532	500
	20,532	20,500
(f) Legal Costs Reserve		
<i>To be used for</i>		
Opening Balance	85,000	85,000
Amount Set Aside/Transfer to Reserve	70,000	150,000
Amount Used/Transfer from Reserve	0	0
Interest Received	2,263	2,125
	157,263	237,125
(g) Information Technology Reserve		
<i>To be used for</i>		
Opening Balance	23,066	23,066
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	0	(15,000)
Interest Received	614	577
	23,680	8,643

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2018 to 30 June 2019

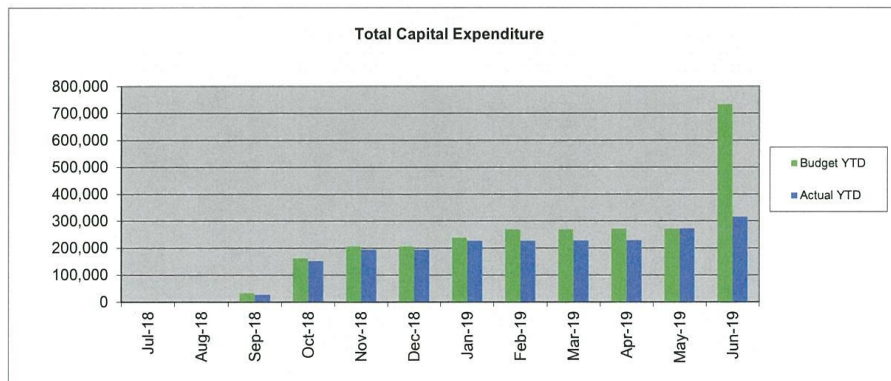
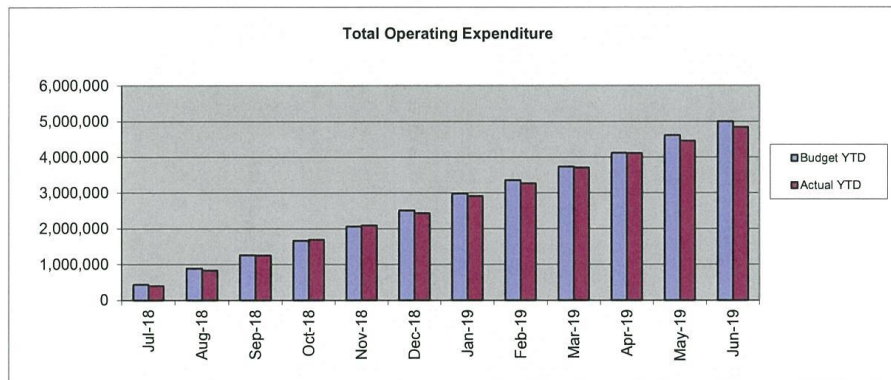
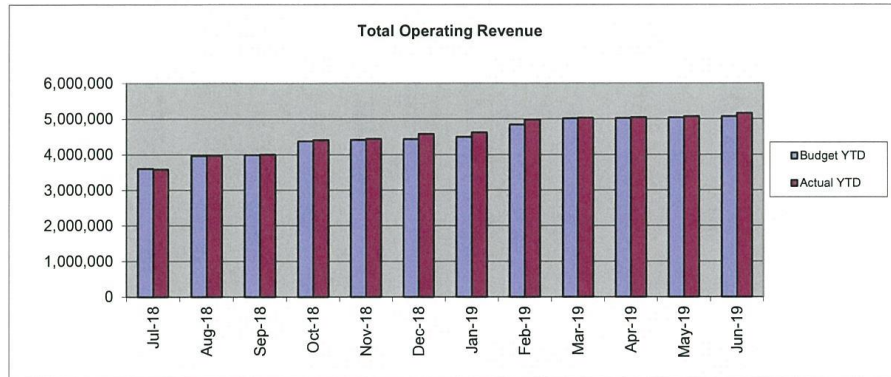
4 Cash and Investments

	OPENING BALANCE 2018/19	MOVEMENT	CLOSING BALANCE 2018/19
Restricted Cash Investments			
Library Projects Reserve	10,668.00	283.95	10,951.95
Infrastructure/Building Mtce	550,537.00	14,653.85	565,190.85
Plant Reserve	20,000.00	532.35	20,532.35
IT Reserve	23,066.00	613.95	23,679.95
Road Works reserve	375,365.00	9,991.24	385,356.24
Staff Leave Reserve	144,512.00	3,846.77	148,358.77
Arts/Culture Reserve	2,858.00	17,626.09	20,484.09
Legal Costs Reserve	85,000.00	72,262.50	157,262.50
Total Reserves	1,212,006.00	119,810.70	1,331,816.70
Unrestricted Cash/Investments			
Municipal Fund	326,895.99	456,386.09	783,282.08
Petty Cash	800.00	0.00	800.00
Term Deposit Municipal	0.00	0.00	0.00
	327,695.99	456,386.09	784,082.08

Fund and TD Number	Amount Invested	Start Date	Maturity Date	Term (Days)	Interest Rate %	Expected Interest
Reserves	1,331,816.69	24/06/2019	24/09/2019	92	2.00%	6,713.82
Reserves Interest Receivable						6,713.82
Municipal Interest Receivable						0.00

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2018 to 30 June 2019

5 Revenues and Expenditures



CAPITAL EXPENDITURE 2018/19
(as at 30 JUNE 2019)

Proposed Date of Project	Description	EXPENDITURE		SOURCE OF FUNDS - BUDGET				SOURCE OF FUNDS - ACTUALS			
		2018/19 Budget	2018/19 Actual	2018/19 Grants	2018/19 Trade-In	2018/19 Reserves	2018/19 Muni.*	2018/19 Grants	2018/19 Trade-In	2018/19 Reserves	2018/19 Muni.*
April 2019	IT EQUIP./PARTITIONING	35,000	4,208			15,000	20,000			15,000	20,000
TOTAL FURNITURE & EQUIPMENT		35,000	4,208	0	0	15,000	20,000	0	0	15,000	20,000
November 2018	FORD RANGER	43,500	42,051		39,000		4,500		38,182		3,869
November 2018	TOYOTA HILUX	33,000	32,727		31,000		2,000		31,136		1,591
January 2019	SKODA OCTAVIA	30,000	0		27,000		3,000				0
June 2019	TOYOTA HILUX	33,000	32,727		31,000		2,000		31,136		1,591
August 2018	KUBOTA/TRACTOR/MOWER/B'HOE	25,000	23,346		2,000		23,000				23,346
TOTAL PLANT & EQUIPMENT		164,500	130,852	0	130,000	0	34,500	0	100,455	0	30,397
August 2018	SUMP FENCE	9,000	4,323				9,000				4,323
TOTAL DRAINAGE INFRASTRUCTURE		9,000	4,323	0	0	0	9,000	0	0	0	4,323
October 2018	THE ESPLANADE (KEANE TO IRVINE)	130,000	124,791	80,867			49,133	80,867			43,924
May 2019	HARVEY STREET	0	10,000				0				10,000
May 2019	KERBING	20,000	24,622				20,000				24,622
TOTAL ROADS		150,000	159,413	80,867	0	0	69,133	80,867	0	0	78,546
May 2019	FOOTPATHS	170,000	17,668				170,000				11,685
TOTAL FOOTPATHS		170,000	17,668	0	0	0	170,000	0	0	0	11,685
June 2019	DEPOT FENCE	0	0				0				0
June 2019	RIVER HEADLAND	206,600	0	103,300			103,300				0
TOTAL OTHER INFRASTRUCTURE		206,600	0	103,300	0	0	103,300	0	0	0	0
Grand Total		735,100	316,463	184,167	130,000	15,000	405,933	80,867	100,455	15,000	144,950
				735,100				341,272			
RENEWAL CAPEX		519,500	307,932								
NEW CAPEX		215,600	8,531								
Grand Total		735,100	316,463								

Renewal CAPEX net of trade-ins	389,500	207,477
Estimated depreciation expenses	439,982	439,982
Asset Sustainability Ratio	0.89	0.47



Ordinary Council Meeting

8.4.2 – Accounts Paid – June 2019

ACCOUNTS PAID - JUNE 2019

EFT No.	Vendor Name	Details	EFT Amount	Payment Date
290	WESTERN METROPOLITAN REGIONAL COUNCIL	BIN COUNT PROJECT	1,330.43	11/06/2019
290	EASIFLEET	NOVATED LEASE PAYROLL DEDUCTION-MCS	496.78	11/06/2019
290	OPEN SYSTEMS TECHNOLOGY PTY LTD (COUNCIL FIRST)	AVEPOINT CLOUD RECORDS IMPLEMENTATION	19,250.00	11/06/2019
290	SUEZ RECOVERY & RECYCLING (PERTH) PTY LTD	DEPOT BULK BIN COLLECTIONS - 5 WEEKS	357.06	11/06/2019
290	WA SUPERANNUATION	PAYROLL DEDUCTIONS & COUNCIL CONTRIBUTIONS	27,791.41	11/06/2019
290	WINC AUSTRALIA PTY LTD	LIBRARY STATIONERY	108.01	11/06/2019
290	BUNNINGS TRADE	POWER TOOLS	637.00	11/06/2019
290	AUSTRALIAN TAXATION OFFICE	GST/PAYG TAX - MAY 2019	17,836.00	11/06/2019
290	ENVIRO SWEEP PTY LTD (EWCS)	STREET SWEEPING - MAY	1,203.40	11/06/2019
290	TEMPTATIONS CATERING	CATERING- OCM 28.5.19	413.20	11/06/2019
290	STRATA GREEN	HORTICULTURAL SUPPLIES	747.37	11/06/2019
290	BENARA NURSERIES	ASSORTMENT OF SHRUBS & TREES	563.42	11/06/2019
290	AXIIS CONTRACTING PTY LTD	FOOTPATH REPAIRS - STIRLING HWY	6,581.30	11/06/2019
290	GREAT SOUTHERN TOYOTA	NET REPLACEMENT OF TOYOTA HILUX	1,750.00	11/06/2019
290	COTTESLOE PEST CONTROL	SHIRE OFFICE - COASTAL BROWN ANT TREATMENT	495.00	11/06/2019
290	CATE PATTISON RESEARCH SERVICES	ORAL HISTORY INTERVIEWS	1,500.00	11/06/2019
290	DIGITALES	SUBSCRIPTION TO "WHO ELSE WRITES LIKE..."	682.00	11/06/2019
290	TOWN OF COTTESLOE	ANZAC DAY WREATH	120.00	11/06/2019
290	BOLINDA DIGITAL PTY LTD	LIBRARY E-RESOURCE SUBSCRIPTION	3,564.00	11/06/2019
290	SALARY PACKAGING AUSTRALIA PTY LTD (SPA)	NOVATED LEASE PAYROLL DEDUCTION-CEO	368.89	11/06/2019
290	SHRED-X PTY LTD	SECURITY BIN EXCHANGE	33.00	11/06/2019
290	NATURAL AREA HOLDINGS PTY LTD	BUSHFIRE ADVICE UPDATE	3,300.00	11/06/2019
290	INK CIRCLE DESIGN & PRINT	PLAN SCANNING	137.50	11/06/2019
290	DEPT OF FIRE & EMERGENCY SERVICES (DFES)	4TH QUARTER ESK REMITANCE FOR 2018/19	38,580.30	11/06/2019
290	DEPT MINES INDUSTRY REGULATION & SAFETY (DMIRS)	ESL REMITTANCE	748.50	11/06/2019
291	ROSS MONTGOMERY	STAFF REIMBURSEMENT - MOBILE	153.11	20/06/2019
291	PAUL RAWLINGS	STAFF REIMBURSEMENT - MOBILE/INTERNET	340.00	20/06/2019
291	DONALD BURNETT	STAFF REIMBURSEMENT - MOBILE/INTERNET	471.03	20/06/2019
291	PAULINE O'NEILL	STAFF REIMBURSEMENT - FLU VACCINATION	19.95	20/06/2019
291	CLEAN CITY GROUP PTY LTD		3,465.00	20/06/2019
	TOTAL MUNICIPAL EFT's		133,043.66	

ACCOUNTS PAID - JUNE 2019

DD No.	Vendor Name	Details	DD Amount	Payment Date
DD74	BP AUSTRALIA LIMITED	FUEL - APRIL 2019	1,504.24	04/06/2019
DD75	WESTNET	INTERNET FEES	75.89	04/06/2019
DD76	SYNERGY	ELECTRICITY	1,892.70	12/06/2019
DD77	BP AUSTRALIA LIMITED	FUEL - MAY 2019	1,026.73	25/06/2019
	TOTAL MUNICIPAL DIRECT DEBITS		4,499.56	

Chq No.	Vendor Name	Details	DD Amount	Payment Date
422	CR R THOMAS	MEMBER SITTING FEES/PRESIDENT ALLOW.	9,125.00	04/06/2019
423	CR G PETERS	MEMBER SITTING FEES	3,750.00	04/06/2019
424	CR D HORREX	MEMBER SITTING FEES	3,750.00	04/06/2019
	TOTAL MUNICIPAL CHEQUES		16,625.00	

BPAY No	Vendor Name	Details	DD Amount	Payment Date
BPAY47	TELSTRA CORPORATION LIMITED	DEPOT INTERNET	64.99	04/06/2019
BPAY48	WATER CORPORATION	WATER CONSUMPTION	116.42	04/06/2019
BPAY49	TELSTRA CORPORATION LIMITED	SHIRE MOBILE PHONES	159.99	04/06/2019
BPAY50	TELSTRA CORPORATION LIMITED	RETICULATION CONTROLLERS	24.99	04/06/2019
BPAY51	TELSTRA CORPORATION LIMITED	LIBRARY TELEPHONE	34.95	04/06/2019
BPAY52	WATER CORPORATION	WATER CONSUMPTION	975.31	04/06/2019
BPAY53	TELSTRA CORPORATION LIMITED	SHIRE/GROVE TELEPHONES	1,652.18	04/06/2019
BPAY54	DEPARTMENT OF TRANSPORT (VEHICLE SERVICES)	VEHICLE REGISTRATION	402.75	04/06/2019
BPAY55	WATER CORPORATION	WATER CONSUMPTION	481.23	04/06/2019
	TOTAL MUNICIPAL BPAY'S		3,912.81	



Ordinary Council Meeting

8.4.3 – Matters for Information and Noting

Matters for Information and Noting

Building Permits Issued June 2019

Application Number	Location	Type of Work	Delegated Authority
BA2019/00020	492-494 Stirling Highway	Refurbishment	Officer

Development Approvals Issued June 2019

Application Number	Location	Delegated Authority
DA2019/00005	5 Venn Street	Council

Infringements Issued June 2019

Date of Issue	Infringement Location	Value of Infringement
13/06/2019	View Street	\$45
13/06/2019	McNeil Street	\$45
13/06/2019	Johnston Street	\$45
13/06/2019	Johnston Street	\$45
13/06/2019	Johnston Street	\$45
18/06/2019	Grove Carpark	\$35

Library Statistics June 2019

Library Statistics	June 2019	June 2018
Loans	16,980	17,208
New Borrowers	348	332



Ordinary Council Meeting

11.1 – CEO Annual Performance Review

***CIRCULATED UNDER CONFIDENTIAL
COVER***