



SHIRE OF PEPPERMINT GROVE

SHIRE OF PEPPERMINT GROVE

ATTACHMENTS

**Ordinary Council Meeting
18 April 2017**

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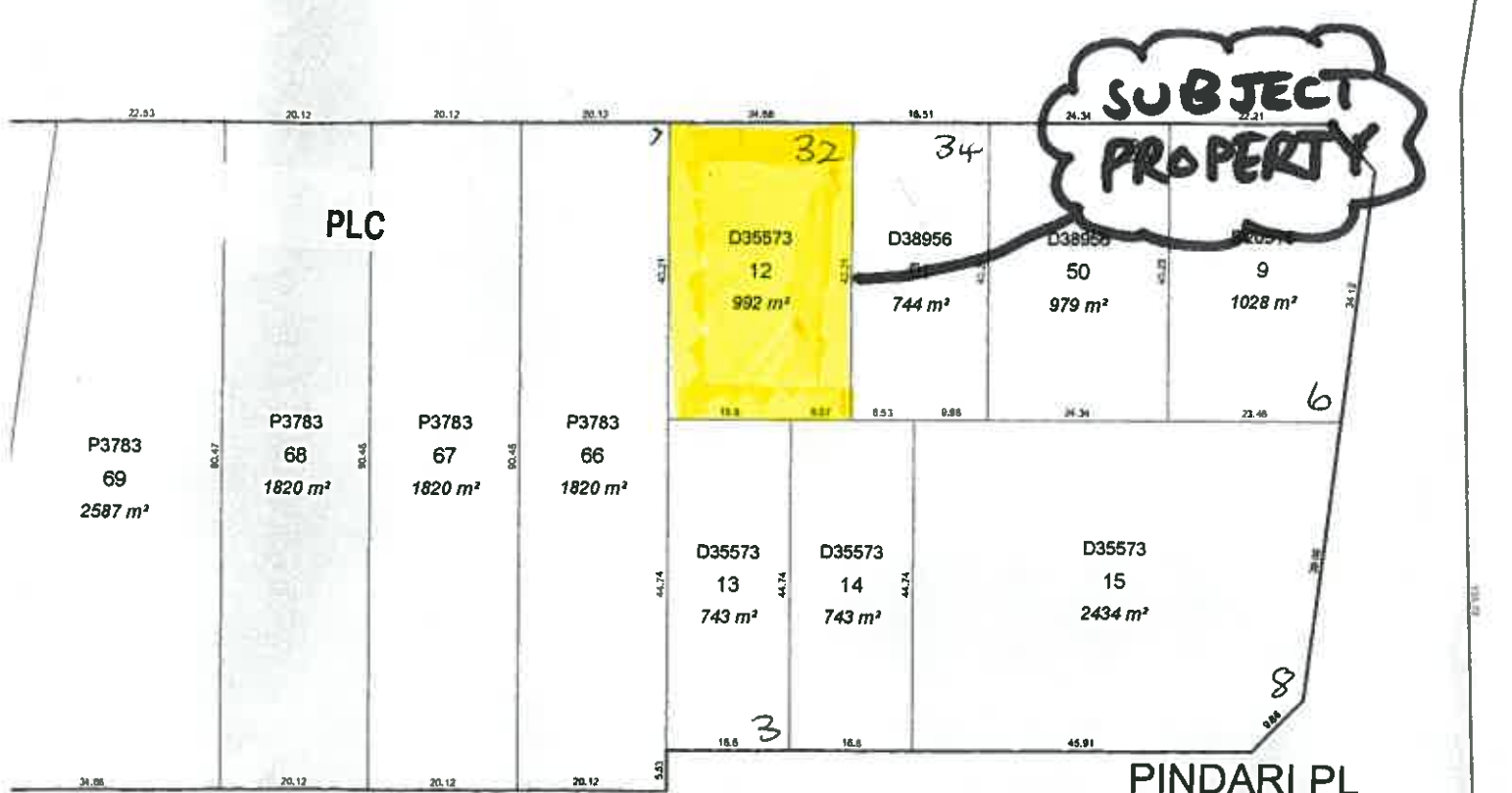
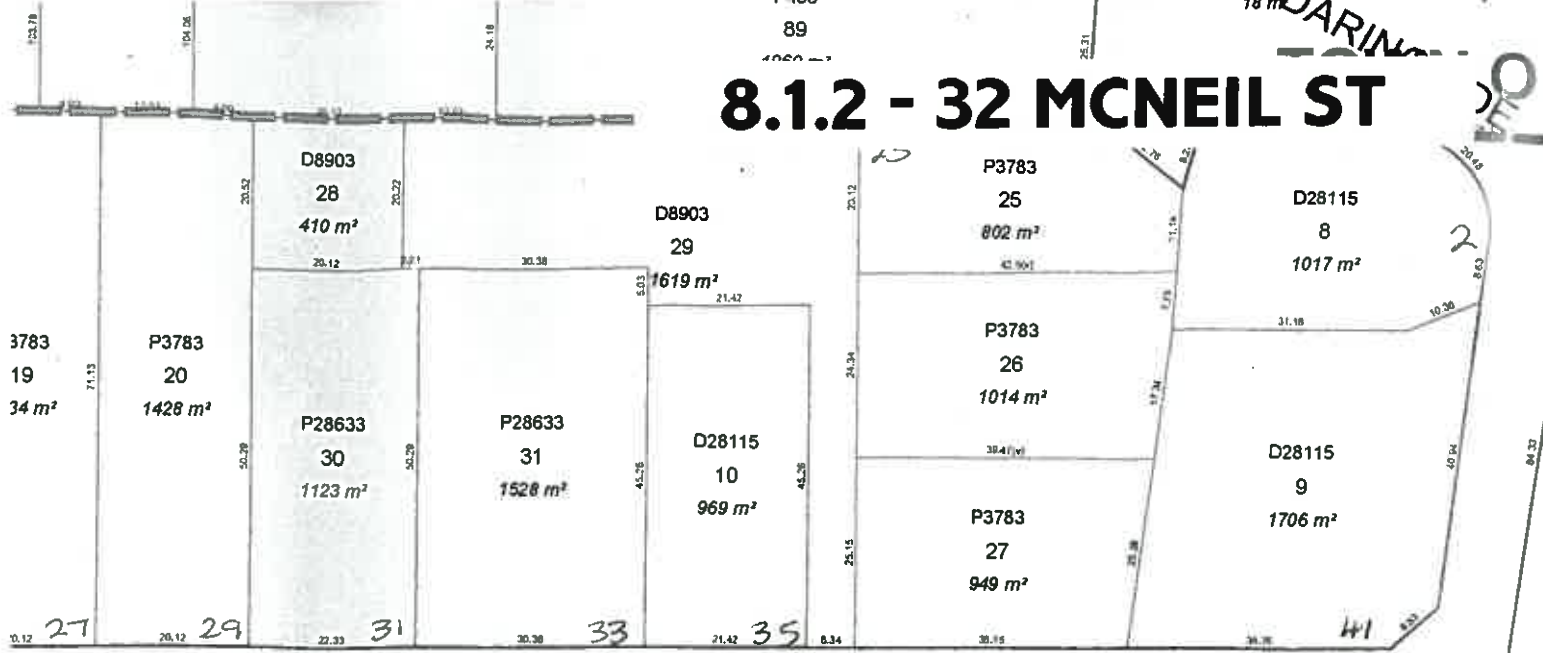


Ordinary Council Meeting

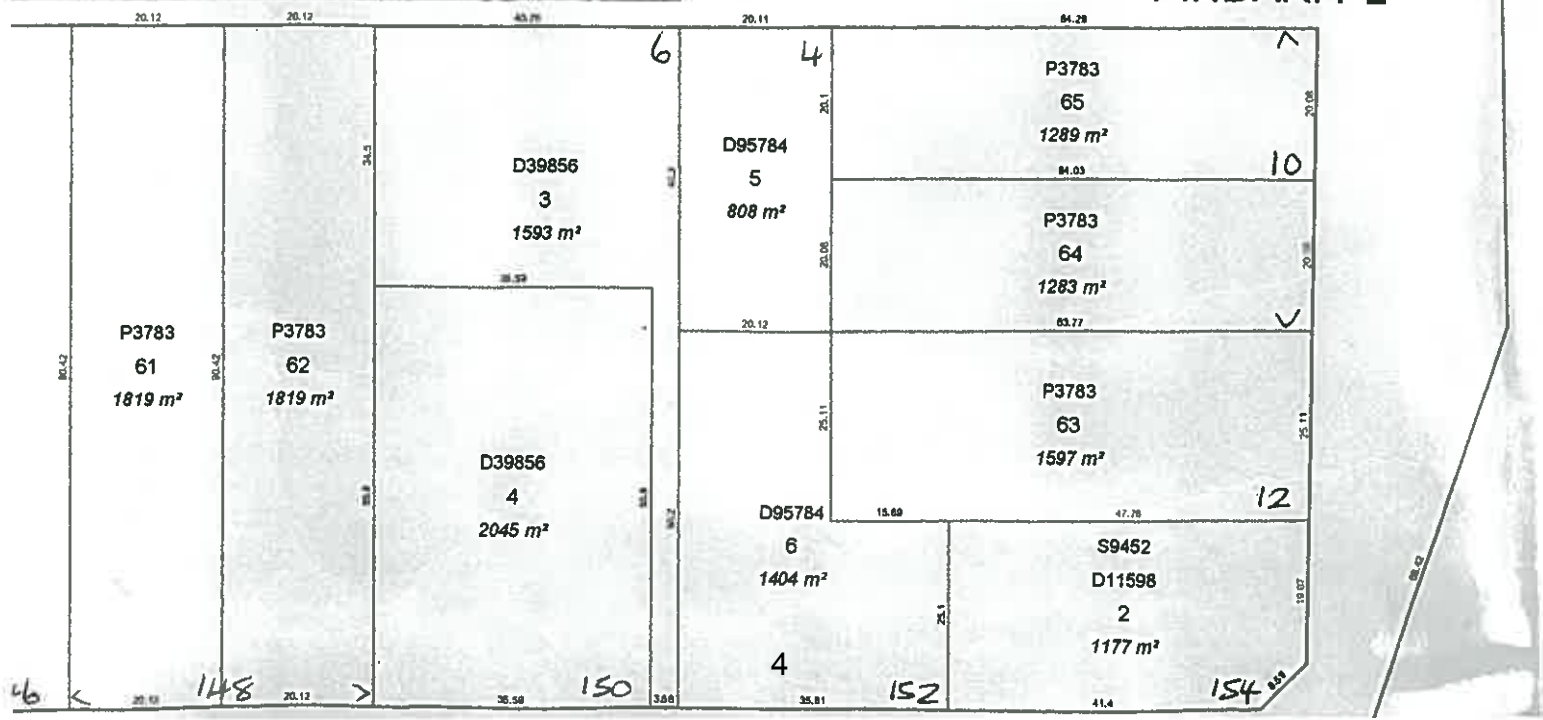
8.1.2 – 32 McNeil St Peppermint Grove -
Attachment # 1

8.1.2 - 32 MCNEIL ST

18 M JARIN

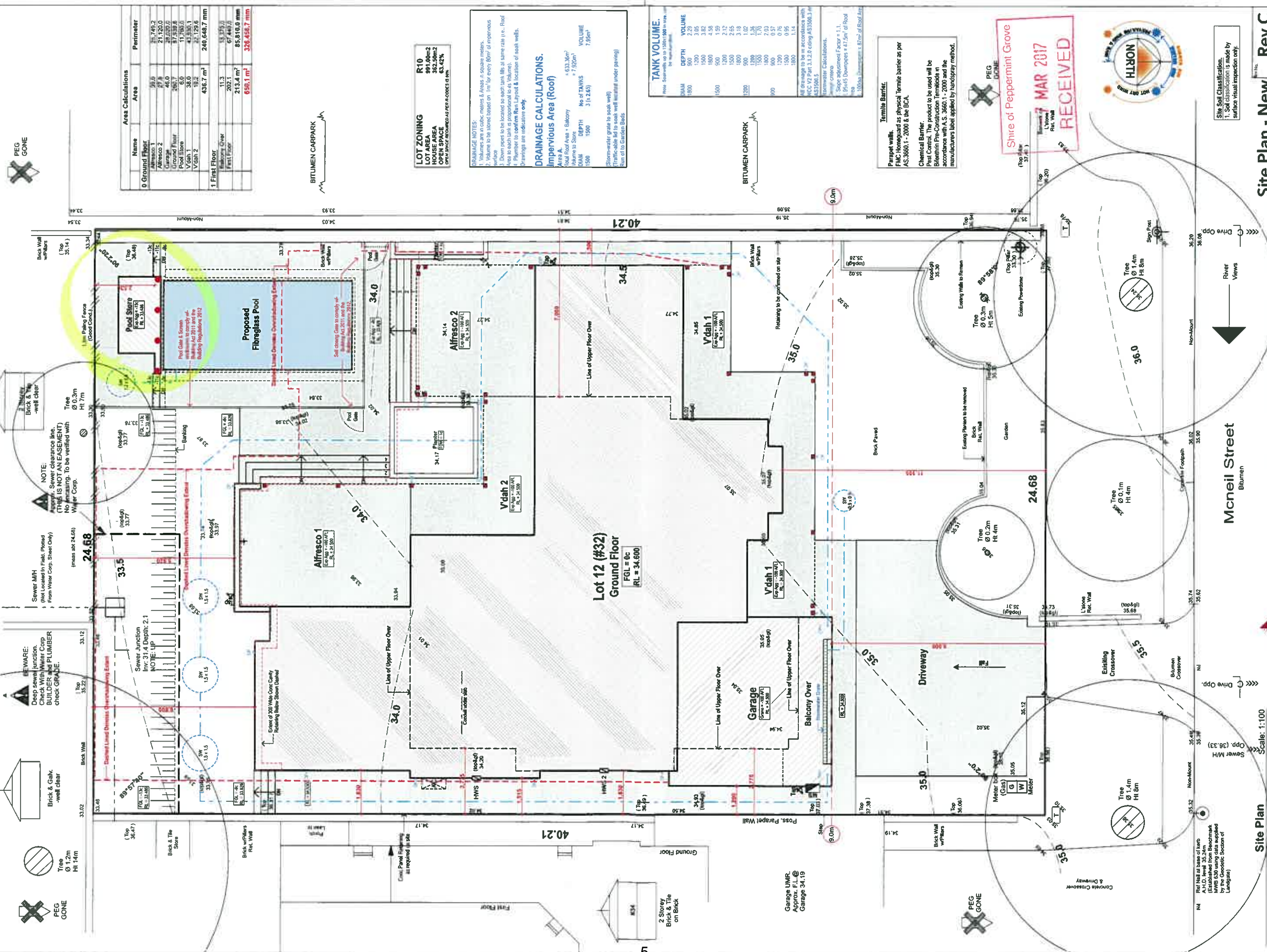


SUBJECT PROPERTY



This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Contract Documents.



Site Plan - New Rev C
4917
2.02

RIVERSTONE
 CUSTOM HOMES | FSC-1991

FROM THE START, IT'S ALL ABOUT THE FINISH.
 Site 44 Caraboe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
 08 9284 4866 | 08 9284 6144 | reception@riverstone.com.au | www.riverstone.com.au
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Scale: 1:100

Mcneil Street
 Bitumen

Driveway

Proposed Fibreglass Pool

Alfresco 1
 (Elev: 34.300) (RL: 34.300)

Alfresco 2
 (Elev: 34.114) (RL: 34.300)

V'dah 1
 (Elev: 34.114) (RL: 34.300)

V'dah 2
 (Elev: 34.114) (RL: 34.300)

Garage
 (Elev: 34.300) (RL: 34.300)

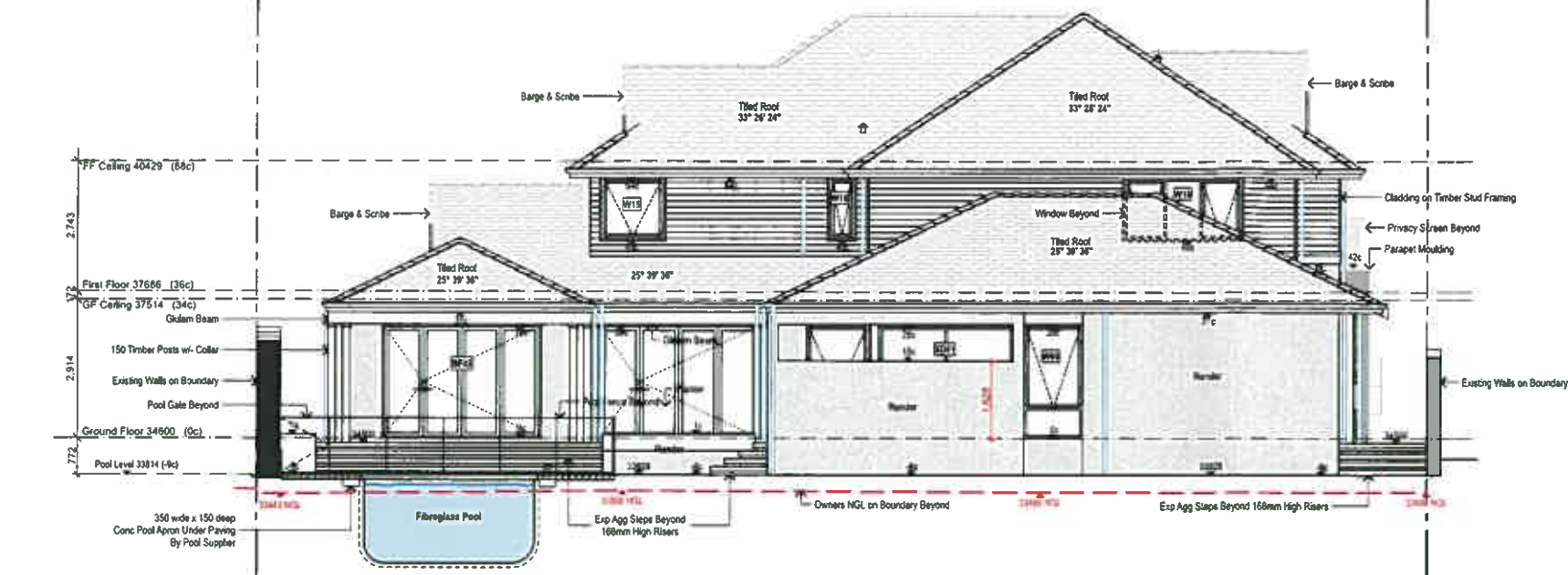
Balcony Over
 (Elev: 34.300) (RL: 34.300)

Lot 12 (#32)
 Ground Floor
 FGL = 0c
 RL = 34.600

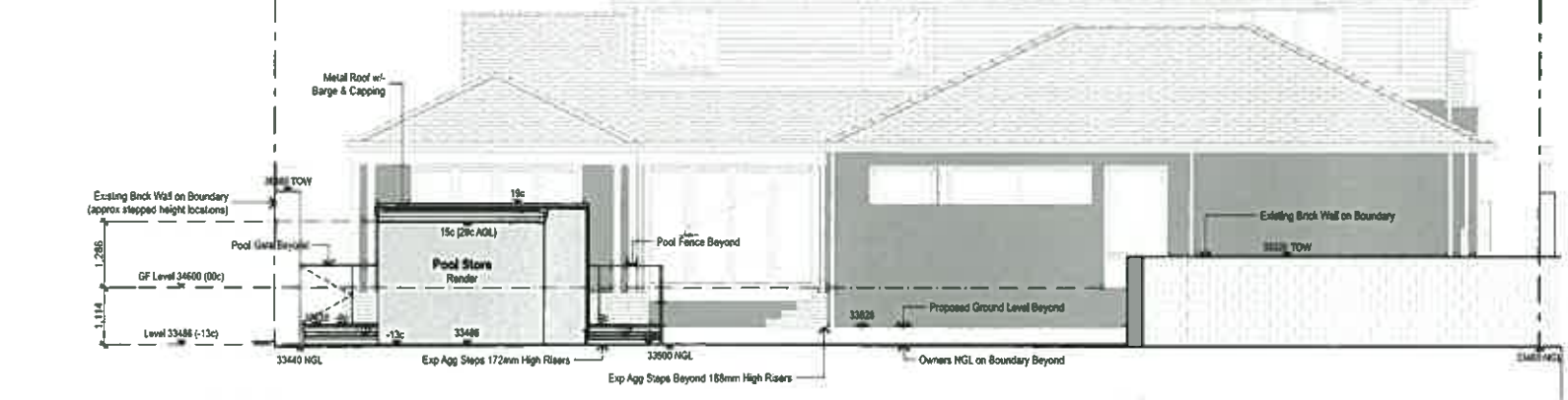
Notes:
 1. Sewer Junction Invc 314 Depth: 2.1
 NOTE: UP
 2. Sewer Junction Invc 314 Depth: 2.1
 NOTE: UP

Notes:
 1. Sewer Junction Invc 314 Depth: 2.1
 NOTE: UP
 2. Sewer Junction Invc 314 Depth: 2.1
 NOTE: UP

Notes:
 1. Sewer Junction Invc 314 Depth: 2.1
 NOTE: UP
 2. Sewer Junction Invc 314 Depth: 2.1
 NOTE: UP

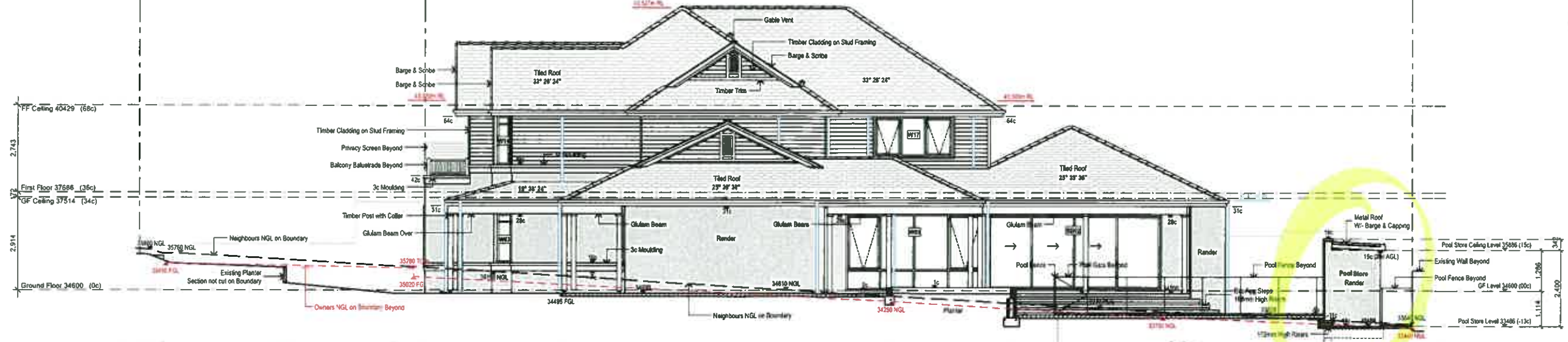


E/3b North Scale: 1:100

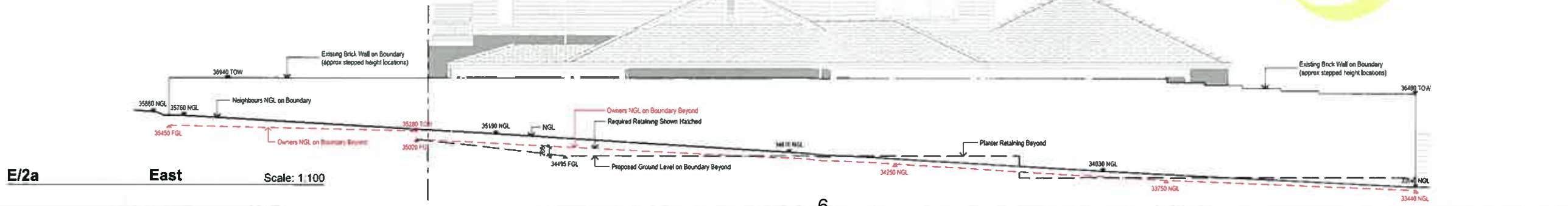


E/3a North Scale: 1:100

NOTE:
 Self closing Pool Gate & Pool Screen enclosures to comply w/- the Building Act 2011, Building Regulations 2012 and the AS 1926.1 and 1926.2



E/2b East Scale: 1:100



E/2a East Scale: 1:100

Shire of Peppermint Grove
 - 7 MAR 2017
 RECEIVED

Elevations Rev C
 4917
 4.02

Project: 4917
 Client: Shire of Peppermint Grove
 Designer: E.Mackenzie
 Date: 7/03/2017 at 2:32 pm

PLC
 Lot 12 (#32) McNeil Street
 Peppermint Grove, WA 6011

RIVERSTONE
 CUSTOM HOMES EST. 1993

FROM THE START, IT'S ALL ABOUT THE FINISH.
 Suite 44 Cattlelog Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
 08 9284 4866 f 08 9284 6144 reception@riverstone.com.au w www.riverstone.com.au
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Ordinary Council Meeting

8.1.3 – 47 Irvine St Peppermint Grove -
Attachment # 2

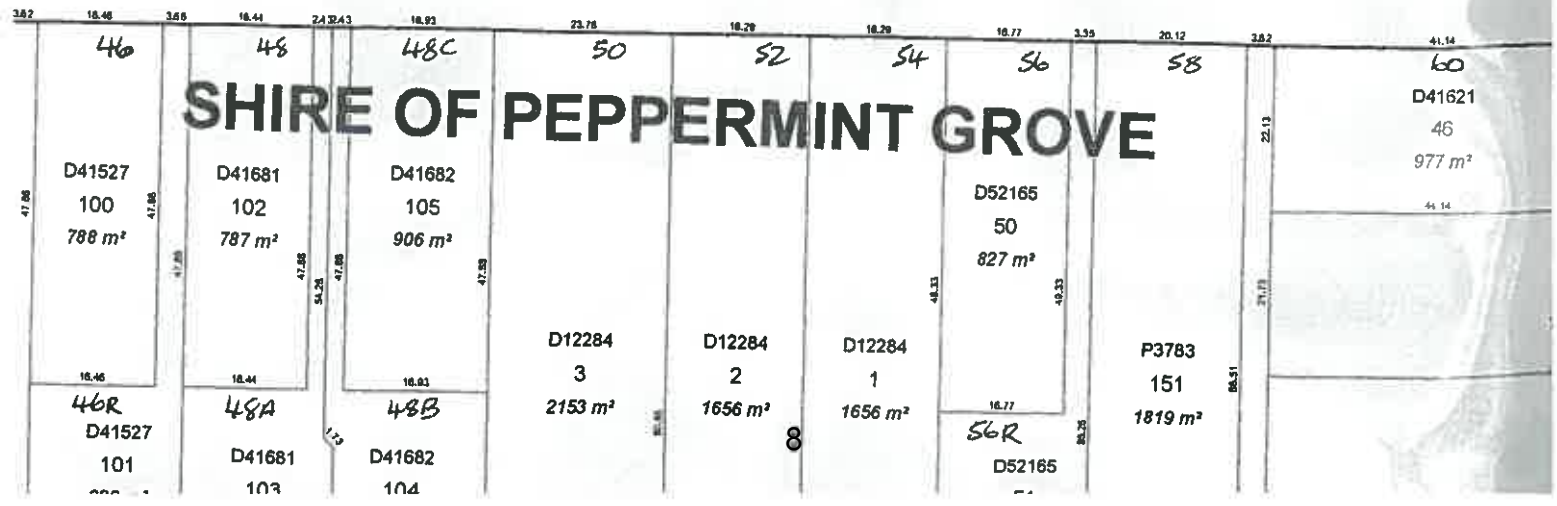
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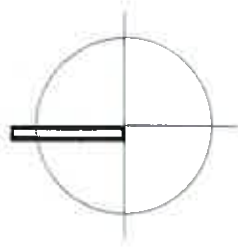
8.1.3 - 47 IRVINE ST



IRVINE ST

SHIRE OF PEPPERMINT GROVE





DEMOLITION LEGEND

HATCHED AREA INDICATES EXTENT OF DEMOLITION REQUIRED. REMOVAL OF STRUCTURES AND TREES STARTING TO BE NEW WORKS AS PER ASSESSMENT INDICATION ON ALL PLANS

HATCHED AREA INDICATES EXTENT OF PROTECTION ZONES FOR EXISTING STRUCTURES RETAINED AND TREES TO VERGE / SITE PROTECTED DURING PROPOSED CONSTRUCTION. CONFIRM ALL DETAILS WITH CLIENT

ALL STRUCTURAL ELEMENTS WHERE LOAD BEARING TO NEIGHBOURING PROPERTY TO BE RETAINED UNLESS NOTED OTHERWISE. CONFIRM WITH STRUCTURAL ENGINEER ALL ELEMENTS OF STRUCTURE WHERE BEING REMOVED PRIOR TO ANY WORKS

CONFIRM ON SITE FOR ALL EXISTING SERVICES TO BE RETAINED AND CAPPED OR REMOVED TO SUIT PROPOSED NEW WORKS PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER TO DISCUSS WITH CLIENT AND REVIEW ALL ITEMS TO BE SALVAGED AND STORED OR RETAINED FOR FUTURE USE PRIOR TO STRIP OUT AND DEMOLITION

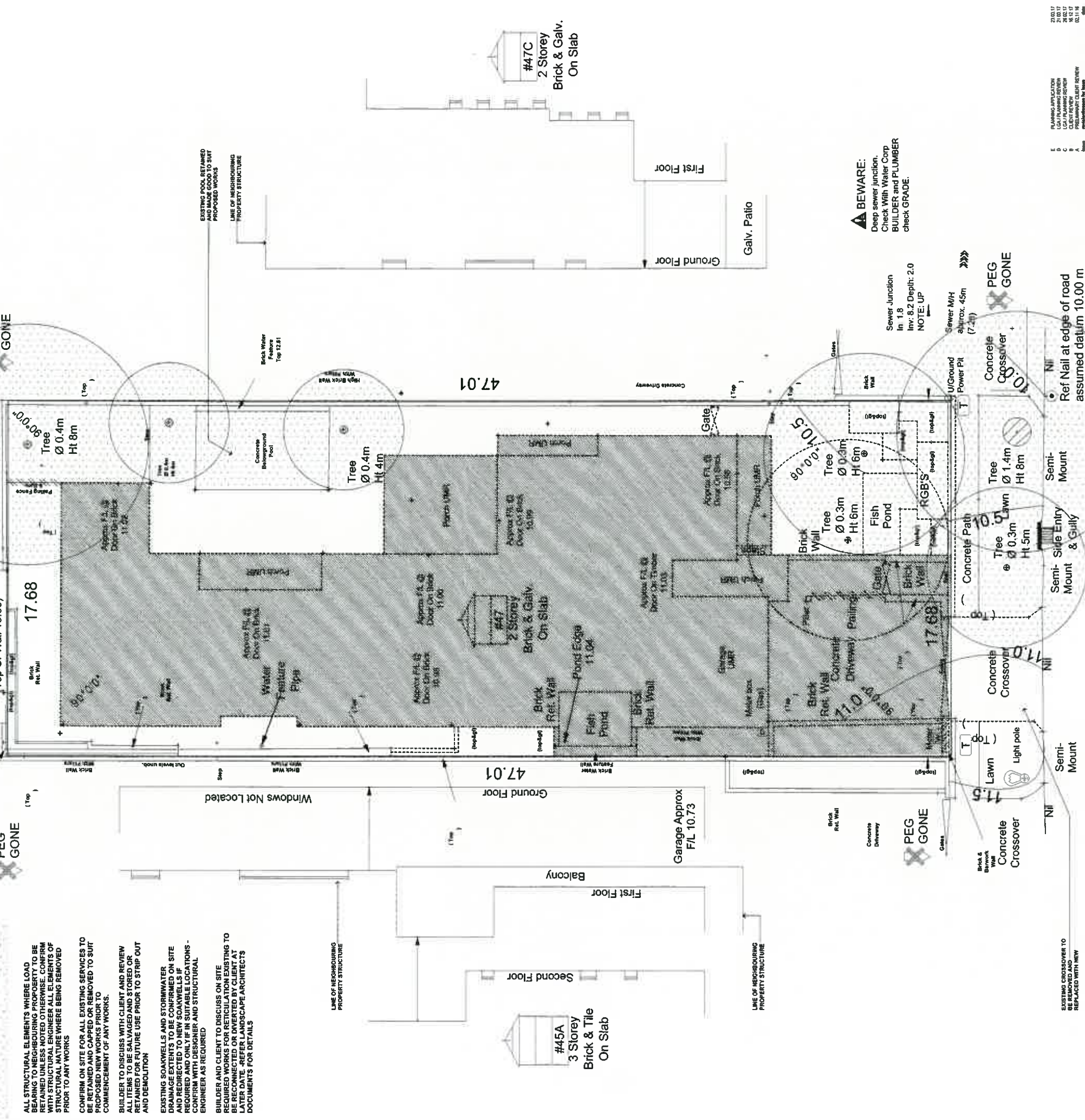
EXISTING SOAKWELLS AND STORMWATER DRAINAGE EXTENTS TO BE CONFIRMED ON SITE AND REDIRECTED TO NEIGHBOURING PROPERTIES OR TO A SUITABLE LOCATION - CONFIRM WITH DESIGNER AND STRUCTURAL ENGINEER AS REQUIRED

BUILDER AND CLIENT TO DISCUSS ON SITE REQUIRED WORKS FOR RETICULATION EXISTING TO BE RETAINED OR REMOVED TO SUIT A LATER DATE - REFER LANDSCAPE ARCHITECTS DOCUMENTS FOR DETAILS

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

ALL WORKS SHALL BE CONFORMANT TO THE BUILDING REGULATIONS AND ALL OTHER RELEVANT REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.



EXISTING SITE AND DEMOLITION PLAN
SCALE @ 1:100 A1

Irvine Street
Bitumen

PROPOSED STEWART RESIDENCE

DARKLIGHT DESIGN

2103 17
2402 17
2403 17
2404 17
2405 17
2406 17
2407 17
2408 17
2409 17
2410 17
2411 17
2412 17
2413 17
2414 17
2415 17
2416 17
2417 17
2418 17
2419 17
2420 17

PLANNING APPLICATION	2103 17
LGA PLANNING REVIEW	2402 17
CLEAR REVIEW	2403 17
CONSTRUCTION PERMIT	2404 17
DEMOLITION PERMIT	2405 17
DEMOLITION PERMIT	2406 17
DEMOLITION PERMIT	2407 17
DEMOLITION PERMIT	2408 17
DEMOLITION PERMIT	2409 17
DEMOLITION PERMIT	2410 17
DEMOLITION PERMIT	2411 17
DEMOLITION PERMIT	2412 17
DEMOLITION PERMIT	2413 17
DEMOLITION PERMIT	2414 17
DEMOLITION PERMIT	2415 17
DEMOLITION PERMIT	2416 17
DEMOLITION PERMIT	2417 17
DEMOLITION PERMIT	2418 17
DEMOLITION PERMIT	2419 17
DEMOLITION PERMIT	2420 17

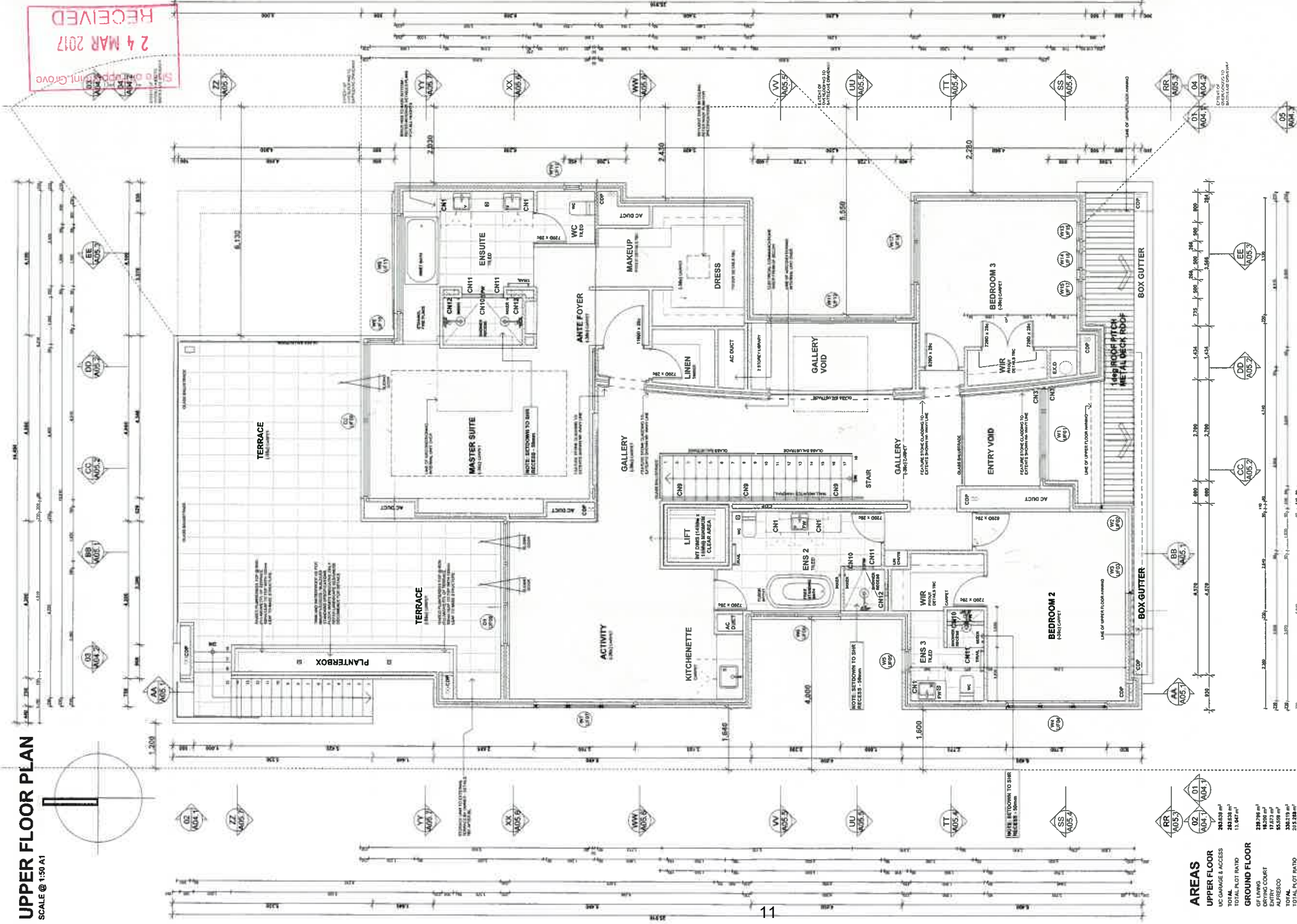
TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

RECEIVED
24 MAR 2017
Shire of Peppermint Grove

UPPER FLOOR PLAN

SCALE @ 1:50 A1



AREAS

UPPER FLOOR	
UC GARAGE & ACCESS	243,629 m ²
TOTAL	243,629 m ²
TOTAL PLOT RATIO	13.947
GROUND FLOOR	
GR LIVING	229,796 m ²
DRYING COURT	19,206 m ²
ENTRY	17,873 m ²
ALFRESCO	55,598 m ²
TOTAL	322,473 m ²
TOTAL PLOT RATIO	203,288 m ²
UPPER FLOOR	
UF LIVING	228,574 m ²
TERRACE	62,079 m ²
TOTAL	290,653 m ²
TOTAL PLOT RATIO	155,249 m ²
TOTAL	881,957 m ²
OVERALL PLOT RATIO	413,576 m ²
AREA BASED ON 50% MAX ALLOWED PER LGA POLICES (LOT SIZE - 871.5m ²)	

REFER PLOT RATIO DIAGRAM LAYOUTS FOR ALL DETAILS OF EXTENTS AND CALCULATED AREAS

CONSTRUCTION NOTES:
 CN1 - CONSTRUCTION NOTE 1
 CN2 - CONSTRUCTION NOTE 2
 CN3 - CONSTRUCTION NOTE 3
 CN4 - CONSTRUCTION NOTE 4
 CN5 - CONSTRUCTION NOTE 5
 CN6 - CONSTRUCTION NOTE 6
 CN7 - CONSTRUCTION NOTE 7
 CN8 - CONSTRUCTION NOTE 8
 CN9 - CONSTRUCTION NOTE 9
 CN10 - CONSTRUCTION NOTE 10
 CN11 - CONSTRUCTION NOTE 11
 CN12 - CONSTRUCTION NOTE 12
 CN13 - CONSTRUCTION NOTE 13
 CN14 - CONSTRUCTION NOTE 14

TERMITE TREATMENT NOTE:
 REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE:
 THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE ARE TO BE TAKEN FROM THE FACE OF THE MEMBER UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO CENTERLINE ARE TO BE TAKEN FROM THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO EDGE ARE TO BE TAKEN FROM THE EDGE OF THE MEMBER UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO SURFACE ARE TO BE TAKEN FROM THE SURFACE OF THE MEMBER UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO CORE ARE TO BE TAKEN FROM THE CORE OF THE MEMBER UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO CENTERLINE OF HOLES ARE TO BE TAKEN FROM THE CENTERLINE OF THE HOLES UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE OF HOLES ARE TO BE TAKEN FROM THE FACE OF THE HOLES UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO EDGE OF HOLES ARE TO BE TAKEN FROM THE EDGE OF THE HOLES UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO SURFACE OF HOLES ARE TO BE TAKEN FROM THE SURFACE OF THE HOLES UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO CORE OF HOLES ARE TO BE TAKEN FROM THE CORE OF THE HOLES UNLESS OTHERWISE SPECIFIED.

WALL LEGEND:

- 90mm INT. / EXT. BRICK WALL
- 90 TIMBER FRAMED WALL
- 230 INT. / EXT. CAVITY WALL
- 190 EXTERNAL WALL
- 300 EXTERNAL CAVITY WALL
- 230 EXTERNAL CAVITY WALL
- 190 EXTERNAL WALL

INSULATION NOTES:
 BOARD CAVITY INSULATION TO ALL WALLS AND CEILING. REFER TO INSULATION SPECIFICATIONS SHEET A02.3 AND A02.4.

CEILING HEIGHTS:
 REFER CEILING LAYOUTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A02.1 & A02.2

NOTES:
 EXTERNAL DOORS & WINDOWS TO BE TO SPECIFICATION SHEET A02.3 & A02.4.
 INTERNAL DOORS TO BE TO SPECIFICATION SHEET A02.3 & A02.4.
 REFER BUILDING LAYOUTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A02.1 & A02.2

FLOOR FINISH LEGEND:
 STRICTLY INSTALL ALL FLOOR FINISHES TO THE SPECIFICATIONS SHEET A02.3 & A02.4.

WINDOW, DOOR, NOSINGS, SKIRTINGS & ARCHITRAVES NOTES:
 EXTERNAL DOORS & WINDOWS TO BE TO SPECIFICATION SHEET A02.3 & A02.4.
 INTERNAL DOORS TO BE TO SPECIFICATION SHEET A02.3 & A02.4.

FLOOR TRIMS:
 REFER BUILDING LAYOUTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A02.1 & A02.2

DRYLING NOTE:
 PROVIDE DRYLING EXTENTS INDICATED. NOT ALL DRYLING EXTENTS INDICATED.

PROPOSED STEWART RESIDENCE

DARKLIGHT DESIGN

DESIGNED: JE/AB
 SCALE: AS SHOWN ON DRAWING
 NAME: PLANNING APP.
 PROJECT: X9-16
 CHECKED: AB

A02.3

DATE: Thursday, 23 March 2017

SETOUT POINT

ALL HARDSCAPE AND SOFTSCAPE SELECTIONS REFER LANDSCAPE ARCHITECT'S DETAILS. CROSS REFERENCE ALL SETOUT INFORMATION TO LANDSCAPING ELEMENTS PRIOR TO COMMENCEMENT OF ANY WORKS.

RETICULATION PRELAYS AND RETICULATION CONTROL BOX TBC ON SITE IN CONSULTATION WITH BUILDER AND LANDSCAPE ARCHITECT.

BUILDER TO ASSESS ON SITE AND RELOCATE MAJOR SERVICES CONNECTIONS (GAS, POWER, WATER & TELECOMMUNICATIONS) AS NEEDED TO SUIT REQUIRED WORKS. LOCAL GOVERNMENT AND RELEVANT SERVICES PROVIDERS PRIOR TO ANY WORKS COMMENCING.

PROVIDE TERMITE TREATMENTS WHERE REQUIRED AS PER RELEVANT NCC (BCA) AND AUSTRALIAN STANDARDS - REFER BUILDERS SPECIFICATION AND DETAILS PRIOR TO COMMENCEMENT OF ANY WORKS.

POOL NOTE: POOL SYSTEM TO BE CARTRIDGE FILTER SPECIFICATIONS. A BACK WASH SOAKWELL IS NOT REQUIRED. IF SPECIFICATION TO CHANGE BUILDER TO ASSESS WITH CLIENT & STRUCTURAL ENGINEER BACK WASH SOAKWELL LOCATION AS REQUIRED.

EXISTING NEIGHBOURING BOUNDARY WALL LEVELS UNKNOWN AND HAVE NOT BEEN REVIEWED. LEVELS MAY BE SUBJECT TO CHANGE DUE TO UNDERMINING OF EXISTING NEIGHBOURING STRUCTURES. BUILDER TO ASSESS ON SITE PRIOR TO COMMENCEMENT OF WORKS IN CONSULTATION WITH STRUCTURAL ENGINEER.

STORMWATER NOTE: IF HARD DIGGING OR REFUSAL HIT DURING EARTHWORKS BUILDER TO ASSESS STORMWATER DRAINAGE AND REDESIGN IN CONSULTATION WITH STRUCTURAL ENGINEER IF REQUIRED.

#47A
2 Storey
Brick & Galv.
On Slab

DEMOLITION NOTES:
1. Structures are to be demolished & debris to be removed. Demolition to be completed by 15/03/20. All debris to be removed from the site.
2. Down grade to be undertaken to establish the site to a 1% fall to the south of the property boundary.
3. Down grade to be undertaken to establish the site to a 1% fall to the south of the property boundary.

DRAINAGE CALCULATIONS:

Impervious Area (m²)		Permeable Area (m²)		Total Area (m²)	
Area A (Pool Area)	1.0	Area C (Tennis Court)	1.0	Area B (Paved Area)	1.0
Area B (Paved Area)	1.0	Area D (Driveway)	1.0	Area E (Lawn)	1.0
Area C (Tennis Court)	1.0	Area F (Garage Floor)	1.0	Area G (Garden)	1.0
Area D (Driveway)	1.0	Area H (Gravel)	1.0	Area I (Other)	1.0
Area E (Lawn)	1.0	Area J (Other)	1.0		
Area F (Garage Floor)	1.0				
Area G (Garden)	1.0				
Area H (Gravel)	1.0				
Area I (Other)	1.0				
Area J (Other)	1.0				
TOTAL		TOTAL		TOTAL	

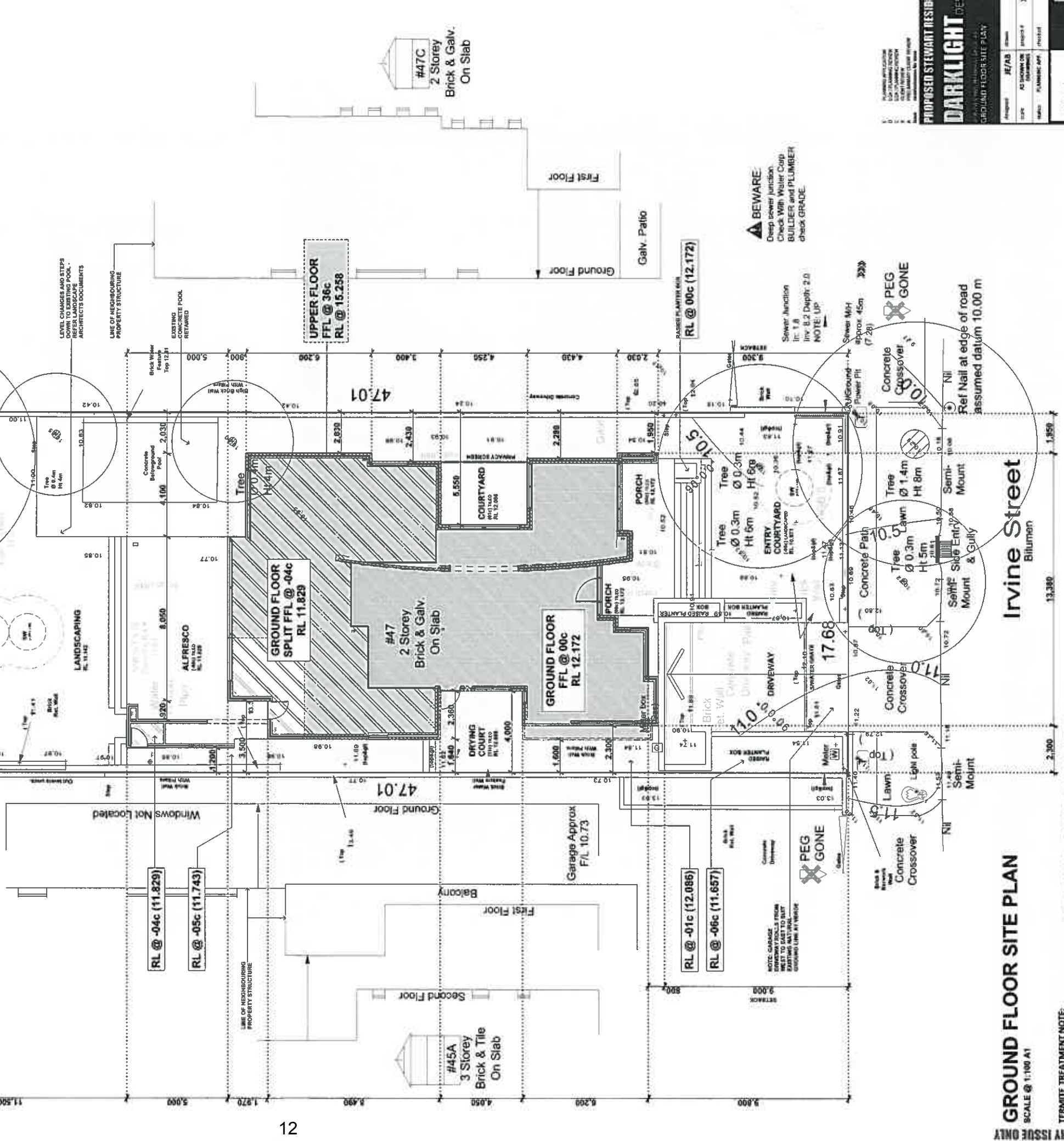
ALL OTHER NEIGHBOURING AREAS RUN OFF INTO GARDENS. REFER TO NEIGHBOURING ARCHITECTS DOCUMENTS.

STORMWATER NOTE: STORMWATER CALCULATED AS PER COUNCIL POLICIES 'REQUIREMENTS FOR ON-SITE STORMWATER DRAINAGE'. PLUMBER TO CONFIRM RUN LAYOUT AND LOCATIONS OF SOAKWELLS ON SITE AND CONNECT EACH TANK SO AS TO FILL AT SAME RATE PROPORTIONALLY TO EACH TANK. DRAWINGS ARE INDICATIVE ONLY AND TO BE CONFIRMED BY LICENCED PLUMBER PRIOR TO ANY WORKS.

DEMOLITION NOTE: IF DOCUMENTATION FOR CONSTRUCTION ISSUE COMPLETED AFTER DEMOLITION ALREADY UNDERTAKEN, BUILDER TO ASSESS ON SITE ALL LEVELS AND ADJUST ACCORDINGLY TO SUIT PROPOSED WORKS. IF REQUIRED UNDERTAKE ADDITIONAL SURVEY TO REFLECT CURRENT LEVELS AFTER DEMOLITION.

RECEIVED
24 MAR 2017
Site of Peppermint Grove

OPEN SPACE CALCULATIONS
TOTAL BLOCK = 832.5m²
PROPOSED OPEN SPACE = 574m²
OPEN SPACE % = 69%
SITE COVER % = 31%



GROUND FLOOR SITE PLAN

SCALE @ 1:100 A1

TERMITE TREATMENT NOTE: REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS.

NOTE: THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS.

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE
ARCHITECTS DRAWINGS ARE TO BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS ON THE SITE PRIOR TO COMMENCING WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND RELEVANT SERVICES PROVIDERS PRIOR TO COMMENCING WORKS.

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED. DIMENSIONS TO FACE UNLESS OTHERWISE STATED.
ALL LEVELS ARE IN METERS ABOVE SEA LEVEL UNLESS OTHERWISE STATED.
ALL WORKS TO BE COMPLETED BY THE CONTRACTOR.
ALL MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO USE.
ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT CODES AND REGULATIONS.
ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT CODES AND REGULATIONS.
ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT CODES AND REGULATIONS.

PROPOSED STEWART RESIDENCE
DARKLIGHT DESIGN
ARCHITECTS
A01.3
DATE: 21 March 2017

SETOUT POINT

ALL HARDSCAPE AND SOFTSCAPE SELECTIONS REFER LANDSCAPE ARCHITECTS DETAILS. CROSS REFERENCE ALL SETOUT INFORMATION OF LANDSCAPING ELEMENTS PRIOR TO COMMENCEMENT OF ANY WORKS

RETICULATION PRELAYS AND RETICULATION CONTROL BOX TBC ON SITE IN CONSULTATION WITH BUILDER AND LANDSCAPE ARCHITECT

BUILDER TO ASSESS ON SITE AND RELOCATE MAJOR SERVICES CONNECTIONS (GAS, POWER, WATER & TELECOMMUNICATIONS) AS NEEDED TO SUIT REQUIRED WORKS. LOCATIONS SHOWN ARE PRELIMINARY. CONFIRM WITH LOCAL GOVERNMENT AND RELEVANT SERVICES PROVIDERS PRIOR TO ANY WORKS COMMENCING

PROVIDE TERMITE TREATMENTS WHERE REQUIRED AS PER RELEVANT NCC (BCA) AND AUSTRALIAN STANDARDS - REFER BUILDERS SPECIFICATION AND DETAILS PRIOR TO COMMENCEMENT OF ANY WORKS

POOL NOTE: POOL SYSTEM TO BE CARTRIDGE FILTER SPECIFICATIONS. A BACK WASH SOAKWELL IS NOT REQUIRED. IF SPECIFICATION TO CHANGE BUILDER TO ASSESS WITH CLIENT & STRUCTURAL ENGINEER BACK WASH SOAKWELL LOCATION AS REQUIRED

EXISTING NEIGHBOURING BOUNDARY WALL LEVELS UNKNOWN AND HAVE NOT BEEN REVIEWED. LEVELS MAY BE SUBJECT TO CHANGE DUE TO UNDERMINING OF EXISTING NEIGHBOURING STRUCTURES. BUILDER TO ASSESS ON SITE PRIOR TO COMMENCEMENT OF WORKS IN CONSULTATION WITH STRUCTURAL ENGINEER

STORMWATER NOTE: IF HARD DIGGING OR REFUSAL HIT DURING EARTHWORKS BUILDER TO ASSESS STORMWATER DRAINAGE AND REDESIGN IN CONSULTATION WITH STRUCTURAL ENGINEER IF REQUIRED

PERMITS AND APPROVALS:

1. All works are in accordance with the relevant codes and standards.
2. All works are to be completed in accordance with the relevant codes and standards.
3. All works are to be completed in accordance with the relevant codes and standards.
4. All works are to be completed in accordance with the relevant codes and standards.

PERMITS AND APPROVALS:

Area A: 100m²
Area B: 100m²
Area C: 100m²
Area D: 100m²
Area E: 100m²
Area F: 100m²
Area G: 100m²
Area H: 100m²
Area I: 100m²
Area J: 100m²
Area K: 100m²
Area L: 100m²
Area M: 100m²
Area N: 100m²
Area O: 100m²
Area P: 100m²
Area Q: 100m²
Area R: 100m²
Area S: 100m²
Area T: 100m²
Area U: 100m²
Area V: 100m²
Area W: 100m²
Area X: 100m²
Area Y: 100m²
Area Z: 100m²

STORMWATER NOTE: STORMWATER CALCULATED AS PER COUNCIL POLICIES 'REQUIREMENTS FOR ON-SITE STORMWATER DRAINAGE'. PLUMBER TO CONFIRM RUN LAYOUT AND LOCATIONS OF SOAKWELLS ON SITE AND CONNECT EACH TANK SO AS TO FILL AT SAME RATE PROPORTIONALLY TO EACH TANK. DRAWINGS ARE INDICATIVE ONLY AND TO BE CONFIRMED BY LICENCED PLUMBER PRIOR TO ANY WORKS

DEMOLITION NOTE: IF DOCUMENTATION FOR CONSTRUCTION ISSUE COMPLETED AFTER DEMOLITION ALREADY UNDERTAKEN, BUILDER TO ASSESS ON SITE ALL LEVELS AND ADJUST ACCORDINGLY TO SUIT PROPOSED WORKS. IF REQUIRED UNDERTAKE ADDITIONAL SURVEY TO REFLECT CURRENT LEVELS AFTER DEMOLITION

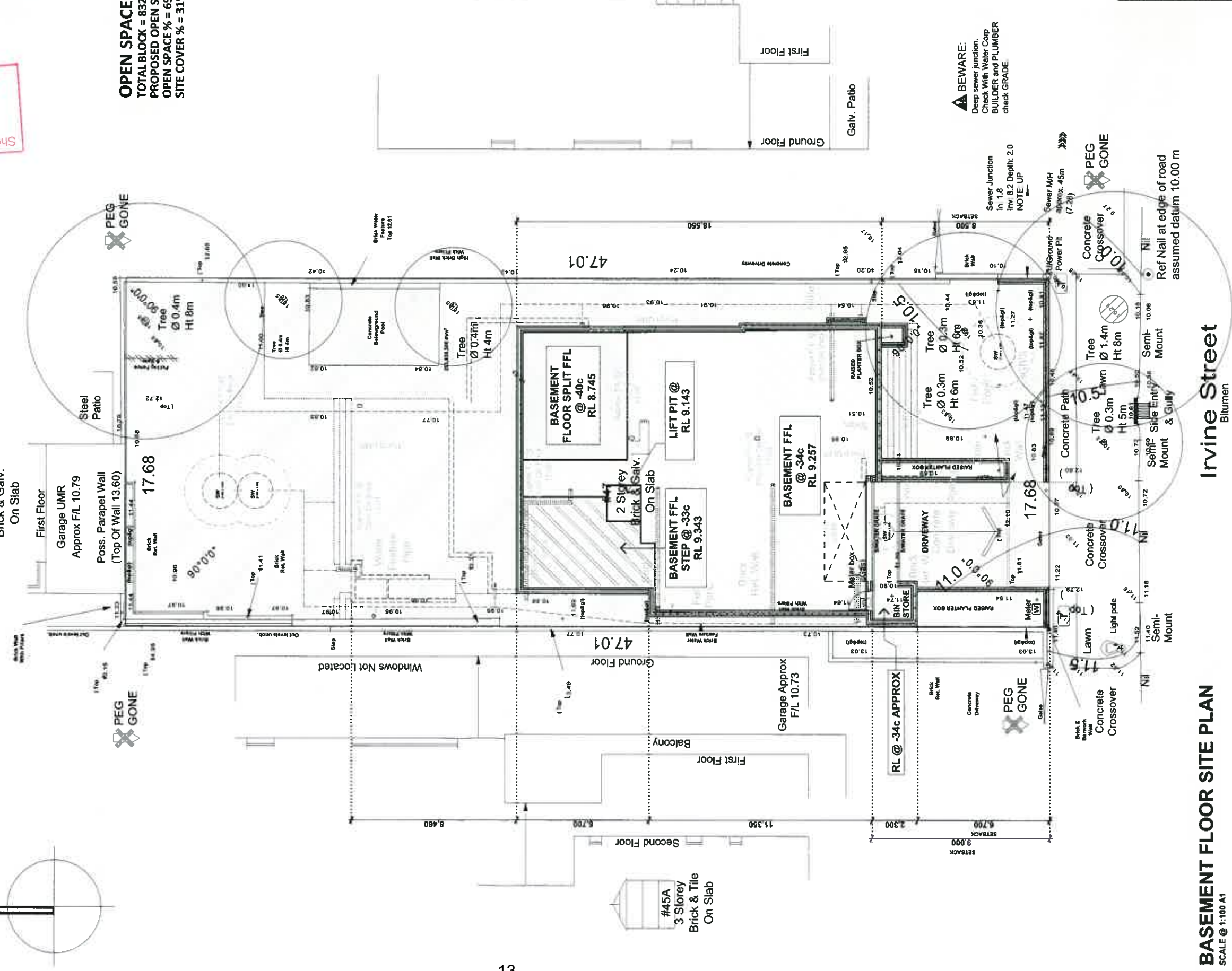
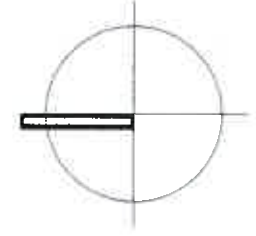
RECEIVED
24 MAR 2017
Shire of Peppermint Grove

PEG GONE

#47A
2 Storey
Brick & Galv.
On Slab

PEG GONE

OPEN SPACE CALCULATIONS
TOTAL BLOCK = 832.5m²
PROPOSED OPEN SPACE = 574m²
OPEN SPACE % = 69%
SITE COVER % = 31%



BASEMENT FLOOR SITE PLAN
SCALE @ 1:100 A1

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

Irvine Street
Bitumen

BEWARE:
Deep sewer junction.
Check With Water Corp.
BUILDER and PLUMBER
check GRADE

#47C
2 Storey
Brick & Galv.
On Slab

#45A
3 Storey
Brick & Tile
On Slab

PROPOSED STEWART RESIDENCE

DARKLIGHT DESIGN

BASEMENT FLOOR SITE PLAN

Designed	JE/AB	drawn	AB
Scale	AS SHOWN ON DRAWINGS	project	X9-16
Status	PLANNING APP.	checked	AB
Project No.	A01.2	Plot Date	Thursday, 23 March 2017

21.01.17
21.02.17
21.03.17
21.04.17
21.05.17
21.06.17

BASEMENT FLOOR PLAN

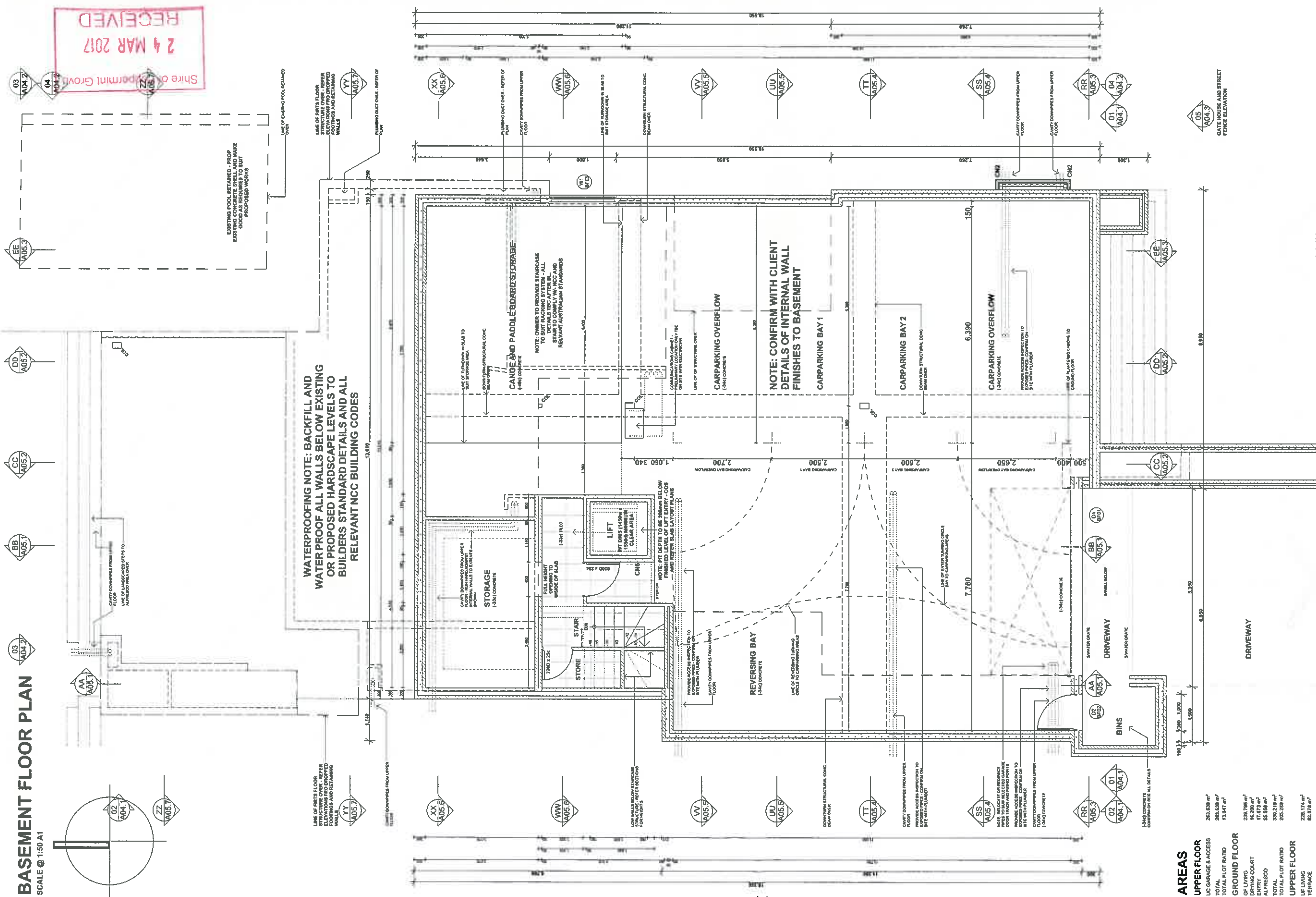
SCALE @ 1:50 A1



GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

ADVISE ENGINEER OF ALL CHANGES TO BE MADE TO THE CONTRACT AND SPECIFICATIONS. ANY CHANGES MUST BE APPROVED IN WRITING BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



- 90mm INT. / EXT. BRICK WALL
- 90 TIMBER FRAMED WALL
- 230 INT. / EXT. CAVITY WALL
- 2.7 50mm WALL W. 50mm CAVITY
- 190 EXTERNAL WALL
- 2.7 50mm WALL W. 10mm CAVITY
- 300 EXTERNAL CAVITY WALL
- 2.7 50mm WALL W. 20mm CAVITY. REFER ENO DETAILS FOR CORNER FILLED WALLS. PROVIDE 100mm MIN. CEMENT MORTAR FINISH TO EXTERIOR.
- 230 EXTERNAL CAVITY WALL
- 50mm MASONRY WALL W. 7.5 50mm CAVITY & 50mm (140) TIMBER FRAME STUD WALL.
- 190 EXTERNAL WALL
- 1.7 50mm TYPICAL FRAMED WALL W. 100mm EPS INSULATION AND INDENTATIONAL OR SIMILAR APPROVED.

WALL LEGEND:

90mm INT. / EXT. BRICK WALL

90 TIMBER FRAMED WALL

230 INT. / EXT. CAVITY WALL

2.7 50mm WALL W. 50mm CAVITY

190 EXTERNAL WALL

2.7 50mm WALL W. 10mm CAVITY

300 EXTERNAL CAVITY WALL

2.7 50mm WALL W. 20mm CAVITY. REFER ENO DETAILS FOR CORNER FILLED WALLS. PROVIDE 100mm MIN. CEMENT MORTAR FINISH TO EXTERIOR.

230 EXTERNAL CAVITY WALL

50mm MASONRY WALL W. 7.5 50mm CAVITY & 50mm (140) TIMBER FRAME STUD WALL.

190 EXTERNAL WALL

1.7 50mm TYPICAL FRAMED WALL W. 100mm EPS INSULATION AND INDENTATIONAL OR SIMILAR APPROVED.

INSULATION NOTES:

BOARD CAVITY INSULATION: TO ALL WALLS WITH BOARD CAVITY FILLED WITH 100mm EPS INSULATION. ALL TYPICAL FRAMED WALLS EXT. AND INT.

STRUCTURAL COLUMN:

AS PER STRUCTURAL ENGINEER DETAILS AND SPECIFICATIONS.

STRUCTURAL BEAM:

FOR STRUCTURAL BEAMS TO DETAILS SHOWS AS PER STRUCTURAL ENGINEER DETAILS AND SPECIFICATIONS. NOT ALL STRUCTURAL BEAMS SHOWN FOR CLARITY.

AIRCORNDITIONING NOTES:

AIRCORNDITIONING UNITS TO AREAS DESIGNATED FOR CLIMATE CONTROL AND PLAN FOR DUCTED SYSTEM DESIGN. DESIGN SHOW INDICATIVE ONLY. REFER SPECIFICATIONS FOR ALL DETAILS.

CEILING HEIGHTS:

REFER CEILING HEIGHTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A01.1 & A01.2

NOTES:

EXTERNAL DOORS & WINDOWS

REFER CEILING HEIGHTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A01.1 & A01.2

EXTERNAL DOORS & WINDOWS

REFER CEILING HEIGHTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A01.1 & A01.2

FLOOR FINISH LEGEND:

PRINCEY ALL OVER FLOOR

REFER CEILING HEIGHTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A01.1 & A01.2

WINDOW, DOOR, NOSINGS, SKIRTINGS & ARCHITRAVES:

REFER CEILING HEIGHTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A01.1 & A01.2

EXTERNAL DOORS & WINDOWS:

REFER CEILING HEIGHTS FOR ALL DETAILS ON CEILING HEIGHTS AND SELECTED CORNICES SHEET A01.1 & A01.2

CONSTRUCTION NOTES:

CN1 - CONSTRUCTION NOTE 1

CN2 - CONSTRUCTION NOTE 2

CN3 - CONSTRUCTION NOTE 3

CN4 - CONSTRUCTION NOTE 4

CN5 - CONSTRUCTION NOTE 5

CN6 - CONSTRUCTION NOTE 6

CN7 - CONSTRUCTION NOTE 7

AREAS

UPPER FLOOR	260,828 m ²
LC GARAGE & ACCESS	263,828 m ²
TOTAL	13,947 m ²
GROUND FLOOR	238,798 m ²
DRIVING COURT	14,206 m ²
ENTRY	17,817 m ²
ALFRESCO	5,558 m ²
TOTAL	332,219 m ²
UPPER FLOOR	231,000 m ²
LF LIVING	228,174 m ²
TERRACE	288,819 m ²
TOTAL	883,957 m ²

REFER PLOT RATIO DIAGRAM LAYOUTS FOR ALL DETAILS OF EXTENTS AND CALCULATED AREAS

TERMITE TREATMENT NOTE:

REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE:

THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

DARKLIGHT DESIGN

ARCHITECTURE

PHASED LAYOUT PLAN

PROPOSED STEWART RESIDENCE

DATE: 12/05/2016

PROJECT NO: 139-16

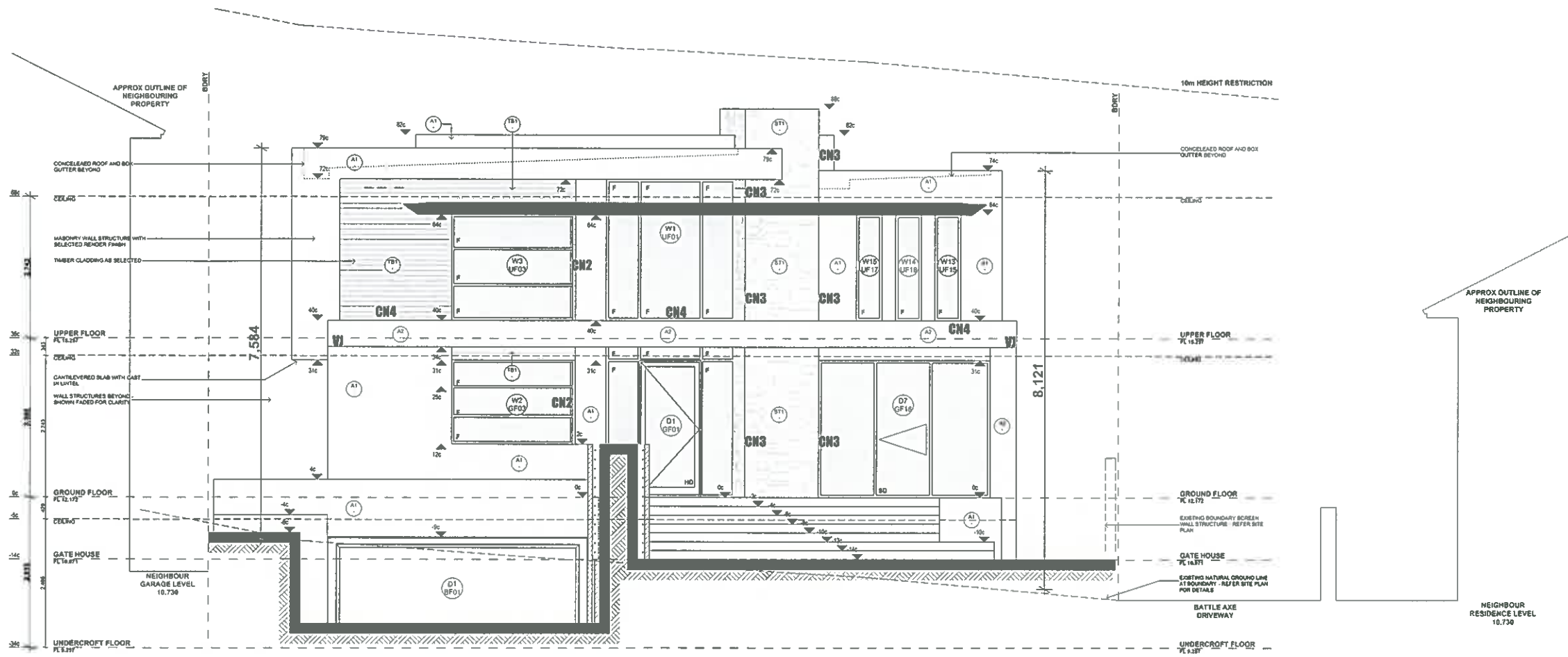
DRAWN BY: JG/AB

CHECKED BY: JG/AB

DATE: 12/05/2016

SCALE: 1:50

PRELIMINARY ISSUE ONLY



FINISHES LEGEND

- (A1) ACRYLIC RENDER ON MASONRY WALL FINISHES AND FINISHES PER SPECIFICATION
- (A2) ACRYLIC RENDER ON EPS FOAM PROFILE AND FINISHES PER SPECIFICATION
- (ST) SELECTED STONE CLADDING PROFILE AND FINISHES PER SPECIFICATION
- (WT) SELECTED TIMBER CLADDING PROFILE AND FINISHES PER SPECIFICATION
- (V) EXPANSION OR 'Y' GROOVE JOINT DETAILS PER BUILDER SPECIFICATION
- (W) AREAS SHOWN ARE FOR AESTHETIC PURPOSES ONLY - BUILDER TO CONFIRM ON SITE AND ADD GROOVE OR EXPANSION GAPS TO SUIT NOMINATED FINISHES PER MANUFACTURERS SPECIFICATIONS AND DETAILS

FINISHES NOTE:

GENERAL DOWNPIPES, FLASHINGS & TRIMS, GUTTERS & FASCIAS & ALL OTHER FINISHES NOT NOMINATED REFER TO SPECIFICATIONS FOR DETAILS

SEER CLASSIFICATION FROM BUILDER IF REQUIRED PRIOR TO EXECUTION OF ANY WORKS

ALL DOWNPIPES, RWH AND SPREADERS SHOWN FOR ILLUSTRATION PURPOSES ONLY - REFER ROOF PLANS FOR ALL DETAILS AND SPECIFICATIONS

ELEVATION & SECTION CONSTRUCTION NOTES:

CN1 - CONSTRUCTION NOTE 1
PLUMBING ACCESS HATCH - REFER PLANS FOR DETAILS

CN2 - CONSTRUCTION NOTE 2
SLICED BUTT JOINT TO WINDOW AT CORNER - REFER WINDOW SCHEDULE FOR DETAILS

CN3 - CONSTRUCTION NOTE 3
RETURN SELECTED STONE AROUND CORNERS WITH CORNER PIECES, NO MITERED OR BUTT JOINTS - DETAILS TBC ON SITE W/ STONE MASON

CN4 - CONSTRUCTION NOTE 4
MASTERWALL SKYLINE CAPPING OR SIMILAR APPROVED - REFER STRUCTURAL DETAILS AND SECTIONS

CN5 - CONSTRUCTION NOTE 5
POP OUTLET TO CONCEALED BOX GUTTERS - REFER TYPICAL DETAILS AND ROOF PLAN

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS UNLESS OTHERWISE SPECIFIED IN THE CONTRACT AND WHERE APPLICABLE NATIONAL AND INTERNATIONAL STANDARDS IN ACCORDANCE WITH THE RELEVANT STANDARDS OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK.

A STANDARD APPLICABLE TO THE WORK SHALL BE THE LATEST PUBLISHED EDITION PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED.

INCLUDE DIMENSIONED DRAWINGS FOR FINISHING DETAILS OF THE OF THE FABRICATION AND INSTALLATION OF STRUCTURAL, BLINDS, BUILDING COMPONENTS, SERVICES AND EQUIPMENT, INCLUDING RELATIONSHIP TO BUILDING STRUCTURE AND OTHER SERVICES, CABLE TYPING AND SIZING, WIRING AND DETAILS.

DIMENSIONAL LAYOUTS COORDINATE WORK SHOWN DIMENSIONALLY IN THE CONTRACT DOCUMENTS, AND SUBMIT DIMENSIONS SET OUT DIMENSIONS DIMENSIONAL LAYOUTS COORDINATE WORK SHOWN DIMENSIONALLY IN THE CONTRACT DOCUMENTS AND SERVICES AS SHOWN ON THE DRAWINGS & DIMENSIONS ONLY. OBTAIN MEASUREMENTS AND OTHER INFORMATION NECESSARY TO CARRY OUT THE WORK SPECIFIED.

ON-SITE WORK AT THE TIME OF TENDERING THE CONTRACTOR SHALL NOTIFY THE CLIENT/OWNER OF ANY ON-SITE CONTRACT ITEMS WHICH HAVE BEEN OBTAINED FROM DOCUMENTATION AND/OR SPECIFICATION FAILURE TO COMPLY IN THIS RESPECT SHALL BE DEEMED TO BE AN ON-SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN MEASUREMENTS AND OTHER INFORMATION NECESSARY TO CARRY OUT THE WORK SPECIFIED.

DIMENSIONS AND SCALED DRAWINGS FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. UNLESS SCALED DIMENSIONS ARE SHOWN IN PREFERENCE TO SCALED DIMENSIONS CONTRACTOR TO CHECK FOR DISCREPANCIES ALL DIMENSIONS SHOWN BEFORE COMMENCING ANY WORK OR BEFORE FIXING.

MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNITURE, FINISHES, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND VERIFY CHANGES REQUIRED TO OCCUR BEFORE FABRICATION.

TIMBER CONSTRUCTION NOTES

ALL TIMBER TO BE CARVED OUT IN ACCORDANCE WITH THE NATIONAL TIMBER FINISHING CODE AS PER AND THE TIMBER STRUCTURES CODE AS PER 1181.

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HANDMADE PLASTER, SHIM COIL, EXTERNAL POWDER, STONE CLADDING, FLOOR FINISHES OR SHIM CLADDING.

ALL WORK SHALL BE CARRIED OUT BY A WORKMANSHIP WARRIOR.

FALLS TO SHOWER FLOORS 150

FALLS TO HET HET FLOORS 150

TRIM LINES ARE SHOWN ON-GRID AND SUBJECT TO FINAL REVISIONS.

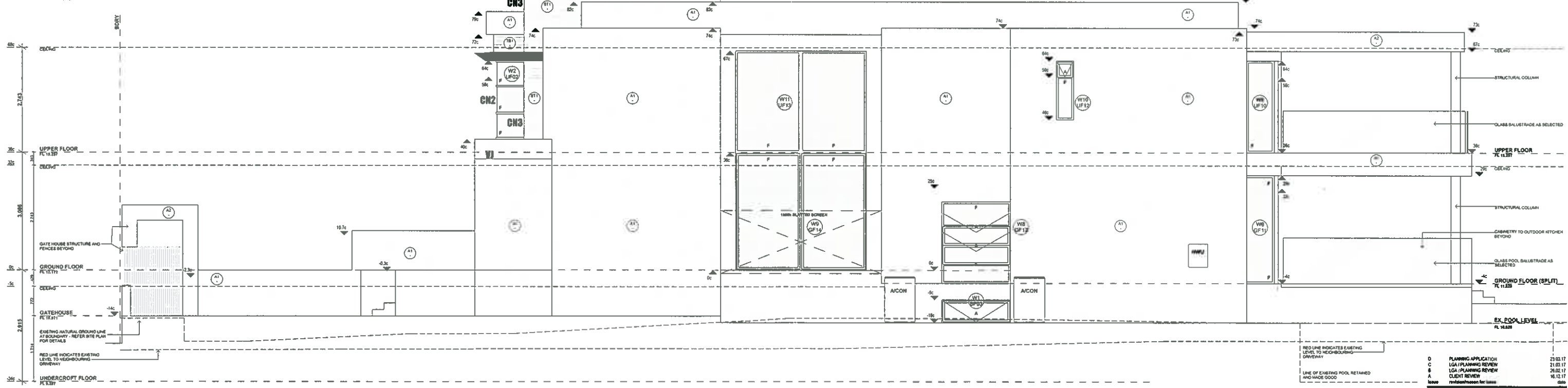
CABINETRY AND ALL FIT FIRST FIT PLUMBING AND ELECTRICAL, BIBLES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS.

PROVIDE ALL NECESSARY FRONTS, PLUMBING, FINISHES AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY IMPERMEABLE.

ALL GLAZING TO BE IN ACCORDANCE WITH AS/NZS 4100

ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

ELEVATION 01 (SOUTH ELEVATION)
SCALE 1:50 (A1)



ELEVATION 02 (EAST ELEVATION)
SCALE 1:50 (A1)

D	PLANNING APPLICATION	23.03.17
C	LGA PLANNING REVIEW	21.03.17
B	LGA PLANNING REVIEW	20.02.17
A	CLIENT REVIEW	16.12.17
Issue	revised/reason for issue	date

PROPOSED STEWART RESIDENCE

DARKLIGHT DESIGN

2/F, 45 STABLES, PEPPERMINT GROVE, SA
ELEVATION 01 (SOUTH) & 02 (WEST)

designed	JE/AB	drawn	AB
scale	AS SHOWN ON DRAWINGS	project #	X9-16
status	PLANNING APP.	checked	AB

A04.1

PLOT DATE: Thursday, 23 March 2017

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Shire of Peppermint Grove

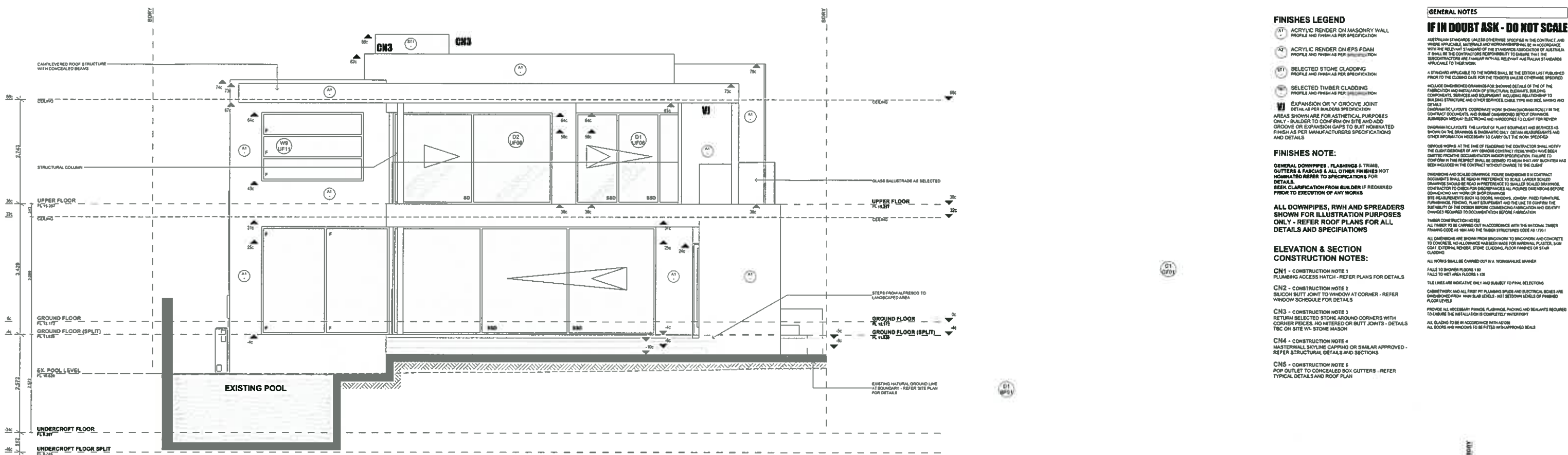
24 MAR 2017

RECEIVED

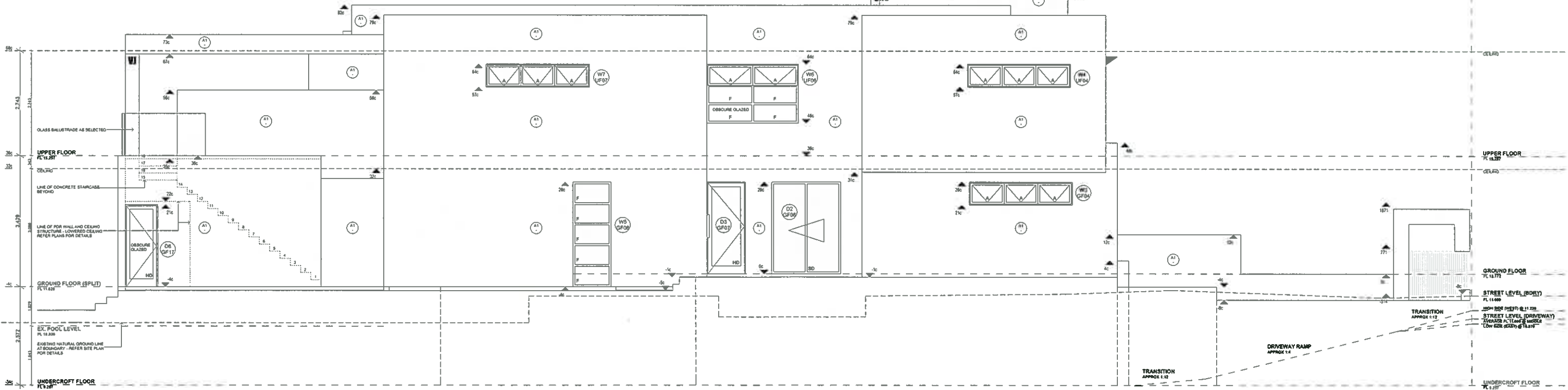
PRELIMINARY ISSUE ONLY

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS



ELEVATION 03 (NORTH ELEVATION)
SCALE 1:200 (A1)



ELEVATION 04 (WEST ELEVATION)
SCALE 1:200 (A1)

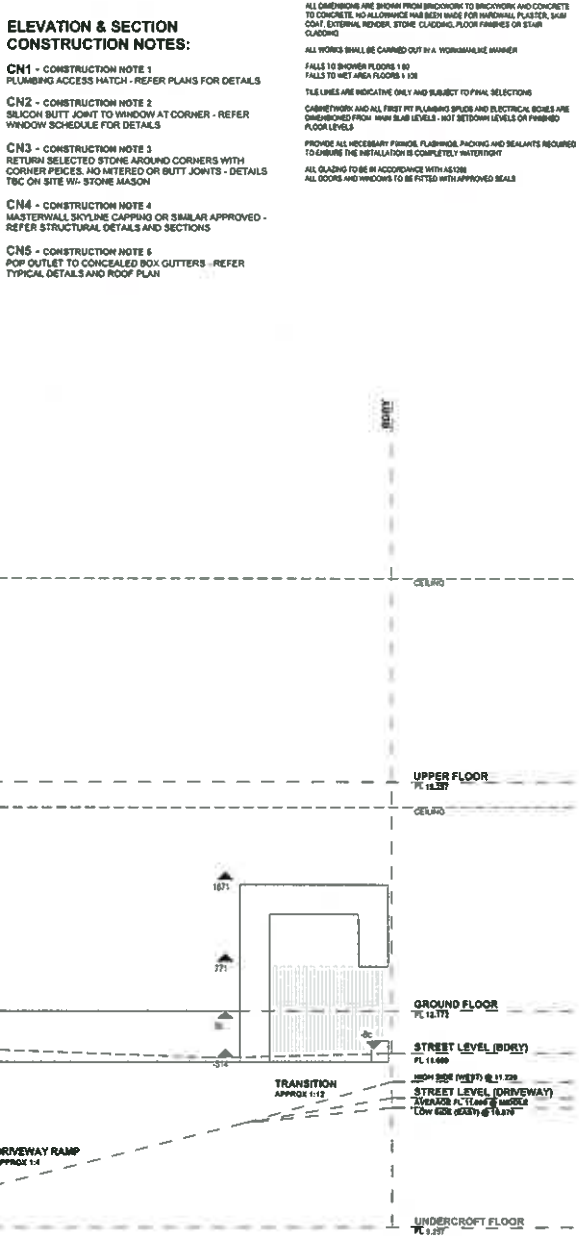
PRELIMINARY ISSUE ONLY

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRIP TREATMENT TO RELEVANT CODES AND REGULATIONS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

GENERAL NOTES

- FINISHES LEGEND**
- (A1) ACRYLIC RENDER ON MASONRY WALL PROFILE AND FINISH AS PER SPECIFICATION
 - (A2) ACRYLIC RENDER ON EPS FOAM PROFILE AND FINISH AS PER SPECIFICATION
 - (A3) SELECTED STONE CLADDING PROFILE AND FINISH AS PER SPECIFICATION
 - (A4) SELECTED TIMBER CLADDING PROFILE AND FINISH AS PER SPECIFICATION
 - (A5) EXPANSION OR 'Y' GROOVE JOINT DETAILS PER BUILDERS SPECIFICATION AREAS SHOWN ARE FOR AESTHETICAL PURPOSES ONLY - BUILDER TO CONFIRM ON SITE AND ADD GROOVE OR EXPANSION GAPS TO SUIT DOWNNATED FINISH AS PER MANUFACTURERS SPECIFICATIONS AND DETAILS
- FINISHES NOTE:**
GENERAL DOWNPIPES, FLASHINGS & TRIMS, OUTTERS & FACIAS & ALL OTHER FINISHES NOT NOMINATED REFER TO SPECIFICATIONS FOR DETAILS. SEEK CLARIFICATION FROM BUILDER IF REQUIRED PRIOR TO EXECUTION OF ANY WORKS.
- ALL DOWNPIPES, RWV AND SPREADERS SHOWN FOR ILLUSTRATION PURPOSES ONLY - REFER ROOF PLANS FOR ALL DETAILS AND SPECIFICATIONS**
- ELEVATION & SECTION CONSTRUCTION NOTES:**
- CN1 - CONSTRUCTION NOTE 1 PLUMBING ACCESS HATCH - REFER PLANS FOR DETAILS
 - CN2 - CONSTRUCTION NOTE 2 SLITCH BUTT JOINT TO WINDOW AT CORNER - REFER WINDOW SCHEDULE FOR DETAILS
 - CN3 - CONSTRUCTION NOTE 3 RETURN SELECTED STONE AROUND CORNERS WITH CORNER PICES, NO MITERED OR BUTT JOINTS - DETAILS TBC ON SITE W/ STONE MASON
 - CN4 - CONSTRUCTION NOTE 4 MASTERWALL SKYLINE CAPPING OR SIMILAR APPROVED - REFER STRUCTURAL DETAILS AND SECTIONS
 - CN5 - CONSTRUCTION NOTE 5 POP OUTLET TO CONCEALED BOX OUTTERS - REFER TYPICAL DETAILS AND ROOF PLAN



Shire of Peppermint Grove

24 MAR 2017
RECEIVED

PROPOSED STEWART RESIDENCE

DARKLIGHT DESIGN

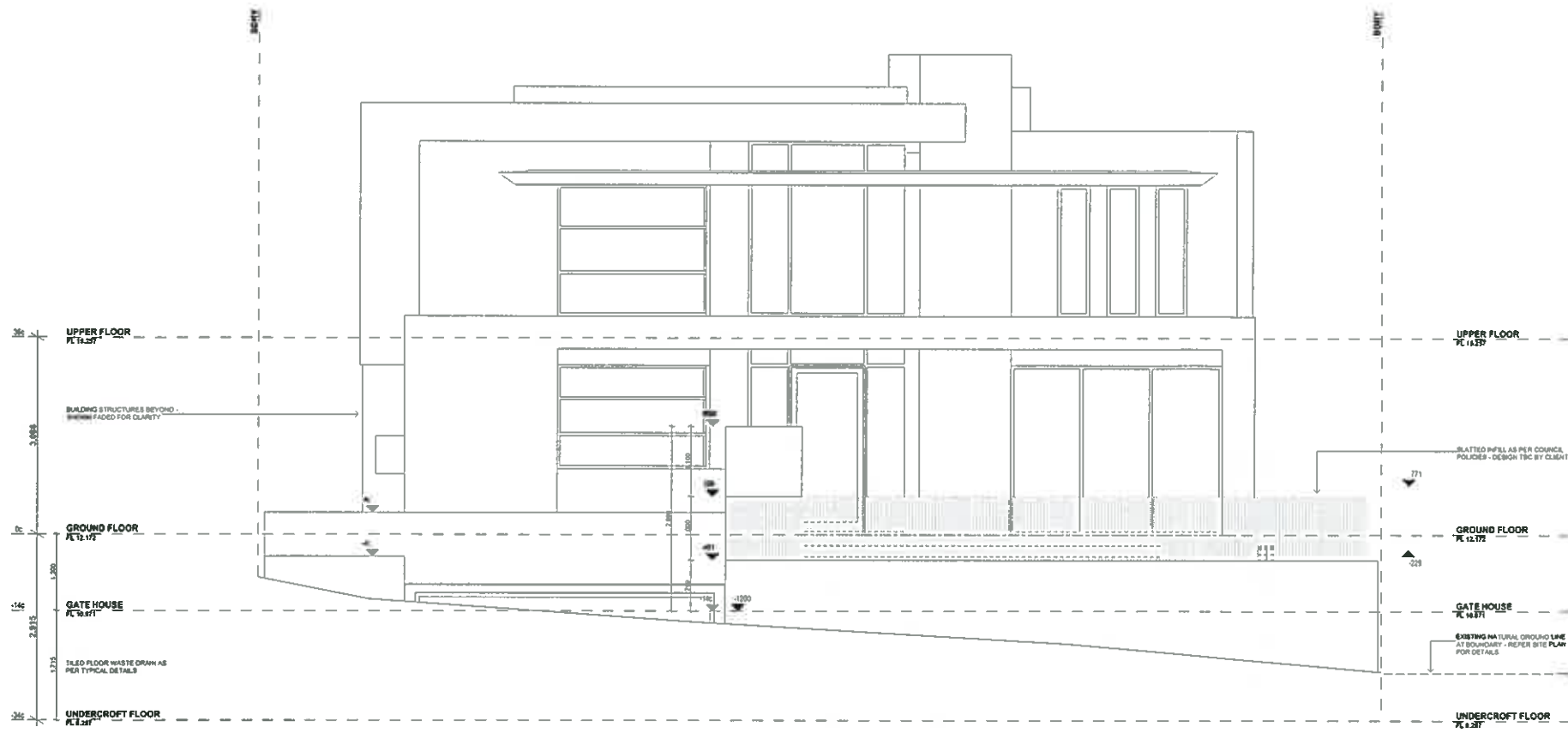
2785 N. STREET, PEPPERMINT GROVE, WA
ELEVATION 03 (NORTH) & 04 (EAST)

Designed	JE/AB	Drawn	AB
Scale	AS SHOWN ON DRAWINGS	Project #	X9-16
Status	PLANNING APP.	Checked	AB

A04.2

PLOT DATE: Thursday, 23 March 2017

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ELEVATION 05 (STREET FENCE SOUTH ELEVATION)
SCALE 1:50 (A4)

- FINISHES LEGEND**
- (A1) ACRYLIC RENDER ON MASONRY WALL
PROFILE AND FINISH AS PER SPECIFICATION
 - (A2) ACRYLIC RENDER ON EPS FOAM
PROFILE AND FINISH AS PER SPECIFICATION
 - (S1) SELECTED STONE CLADDING
PROFILE AND FINISH AS PER SPECIFICATION
 - (T1) SELECTED TIMBER CLADDING
PROFILE AND FINISH AS PER SPECIFICATION
 - (E) EXPANSION OR 'V' GROOVE JOINT
DETAILS AS PER BUILDING SPECIFICATION
AREAS SHOWN ARE FOR AESTHETIC PURPOSES
ONLY - BUILDER TO CONFIRM ON SITE AND ADD
GROOVE OR EXPANSION GAPS TO SUIT NOMINATED
FINISHES PER MANUFACTURERS' SPECIFICATIONS
AND DETAILS
- FINISHES NOTE:**
- GENERAL DOWNPIPES, FLASHINGS & TRIMS, GUTTERS & FASCIAS & ALL OTHER FINISHES NOT NOMINATED REFER TO SPECIFICATIONS FOR DETAILS. SEEK CLARIFICATION FROM BUILDER IF REQUIRED PRIOR TO EXECUTION OF ANY WORKS.**
- ALL DOWNPIPES, RWH AND SPREADERS SHOWN FOR ILLUSTRATION PURPOSES ONLY - REFER ROOF PLANS FOR ALL DETAILS AND SPECIFICATIONS**
- ELEVATION & SECTION CONSTRUCTION NOTES:**
- CN1 - CONSTRUCTION NOTE 1**
PLUMBING ACCESS HATCH - REFER PLANS FOR DETAILS
- CN2 - CONSTRUCTION NOTE 2**
SILICON BUTT JOINT TO WINDOW AT CORNER - REFER WINDOW SCHEDULE FOR DETAILS
- CN3 - CONSTRUCTION NOTE 3**
RETURN SELECTED STONE AROUND CORNERS WITH CORNER PEICES. NO MITERED OR BUTT JOINTS - DETAILS TBC ON SITE W/ STONE MASON
- CN4 - CONSTRUCTION NOTE 4**
MASTERWALL SKYLINE CAPPING OR SIMILAR APPROVED - REFER STRUCTURAL DETAILS AND SECTIONS
- CN5 - CONSTRUCTION NOTE 5**
POP OUTLET TO CONCEALED BOX GUTTERS - REFER TYPICAL DETAILS AND ROOF PLAN

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS UNLESS OTHERWISE SPECIFIED IN THE CONTRACT AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK.

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED.

INCLUDE DIMENSIONS DIMENSIONS FOR SHOWING DETAILS OF THE FABRICATION AND METALWORK OF STRUCTURAL ELEMENTS, BUILDING COMPONENTS, SERVICES AND EQUIPMENT, INCLUDING RELATIONSHIP TO BUILDING STRUCTURE AND OTHER SERVICES, CABLE TYPE AND SIZE, WIRING AND DETAILS.

DIMENSIONAL LAYOUTS COORDINATE WORK SHOWN DIMENSIONALLY IN THE CONTRACT DOCUMENTS AND SUBMIT DIMENSIONS DETAIL DIMENSIONS SUBMISSION MEDIA. ELECTRONIC AND HARD COPIES TO CLIENT FOR REVIEW.

DIMENSIONAL LAYOUTS THE LAYOUT OF PLANT EQUIPMENT AND SERVICES AS SHOWN ON THE DRAWINGS IS ENOCHIC ONLY. OBTAIN MEASUREMENTS AND OTHER INFORMATION NECESSARY TO CARRY OUT THE WORK SPECIFIED.

ON-SITE WORKS: AT THE TIME OF TENDERING THE CONTRACTOR SHALL NOTIFY THE CLIENT/BUILDER OF ANY ON-SITE CONTRACT WORK WHICH HAS BEEN OBTAINED FROM THE DOCUMENTATION AND/OR SPECIFICATION FAILURE TO CONFORM IN THIS RESPECT SHALL BE DEEMED TO MEAN THAT ANY SUCH WORK HAS BEEN INCLUDED IN THE CONTRACT WITHOUT CHANGE TO THE CLIENT.

DIMENSIONS AND SCALE DIMENSIONS: DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DIMENSIONS SHALL BE READ IN PREFERENCE TO SMALLER SCALED DIMENSIONS. CONTRACTOR TO CHECK FOR DISCREPANCIES. ALL DIMENSIONS MUST BE CONFIRMED BY THE CONTRACTOR BEFORE COMMENCING FABRICATION AND CERTIFY CHANGES REQUIRED TO OCCUR PRIOR TO FABRICATION.

TIMBER CONSTRUCTION NOTES

ALL TIMBER TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL TIMBER FINISHING CODE IS 109 AND THE TIMBER STRUCTURES CODE IS 1231.

ALL DIMENSIONS ARE SHOWN FROM FACE UNLESS OTHERWISE SPECIFIED TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HANDWALL PLASTER, SHIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING.

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER.

FALLS TO SHOWER FLOORS IS 100

FALLS TO WET AREA FLOORS IS 100

THE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIVE CABINETWORK AND ALL FITS FOR PLUMBING SHIMS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT FROM LEVELS OR FINISHED FLOOR LEVELS.

PROVIDE ALL NECESSARY FRINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATIONS COMPLETELY WATER TIGHT.

ALL CLADDING TO BE IN ACCORDANCE WITH AS 1550

ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

PRELIMINARY ISSUE ONLY

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

D	PLANNING APPLICATION	23.03.17
C	LGA PLANNING REVIEW	21.03.17
B	LGA PLANNING REVIEW	28.02.17
A	CLIENT REVIEW	18.12.17
Issue	revised/issued for issue	Date

Shirō of Peppermint Grove
24 MAR 2017
RECEIVED

PROPOSED STEWART RESIDENCE

DARKLIGHT DESIGN

STREET FENCE ELEVATION 05 (SOUTH)

designed	JE/AB	drawn	AB
scale	AS SHOWN ON DRAWINGS	project #	X9-16
status	PLANNING APP.	checked	AB

A04.3

PLOT DATE: Thursday, 23 March 2017



Ordinary Council Meeting

8.1.4 – Results of the Review of Heritage Management Category 2 - Attachment # 3

ATTACHMENT ITEM 8.1.4.
CATEGORY 2 DEFINITION
TABLE OF SUBMISSIONS

Name	Address	Comment	Planning Response
John Bond	148 Forrest Street	The house has been substantially altered.	Further assessment can be undertaken should a DA for demolition be lodged. The house matches the description in the heritage data sheet.
Mr Bennison	6 The Esplanade	Concern that the house has be wrongly assessed and should not be listed	The house built in 1958 as the new No.6 The Esplanade. It is not an inter war Mediterranean as claimed. in the data sheet.
Mr & Mrs Fermanis	36 McNeil Street	The house has been heavily altered and the curtilage lost by further subdivision.	This house was the 'original' No.6 The Esplanade and appears to be the cause of confusion
Mrs Helen Waters	21 McNeil Street	Objects to the change in definition although there is no intention to demolish the house.	Further assessment can be undertaken should a DA for demolition be lodged. The house matches the description in the heritage data sheet
Jon Stewart	154 Forrest Street	Concerned that the previous demolition approval may be arbitrarily changed in the future.	Advised that a renewal or fresh application be lodged.
Planning Solutions (on behalf of Zena Nominees Pty Ltd)	31 View Street	The category 2 house has been demolished. Should not be on the Heritage list	Recommended to remain on MI only.

Michael Whitbread

From: John Merrick
Sent: Thursday, 9 March 2017 9:53 AM
To: Michael Whitbread
Subject: FW: 148 Forrest Street Peppermint Grove

fyi

From: Marie Tabbakh
Sent: Thursday, 9 March 2017 9:00 AM
To: John Merrick <john.merrick@peppermintgrove.wa.gov.au>
Subject: FW: 148 Forrest Street Peppermint Grove

Hi John See below.

Regards

Marie Tabbakh

Executive Officer to The CEO

SHIRE OF PEPPERMINT GROVE

 1 Leake Street, PEPPERMINT GROVE WA 6011
 PO Box 221, Cottesloe WA 6911
 08 9286 8600  08 9286 8608  08 9286 8610
 marie.tabbakh@peppermintgrove.wa.gov.au
 <http://www.peppermintgrove.wa.gov.au>
 www.thegrovelibrary.com
 <http://thegroveprecinct.com/>



From: John Bond [<mailto:John@primewest.biz>]
Sent: Wednesday, 8 March 2017 12:55 PM
To: Norma Black <Norma.Black@peppermintgrove.wa.gov.au>
Subject: 148 Forrest Street Peppermint Grove

Dear Sir,

I wish to object to the proposed replacement wording for category 2 heritage properties.

In the case of the above property which was built in the late 1930's it was extensively altered when we acquired it in 1991 and I do not believe it has any heritage value.

Regards,

John Bond

J BENNISON
Telephone (08) 93840507

6 The Esplanade
Peppermint Grove 6011
Western Australia

WITHOUT PREJUDICE

20th March 2017

Mr John Merrick
The Chief Executive Officer
PO Box 221
Cottesloe WA 6911

Shire of Peppermint Grove

Doc No: _____ File Ref: _____

Rcvd: 15 MAR 2017 Rcvd By: EA

Comments: _____

RE: Category 2 Heritage Property – 6 The Esplanade Peppermint Grove

Dear Mr John Merrick

I am replying to your letter of 1st March concerning the listing of my property as a Category 2 Heritage Property. I vehemently oppose my property being listed as Category 2 Heritage Property.

My home is of such architecture that I cannot believe that it would be regarded as heritage. This house is over sixty years old and in need of extensive repairs in the not too distant future. I am sure that any replacement building will be in keeping with the values of Peppermint Grove and the streetscape as do the houses currently on The Esplanade.

I am opposed to the revised definition particularly given the inclusion of my property which I and others believe should not qualify for heritage listing. On the basis of the definition every house in The Esplanade should be listed which is obviously impractical and unnecessary. Listing four houses in The Esplanade shows how ridiculous the definition is. If the houses along The Esplanade are to be consistent with the streetscape they should all be listed, including the other regions of the suburb.

I would be most grateful if you could ensure that my home is not listed as Category 2 Heritage listing and advise as soon as possible.

Please advise the Council that I am opposed to the listing.

I will be seeking legal advice to pursue this matter further if required.

Yours faithfully



John Bennison

17 March 2017

Mr. Michael Whitbread
Town Planner
Shire of Peppermint Grove

Dear Sir,

I am writing to request that my property at 36 Mc Neil Street, Peppermint Grove be removed from the Heritage Registry (where it is currently listed as a Category 2 Heritage Property). The rationale for this request concerns the following substantial alterations to the original 1933 property:

1. The original owner subdivided the property and built a new house on the subdivision (8 The Esplanade). This subdivision considerably affected the value, aspect and appearance of the original property, because its extensive grounds and river views were substantially diminished.
2. The next owner again subdivided the property. This subdivision resulted in the complete destruction of the rear of the house (including garages) and a new house was built on the subdivision (34 Mc Neil Street). This second subdivision substantially altered the structural and aesthetic integrity of the original property.
3. The next owner of the house made substantial changes to the first floor. The dormer windows were replaced with sliding doors on one side of the house and the balcony was extended. These alterations substantially altered the façade of the house.
4. The next owner further extended and modernised the side house to include garages.

In summary, the original property has been substantially and materially altered over the years. The current house is missing a significant amount of the original house that was built in 1933. Most importantly the facade of the house is not in its original state and the rear of the house was demolished to accommodate a subdivision of the property. All of these alterations have left the house without architectural integrity. The original house was built on 4000 square meters of land and possessed sweeping river views, extensive gardens and a tennis court. The current house is now sandwiched between the three neighbouring houses and is only 870 square meters.

All of these changes have eliminated the heritage value of the property. Furthermore, the Peppermint Grove council offers the house little protection as neighbouring houses are being demolished and rebuilt.

My request is two-fold: 1. I would like to have the property's heritage listing reassessed; and 2. I would like an explanation as to why the property was ever considered to have heritage value, as it has clearly not retained either the structural or aesthetic integrity of its original design.

Yours sincerely,
Con Fermanis

Michael Whitbread

From: John Merrick
Sent: Thursday, 9 March 2017 9:52 AM
To: Michael Whitbread
Subject: FW: Re Category 2 Heritage Property-21 McNeil Street Peppermint Grove -Review of Municipal Inventory Management categories

fyi

From: Marie Tabbakh
Sent: Thursday, 9 March 2017 8:59 AM
To: John Merrick <john.merrick@peppermintgrove.wa.gov.au>
Subject: FW: Re Category 2 Heritage Property-21 McNeil Street Peppermint Grove -Review of Municipal Inventory Management categories

Hi John

Please refer to email below.

Regards

Marie Tabbakh

Executive Officer to The CEO

SHIRE OF PEPPERMINT GROVE

 1 Leake Street, PEPPERMINT GROVE WA 6011
 PO Box 221, Cottesloe WA 6911
 08 9286 8600  08 9286 8608  08 9286 8610
 marie.tabbakh@peppermintgrove.wa.gov.au
 <http://www.peppermintgrove.wa.gov.au>
 www.thegrovelibrary.com
 <http://thegroveprecinct.com/>



From: Robin Waters [<mailto:robin.waters@acequity.com.au>]
Sent: Wednesday, 8 March 2017 11:52 AM
To: Norma Black <Norma.Black@peppermintgrove.wa.gov.au>
Subject: Re Category 2 Heritage Property-21 McNeil Street Peppermint Grove -Review of Municipal Inventory Management categories

Dear Mr Merrick

Thank you for your letter dated 1 March 2017 advising of a possible proposed change in regard to Category 2 properties in Peppermint Grove.

I have owned 21 McNeil Street which is a Category 2 heritage property for many years . When I purchased the property I did my due diligence on the heritage aspects of 21 McNeil Street and I established exactly what the position was when I visited the Shire offices and your officers advised me of the position . On the strength of what I established - I made a decision to purchase the property . Now it appears to be the position that after all these years the Council is considering changing the rules – so that ‘right ’ that I have always had , is now to be removed.

I am appalled that your Council could consider this ‘retrospective’ change to the wording for Category 2 heritage properties . If I had for one moment thought that your Council was going to change the rules , then I would not have bought the property in the first place.

I have absolutely no current intention of demolishing my home , which I have extended and upgraded on numerous occasions. But I bought it on the understanding that I had a ‘right ’ to demolish it- and it is the arbitrary removal of the ‘right ’ many years later that I object to in the strongest possible terms.

Yours sincerely

Helen Waters

Michael Whitbread

From: Jon Stewart <jstewart@australisoil.com>
Sent: Wednesday, 22 March 2017 3:46 PM
To: Norma Black
Cc: Caro Stewart
Subject: FW: Category 2 Heritage Property - 154 Forrest Street, Peppermint Grove - Review of Municipal Inventory Management Categories
Attachments: 154 Forrest Street, Peppermint Grove - Shire of PG Demolition Applicatio....pdf

Dear Mr Merrick

I refer to your letter of 1 March 2017 headed "Category 2 Heritage Property - 154 Forrest Street, Peppermint Grove - Review of Municipal Inventory Management Categories". I also attach a copy of the previous owner's demolition consent.

My wife and I have only very recently purchased the property at 154 Forrest Street. It is currently configured as 3 separate flats, is dilapidated and unoccupied. The property has been purchased in order to demolish the current building and construct a new family home in its stead. We have commenced the process of design. In our view and that of our advisors the existing buildings are not capable of being renovated and altered to achieve a satisfactory outcome and certainly not at an acceptable cost. The previous owners were clearly of the same view and permission was granted by Council for demolition.

Prior to purchasing the property I contacted the Council to seek confirmation that there would not be an issue in having this building demolished in due course in order to construct a new home. It was confirmed to me that there was an existing demolition order on the property issued based on acceptable plans for a new development proposed by the previous owner. I was advised that provided the plans we put to council in due course were within the acceptable building regulations there would not be a problem with having a new demolition order made in our name.

The purchase of 154 Forrest Street was expressly made on the back of this confirmation from the Council executive.

The letter forwarded proposes replacing the existing wording of the Shire's definition for Category 2 properties with wording that is significantly different and has removed the reference to demolition. I am extremely concerned that this change could be a catalyst for an arbitrary blocking of demolition of the property at 154 Forrest Street based on individual perception of what constitutes "heritage contribution of the building to the streetscape".

At a minimum, if Council is to seek such a change it is fundamental that they clarify clearly what they consider to be the nature of a property that falls within their definition and why. The current proposal is broad and unclear and would give rise to the potential for differences of opinion, most likely leading to litigation.

Jon Stewart
60 Leake Street
Peppermint Grove, WA 6011

PS ref: 5205

31 March 2017

Chief Executive Officer
Shire of Peppermint Grove
PO Box 221
COTTESLOE WA 6911

Attention: Michael Whitbread, Planning Services

Dear Sir,

**LOTS 141 AND 234 (31) VIEW STREET, PEPPERMINT GROVE
SUBMISSION ON MUNICIPAL INVENTORY REVIEW AND DRAFT LOCAL PLANNING POLICIES**

Planning Solutions acts on behalf of Zena Nominees Pty Ltd, the registered proprietor of Lots 141 and 234 (31) View Street, Peppermint Grove (**subject site**).

We refer to various correspondence from the Shire of Peppermint Grove (**Shire**), inviting landowners to comment on:

- proposed changes to the definition of a 'Category 2' heritage place under the Shire's Municipal Inventory (**MI**); and
- a suite of draft local planning policies, prepared for adoption under the Shire's recently gazetted Local Planning Scheme No.4 (**LPS4**).

We thank the Shire for the opportunity to review and comment on the proposed MI changes and draft local planning policies. On behalf of our client, we request a number of changes to the MI and draft local planning policies, summarised as follows:

1. Amend the MI to include a further category (or categories) of heritage places, to capture those places not worthy of retention within MI Category 2 and hence not requiring additional planning restrictions or controls (for example, where the heritage building has already been demolished and the replacement/current building does not have heritage value).
2. Remove the subject site, 31 View Street, from MI 'Category 2'. If necessary, consider it for inclusion in a new (lesser) category, to acknowledge and capture the historic significance of the place but not require further planning controls.
3. Prepare a separate heritage list (distinct from the MI) pursuant to Part 3 Clause 8 of the Deemed Provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015 (Regulations)*. The heritage list should only include those heritage places worthy of further controls and protections under the local planning framework (this could comprise 'Category 1', and the revised/consolidated 'Category 2' places listed in the MI).
4. Revise draft Local Planning Policy 3 – Heritage Places (**LPP3**) to reflect the changes described in points 1-3 above, and only apply to those places on the heritage list (rather than the MI).
5. Amend the wording of Local Planning Policy 4 – Residential Building Heights (**LPP4**) to read "*The development meeting with all other provisions of the Scheme and the deemed-to-comply provisions of the R-Codes.*"

These issues and our rationale for the proposed changes are detailed further below.

1. HERITAGE CONSIDERATIONS

MUNICIPAL INVENTORY REVIEW

The subject site is currently identified as a 'Category 2' place under the MI, implying the building itself has an inherent heritage value and warrants protection through heritage-related planning/development control.

However, a review of the Shire's Municipal Heritage Inventory Place Record Form applicable to the site (contained in **Appendix 1** of this submission) confirms the historical building of heritage value associated with the subject site has long been demolished. The statement of significance for the subject site states:

The site formerly housed the residence of the family of Lucius Manning and has cultural heritage significance because ... of its associations with Lucius Manning, manufacturer, and the continuing long association with the Manning family.

As is evident by the Place Record Form, the current building on the subject site has no heritage value. However, the site's identification as a 'Category 2' place anomalously results in heritage-related development restrictions applying to the current building. The Shire's proposed changes to the definition of Category 2 places would appear to further strengthen these restrictions (including a presumption against demolition, even if the building itself has no value).

To rectify this anomaly, we submit the following changes should be made to the MI:

1. A new category (or categories) should be added to the MI, which would capture places currently listed under 'Category 2' that have local heritage significance, but do not warrant any heritage-related planning control or development restrictions.
2. Remove 31 View Street (the subject site) from 'Category 2' and include it in the new lesser category(ies), correctly reflecting its level of heritage significance and removing any heritage-related planning control and development restriction.

Our proposed changes warrant the Shire's support, as the MI will still identify the subject site as a place with historic significance, without imposing unnecessary planning/development restrictions.

HERITAGE LIST

Under the *Heritage of Western Australia Act 1990*, all local governments are required to identify all local places in a local government inventory. The inventory is a survey used to identify all places of (varying) heritage significance in a local authority area, but in itself does not have statutory force and effect in terms of planning controls.

Distinct from the municipal inventory, a heritage list can be established by a local authority pursuant to its local planning scheme and Clause 8(1) of the Deemed Provisions of the Regulations, which states:

The local government must establish and maintain a heritage list to identify places within the Scheme area that are of cultural heritage significance and worthy of built heritage conservation. [emphasis added]

Put simply, a municipal inventory is a record of all places of local heritage significance (great or small), while a heritage list identifies only those places of significance deemed worthy of further planning controls to preserve built heritage. This is an important distinction, as not all places listed on a municipal inventory will contain buildings of heritage significance (which may have already been demolished), and therefore shouldn't be subject to planning controls that presume against demolition and/or tightly control changes to built form.

We recommend the Shire establish a separate list of heritage places under Clause 8(1) of the Deemed Provisions of the Regulations. Only those places listed on the MI as having significant built heritage value should be included on the heritage list, while other places of lesser/little significance should not be included on the heritage list. Building upon the recommended changes to the MI described above, the Shire could consider including all MI 'Category 1' and 'Category 2' places on the heritage list, but exclude any places in lower categories (including the subject site at 31 View Street).

DRAFT LPP3 - HERITAGE PLACES

The Shire's draft LPP3 - Heritage Places has been prepared on the assumption that the MI and the heritage list are one and the same. In light of the issues and recommended changes discussed above, we recommend draft LPP3 be reviewed and updated to ensure it only applies to places on the Shire's heritage list, rather than the MI. The general content and requirements of the policy may not require significant modification, subject to appropriate refinement of its scope and application.

2. DRAFT LPP4 – RESIDENTIAL BUILDING HEIGHTS

We submit policy criterion 8 of the Shire's draft LPP4 - Residential Building Heights should be amended as follows:

8. *The development meeting with all other provisions of the Scheme and the ~~deemed-to-comply provisions of the R-Codes.~~*

The proposed amendment is considered appropriate for the following reasons:

- As currently worded, the policy would preclude the ability for a development proposal to apply the design principles of the R-Codes. Section 3 of the R-Codes Explanatory Guidelines states:
The R-Codes also recognise that there may be circumstances where a more appropriate housing design can result by applying a design principle(s) which will better suit development of the site rather than achievement of the deemed-to-comply provisions; for example, due to shape, slope or aspect.
- The requirement for a proposal to only meet the deemed-to-comply requirements of the R-Codes would effectively restrict the Shire's capability to exercise discretion for development proposals.
- In any case, the Shire would need to assess a proposal on its merits and exercise its discretion prior to granting approval. The proposed amendment would therefore not onerously affect the Shire.
- Peppermint Grove is recognised for containing buildings with a unique character. The nature of the deemed-to-comply provisions could potentially restrict a building's capability to be developed in a manner consistent with this character. Our proposed amendment will ensure this ability is retained.

SUMMARY AND CONCLUSION

In conclusion, we consider a number of changes to the Shire's local heritage framework (namely the MI, heritage list and draft Heritage Policy) are necessary to appropriately preserve its heritage places, while not placing onerous obligations or unduly restricting development of places with little heritage significance. 31 View Street in particular, should not be subject to a Category 2 MI listing or statutory planning controls under LPS4. Furthermore, a minor amendment to the draft Residential Building Heights policy is needed to provide an adequate level of discretion to the Shire when considering variations to scheme provisions.

We thank you for your consideration of this submission. We would be pleased to discuss the content of this submission in further detail as necessary.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'a stagno', with a stylized flourish extending to the right.

ALESSANDRO STAGNO
PLANNING CONSULTANT

170328 5205 submission - draft MI and policies

APPENDIX 1

PLACE RECORD FORM – 31 VIEW STREET, PEPPERMINT GROVE



NAME
ADDRESS

Lot No 5 Pt 6
Street No 31
Street View

MANAGEMENT

Category 2 (Recommend record as a site)

DESCRIPTION

Construction Date 1905-13
Construction Materials **Since demolished**
Walls:
Roof:
Others:
Style and Elements
Modifications
Setting

BACKGROUND

Original Owner Eliza Hearman, (property) Auguste Stang (house)
Other Owners Lucius Manning, Eileen Agnes Manning, Madal Holdings Pty Ltd
Original Designer
Original Builder

ASSESSMENTS

Historical

The property had long associations with the family of Lucius Manning, one of the emerging manufacturers of the pre World War I period, who took up residence in Peppermint Grove at that time. The association with the family continued for more than 6 decades.

Aesthetic

Technical

Social

The site retains associations with the Manning family.

**Environmental
Cultural Group
Townscape Area**

Existing building is intrusive
Existing building is intrusive

Rarity

Representativeness

STATEMENT OF SIGNIFICANCE

This site formerly housed the residence of the family of Lucius Manning and has cultural heritage significance because:

- it is of historical significance because of its associations with Lucius Manning, manufacturer, and the continuing long association with the Manning family.

THEME/S

2.1, 2.2, 2.3
4.2

LISTINGS/AWARDS

REFERENCES

R. Pascoe *Western Australia's Capital Suburb, Peppermint Grove*



Ordinary Council Meeting

**8.1.5 – Adoption of a Heritage List LPS No.
4 - Attachment # 4**

ATTACHMENT ITEM 8.1.5

PROPOSED HERITAGE LIST

TABLE OF SUBMISSIONS

Name	Address	Comment	Planning Response
Mac Hall	Keane Street	Heritage listing erodes land values and has a ripple effect in the suburb.	Various real estate websites rate Peppermint Grove as either the 2 nd or the 7 th suburbs for property values in Australia in 2016.
Lyndon Browne	52 The Esplanade	Claim 8 Million dollar loss in value. Heritage assessment incorrect and vague.	Loss in values is not a valid ground delist abuilding, and is difficult to substantiate. Heritage Consultant reassessment in 2014 and found listing valid.
Mr Date & Mr Lyon	496 Stirling Highway	Welcomes recognition of the importance of local heritage. Happy to have property on the List	Noted.
Planning Solutions (on behalf of Zena Nominees Pty Ltd)	31 View Street	The category 2 house has been demolished. Should not be on the Heritage list	Recommended to remain on MI only

29th March 2017

Mr J.M. Hall
36 Keane Street,
PEPPERMINT GROVE, W.A. 6011

Mr John Merrick
Chief Executive Officer
Shire of Peppermint Grove
PO Box 221
Cottesloe WA 6011

Dear Sir,

I respond to your letter to me on the 08/3/2017 regarding TPS 4.

Many ratepayers have spoken to me regarding the Shire's Heritage List and how it affects the real estate market.

It has been my opinion that for many properties on the list it has meant a considerable loss in value which has a ripple effect on all the land values in the Shire.

Further it seems to me that some properties have been placed on the list based on a cursory street inspection, disregarding the current state of the home or whether it is truly appropriate to be on the list. The Shire has a duty to do its proper due diligence before consigning a ratepayers property to a disadvantaged position.

I also have concerns about the power that the Shire Councillors have over the fate of a ratepayer's property based on whether they think a property adds to the 'atmosphere' of the suburb. A catch all phrase which affects all property owners. What qualifications do Councillors have to make such decisions?

Ever since the Heritage List was introduced to the Shire certain properties have been devalued. How dare the Shire do this to even one property. It is scandalous.

Potentially someone could be on the council who is a 'heritage zealot' with no 'skin in the game' and have little regard for the damage being done.

Before continuing with this Heritage encumbrance the Shire should ensure that the matter is properly debated with all stakeholders and in particular owners whose properties are on the list. Many owners are unaware of all the implications of being on the list and the effect on all our property values.

Yours sincerely,



J.M. HALL

Shire of Peppermint Grove

Doc No: R17/00602 File Ref: LP1386

Rcvd: 24 MAR 2017

Rcvd By: EA

Comments: Hand-delivered approx
12 noon 24/3/17

23rd March 2017

19 Hill Tee

Mosman Park

PO Box 55 Collier WA 6911

Mr John Merrick
Chief Executive Officer
Shire of Peppermint Grove
PO Box 21 Collier WA 6011
Fax 92868610

Dear Mr Merrick,

The stated requirement for Category I - Category II, that a building creates the atmosphere of Peppermint Grove, is far too sweeping & in fact a "catch all" condition, as it could apply to any building in the shire. This is a nonsense!

In respect to 52 The Esplanade, this building is not an example of a design & build typical to 1898, 1920, 1930, 1950 or 2000. It is in fact a building that has been altered, parts demolished, added to & renovated over most of its history & therefore not Category I under plan 3.

In respect to Category I, buildings if in the opinion of the Shire councillors (who represent the rate payers) believe that the building should be retained as significant, obviously the rate payers should accept some responsibility for the rates & taxes paid on the property & its maintenance. It is entirely unreasonable that the owner should be responsible for 100% of the rates & taxes & maintenance when it is simply clear to the Shire councillors that such a listing severely damages the resale value of the property.

If consideration of a change in

categories from 1 to 2, The council will only act on a 100% vote of the councillors. This is not fair or reasonable since just one councillor can decide the fate of the consideration. This person, having no equity in the property (as with the others) can be biased for many & varied reasons with no effect or consideration for the hapless owner who is obviously suffering monetary damages. A simple majority would be more in order.

If 52 The Esplanade was not listed as category I Dair Pty Ltd could have sold this property at least 3 years ago, saving at least \$450,000 in land tax. Our neighbour, 56 The Esplanade for sold about 3 years ago for \$17,250,000.00 & the new owner was allowed to keep only the facade of the house in his re-build.

This seems to me to indicate that your council is not treating me fairly & equal to the previous owners of 56 The Esplanade.

Since 52 The Esplanade has been on the market the agent has received two offers, the first at least 18 months ago was for \$13,000,000, the second only 1 month ago was \$13,000,000. Both were rejected by the agent. In both cases their offers were based on the negative impact of the heritage listing!

It is clear that your council's decision of a total 100% objection to any alteration of the heritage listing has cost me at least \$7,500,000 plus loss of interest which would amount to around \$8,000,000.00.

As a law abiding Australian who has worked hard for any gain, I do not believe

that I should be treated as a lesser person than my neighbours.

In Planning scheme 4, before any building can be categorised it should clearly state the reasons, in a house of a particular period (complete) with dates, or of particular design, with detailed evidence that proper research has been done to verify this category.

Buildings which due to their character create the atmosphere of Peppermint Grove is just too vague, especially if decided by rate payers representatives that believe they have no risk to their own properties ever being listed.

Even if a property is listed on behalf of the rate payers, the rate payers should accept responsibility for any loss to the owner of that property due to their actions.

Better still is that the council on behalf of the rate payers, purchase the targeted property + then heritage list it. I have no hesitation in saying that the rate payers would say delist the property so that it can be sold like all other properties.

In conclusion I wish to have my property of 52 The Esplanade delisted as Category II immediately.

Sydney Brown
for Dain Pty Ltd.

Michael Whitbread

From: Norma Black
Sent: Monday, 13 March 2017 10:32 AM
To: Michelle Mainwaring
Subject: Fw: Municipal Heritage List - 496 Stirling Hwy - ATT John Merrick

Regards

Norma Black

Customer Support Officer (Wed, Thurs & Fri)

SHIRE OF PEPPERMINT GROVE

1 Leake Street, PEPPERMINT GROVE WA 6011

PO Box 221, Cottesloe WA 6911

08 9286 8600  08 9286 8620

norma.black@peppermintgrove.wa.gov.au

<http://www.peppermintgrove.wa.gov.au>

www.thegrovelibrary.com

<http://thegroveprecinct.com>



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From: rdate@iinet.net.au <rdate@iinet.net.au>
Sent: Thursday, 9 March 2017 9:39 PM
To: Norma Black
Subject: Municipal Heritage List - 496 Stirling Hwy - ATT John Merrick

Dear Mr Merrick,

we are pleased that the Shire has recognised the importance of local heritage, and happy for our property to be listed on the Shire's Heritage List.

Thank you for informing us of the changes.

yours sincerely

Russell Date and Christian Lyon

PS ref: 5205

31 March 2017

Chief Executive Officer
Shire of Peppermint Grove
PO Box 221
COTTESLOE WA 6911

Attention: Michael Whitbread, Planning Services

Dear Sir,

**LOTS 141 AND 234 (31) VIEW STREET, PEPPERMINT GROVE
SUBMISSION ON MUNICIPAL INVENTORY REVIEW AND DRAFT LOCAL PLANNING POLICIES**

Planning Solutions acts on behalf of Zena Nominees Pty Ltd, the registered proprietor of Lots 141 and 234 (31) View Street, Peppermint Grove (**subject site**).

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2. Remove the subject site, 31 View Street, from MI 'Category 2'. If necessary, consider it for inclusion in a new (lesser) category, to acknowledge and capture the historic significance of the place but not require further planning controls.
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These issues and our rationale for the proposed changes are detailed further below.

1. HERITAGE CONSIDERATIONS

MUNICIPAL INVENTORY REVIEW

The subject site is currently identified as a 'Category 2' place under the MI, implying the building itself has an inherent heritage value and warrants protection through heritage-related planning/development control.

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As is evident by the Place Record Form, the current building on the subject site has no heritage value. However, the site's identification as a 'Category 2' place anomalously results in heritage-related development restrictions applying to the current building. The Shire's proposed changes to the definition of Category 2 places would appear to further strengthen these restrictions (including a presumption against demolition, even if the building itself has no value).

To rectify this anomaly, we submit the following changes should be made to the MI:

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Our proposed changes warrant the Shire's support, as the MI will still identify the subject site as a place with historic significance, without imposing unnecessary planning/development restrictions.

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Put simply, a municipal inventory is a record of all places of local heritage significance (great or small), while a heritage list identifies only those places of significance deemed worthy of further planning controls to preserve built heritage. This is an important distinction, as not all places listed on a municipal inventory will contain buildings of heritage significance (which may have already been demolished), and therefore shouldn't be subject to planning controls that presume against demolition and/or tightly control changes to built form.

We recommend the Shire establish a separate list of heritage places under Clause 8(1) of the Deemed Provisions of the Regulations. Only those places listed on the MI as having significant built heritage value should be included on the heritage list, while other places of lesser/little significance should not be included on the heritage list. Building upon the recommended changes to the MI described above, the Shire could consider including all MI 'Category 1' and 'Category 2' places on the heritage list, but exclude any places in lower categories (including the subject site at 31 View Street).

DRAFT LPP3 - HERITAGE PLACES

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2. DRAFT LPP4 – RESIDENTIAL BUILDING HEIGHTS

We submit policy criterion 8 of the Shire's draft LPP4 - Residential Building Heights should be amended as follows:

8. *The development meeting with all other provisions of the Scheme and the ~~deemed-to-comply provisions of the R-Codes.~~*

The proposed amendment is considered appropriate for the following reasons:

- As currently worded, the policy would preclude the ability for a development proposal to apply the design principles of the R-Codes. Section 3 of the R-Codes Explanatory Guidelines states:
The R-Codes also recognise that there may be circumstances where a more appropriate housing design can result by applying a design principle(s) which will better suit development of the site rather than achievement of the deemed-to-comply provisions; for example, due to shape, slope or aspect.
- The requirement for a proposal to only meet the deemed-to-comply requirements of the R-Codes would effectively restrict the Shire's capability to exercise discretion for development proposals.
- In any case, the Shire would need to assess a proposal on its merits and exercise its discretion prior to granting approval. The proposed amendment would therefore not onerously affect the Shire.
- Peppermint Grove is recognised for containing buildings with a unique character. The nature of the deemed-to-comply provisions could potentially restrict a building's capability to be developed in a manner consistent with this character. Our proposed amendment will ensure this ability is retained.

SUMMARY AND CONCLUSION

In conclusion, we consider a number of changes to the Shire's local heritage framework (namely the MI, heritage list and draft Heritage Policy) are necessary to appropriately preserve its heritage places, while not placing onerous obligations or unduly restricting development of places with little heritage significance. 31 View Street in particular, should not be subject to a Category 2 MI listing or statutory planning controls under LPS4. Furthermore, a minor amendment to the draft Residential Building Heights policy is needed to provide an adequate level of discretion to the Shire when considering variations to scheme provisions.

We thank you for your consideration of this submission. We would be pleased to discuss the content of this submission in further detail as necessary.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'a stagno', with a stylized flourish at the end.

ALESSANDRO STAGNO
PLANNING CONSULTANT

170328 5205 submission - draft MI and policies

APPENDIX 1

PLACE RECORD FORM – 31 VIEW STREET, PEPPERMINT GROVE



NAME

ADDRESS

Lot No 5 Pt 6
Street No 31
Street View

MANAGEMENT

Category 2 (Recommend record as a site)

DESCRIPTION

Construction Date 1905-13

Construction Materials

Since demolished

Walls:

Roof:

Others:

Style and Elements

Modifications

Setting

BACKGROUND

Original Owner

Other Owners

Eliza Hearman, (property) Auguste Stang (house)

Lucius Manning, Eileen Agnes Manning, Madal Holdings Pty Ltd

Original Designer

Original Builder

ASSESSMENTS

Historical

The property had long associations with the family of Lucius Manning, one of the emerging manufacturers of the pre World War I period, who took up residence in Peppermint Grove at that time. The association with the family continued for more than 6 decades.

Aesthetic

Technical

Social

The site retains associations with the Manning family.

**Environmental
Cultural Group
Townscape Area**

Existing building is intrusive
Existing building is intrusive

Rarity

Representativeness

STATEMENT OF SIGNIFICANCE

This site formerly housed the residence of the family of Lucius Manning and has cultural heritage significance because:

- it is of historical significance because of its associations with Lucius Manning, manufacturer, and the continuing long association with the Manning family.

THEME/S

2.1, 2.2, 2.3
4.2

LISTINGS/AWARDS

REFERENCES

R. Pascoe *Western Australia's Capital Suburb, Peppermint Grove*

SHIRE OF PEPPERMINT GROVE



MUNICIPAL HERITAGE

INVENTORY

1999

Revised and updated March 2017

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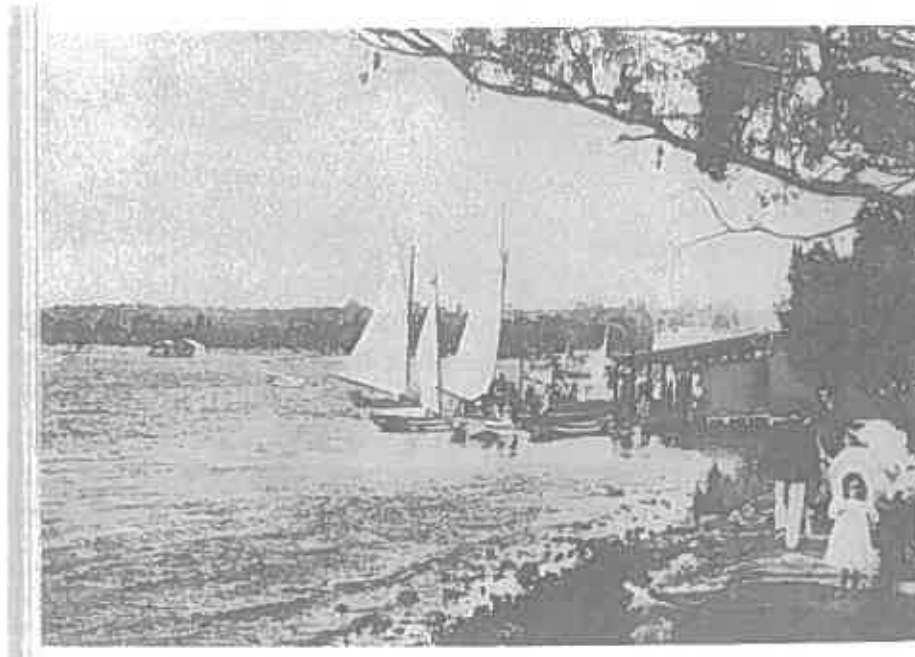
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CATEGORY DEFINITIONS	4
PLACES OF HERITAGE VALUE.....	5
BAY VIEW TERRACE	5
BINDARING PARADE.....	5
FORREST STREET	5
HOBBS PLACE	5
IRVINE STREET.....	6
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KEANE STREET	7
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PREFACE

The Heritage of Western Australia Act 1990 require that Local Governments compile a Municipal Inventory of Heritage Places. A Municipal Inventory is a list of buildings which in the opinion of the local Council are, or may become, of cultural heritage significance.

The Shire of Peppermint Grove has compiled the Municipal Inventory through the process of community member contributions, public meetings, public advertising and meeting with community groups.

The objective of the Municipal Inventory is to maintain the character and atmosphere of Peppermint Grove through the quality of the streetscape.



Johnstons Boat Shed and Jetty

The Municipal Heritage Inventory was adopted at the Ordinary Meeting of Council held on 19 July 1999.

MUNICIPAL HERITAGE INVENTORY

CATEGORY DEFINITIONS

Category 1

Buildings, which due to their character create the atmosphere of Peppermint Grove, therefore should be retained, but may be altered and extended in a manner which is both discrete and sympathetic to the original fabric and character so that a significant proportion of the original building is retained and from the street the additions are seen to be a continuation of the same fabric and character.

Category 2

Buildings which also contribute to the character and atmosphere of Peppermint Grove. These buildings may be altered or extended in a manner which recognises and retains some original features or which may be demolished, but the replacement building should recognise by its position the adjoining residence and precinct. The owner to provide an archival record for any building demolished under this category and the Shire to provide a plaque for inclusion in the adjoining footpath to recognise the cultural significance of the property.

PLACES OF HERITAGE VALUE

PROPERTY ADDRESS	LOT NO	CATEGORY DEFINITION	PLACE DATA PAGE NO:
------------------	--------	---------------------	---------------------

BAY VIEW TERRACE

2 Bay View Terrace (demolished)	1	2	116
Peppermint Grove Tennis Club Pavilion and Gazebo		1	117

BINDARING PARADE

25 Bindaring Pde (The Cliffe)	250	1	1
---	-----	---	---

FORREST STREET

119 Forrest Street	81	1	15
121 Forrest Street	59	1	16
123 Forrest Street	58	1	17
125 Forrest Street	57	1	18
127 Forrest Street	55	2	19
130 Forrest Street	10	1	20
132 Forrest Street (demolished 2005)	11 & 12	2	21
133 Forrest Street	68	1	22
134 Forrest Street	13 & 14	1	23
136 Forrest Street	14 & 15	1	24
138 Forrest Street	16	1	25
140 Forrest Street	Pt 17 & 18	1	26
143 Forrest Street	40	1	27
146 Forrest Street	105	1	28
147 Forrest Street	100	1	29
148 Forrest Street	13 & 14	2	30
152 Forrest Street	1	1	31
154 Forrest Street	2	2	32

HOBBS PLACE

Royal Freshwater Bay Yacht Club (including Gazebo)		1	118
--	--	---	-----

PROPERTY ADDRESS	LOT NO	CATEGORY DEFINITION	PLACE DATA PAGE NO:
------------------	--------	---------------------	---------------------

IRVINE STREET

6 Irvine Street	23	2	56
11 Irvine Street	5	1	57
15 Irvine Street	P10	1	58
17 Irvine Street	Pt 11	1	59
18 Irvine Street (now 1B Venn St)	42	1	60
19 Irvine Street	Pt 12	1	61
21 Irvine Street	Pt 13	1	62
22 Irvine Street	4	2	63
28 Irvine Street	7	1	64
29 Irvine Street	17	1	65
30 Irvine Street	8	1	66
32 Irvine Street (demolished 2002)	9 Pt 10	2	67
39 Irvine Street	65	1	68
41 Irvine Street (part dwelling demolished 2001)	61	1	69
42 Irvine Street	1	2	70
42A Irvine Street	2	2	71
43 Irvine Street	1	2	72
44 Irvine Street	36	1	73
45 Irvine Street	10	1	74
46 Irvine Street	100	1	75
49 Irvine Street (demolished 2004)	36	2	76
50 Irvine Street	3	1	77
51 Irvine Street (demolished 2004)	Pt 15	2	78
56 Irvine Street	50	2	79
60 Irvine Street	46	1	80

JOHNSTON STREET

11 Johnston Street	116	1	102
12 Johnston Street (demolished 2009)	26	2	103
16 Johnston Street	4	2	104
17 Johnston Street	119	1	105
20 Johnston Street (demolished 2011)	6	2	106
23 Johnston Street (demolished 2007)	32	2	107
27 Johnston Street (demolished 2002)	Pt 32	2	108
35 Johnston Street	41	2	109
36 Johnston Street (demolished 2000)	3	2	110
43 Johnston Street	Pt 24	1	111
46 Johnston Street	Pt 18	1	112
53 Johnston Street	101	1	113
60 Johnston Street	4 & Pt 5	1	114
Manners Hill Park Pavilion		1	115

PROPERTY ADDRESS	LOT NO	CATEGORY DEFINITION	PLACE DATA PAGE NO:
------------------	--------	---------------------	---------------------

KEANE STREET

3 Keane Street	50	1	81
8 Keane Street	105	2	82
9 Keane Street	122	1	83
10 Keane Street	104	2	84
11 Keane Street	123	1	85
13 Keane Street	39	2	86
14 Keane Street	35	1	87
St Columba's	Pt 33	1	88
17 Keane Street	Pt 35	1	89
18A Keane Street	3	1	90
20 Keane Street (demolished 2005)	1	2	91
21 Keane Street	29	2	92
23 Keane Street	28	1	93
26 Keane Street	7	1	94
28 Keane Street	8	1	95
34 Keane Street	105	1	96
38 Keane Street (demolished)		1	97
39 Keane Street (demolished 2004)	34	2	98
45 Keane Street	13	1	99
51 Keane Street	16	2	100
59 Keane Street	39	1	101

LEAKE STREET

9 Leake Street	26	1	33
11 Leake Street	23	1	34
15 Leake Street	150	1	35
19 Leake Street	10	1	36
27 Leake Street	65	1	37
28 Leake Street	102	1	38
29 Leake Street	66	1	39
31 Leake Street	101	1	40
32 Leake Street	107	2	41
34 Leake Street	105	1	42
36 Leake Street	38	1	43
37 Leake Street	10	1	44
38 Leake Street	37	1	45
40 Leake Street	36	1	46
42 Leake Street	49	2	47
50 Leake Street (demolished 2005)	4	1	48
52 Leake Street	3	1	49
54 Leake Street	2	1	50

PROPERTY ADDRESS	LOT NO	CATEGORY DEFINITION	PLACE DATA PAGE NO:
------------------	--------	---------------------	---------------------

LEAKE ST (con't)

56 Leake Street	1	1	51
57 Leake Street	46	1	52
58 Leake Street	41	1	53
58A Leake Street	37	2	166
62 Leake Street	30	1	54
72 Leake Street	25 Pt 24	1	55

LILLA STREET

BOATSHED – SR40		1	119
BOATSHED – SR40 & SR42		1	120

MCNEIL STREET

1 McNeil Street	4	2	4
2 McNeil Street (Demolished 2016)	34 & 35	2	5
3 McNeil Street	5	2	6
7 McNeil Street	7 & 8	2	7
17 McNeil Street	12 & Pt 13	1	8
21 McNeil Street	15 & Pt 16	2	9
24 McNeil Street – PLC Kindy	27,28 & 29	2	10
25 McNeil Street	Pt 18	1	11
33 McNeil Street	Pt 28	1	12
36 McNeil Street	50	2	13
PLC Gazebo	50	1	14

STIRLING HIGHWAY

430 Stirling Highway - RCC	1 & 2	1	2
430 Stirling Highway - RCC Hall	3 & 4	1	3
488 Stirling Highway	Pt 6	1	157
490 - 494 Stirling Highway	Pt 7	1	158
496 Stirling Highway	1 Pt 7	1	159
502 Stirling Highway	50	1	160
530 Stirling Highway	315	1	161
548 - 550 Stirling Highway	330	1	162

THE ESPLANADE

6 The Esplanade	9	2	121
8 The Esplanade	15	1	122
12 The Esplanade	19	1	123
22 The Esplanade (part dwelling demolished 2002)	5	2	124

PROPERTY ADDRESS	LOT NO	CATEGORY DEFINITION	PLACE DATA PAGE NO:
------------------	--------	---------------------	---------------------

THE ESPLANADE (con't)

Scotch College Boatshed		1	125
40 The Esplanade (demolished 2006)	112	2	126
52 The Esplanade	100	1	127
56 The Esplanade	20 & 21	1	128
58 The Esplanade (Demolished 2016)	19	2	129

VENN STREET

1B Venn Street (was 18 Irvine St)	3	1	90
9 Venn Street	1	1	163
10 Venn Street	Pt 17	2	164
12 Venn Street	150	1	165

VIEW STREET

1 View Street (Part PLC)	1-5	2	130
2 View Street	24 -26	2	131
2 - 6 View Street	20 - 27	1	132
3A View Street	35	1	133
5 View Street	36	1	134
8 View Street (PLC)	21	2	135
9 View Street (part dwelling demolished 2003)	1	1	136
15 View Street	7	1	137
18 View Street	2	1	138
24 View Street	3	1	139
27 View Street	2	2	140
28 View Street	101	1	141
29 View Street	38	1	142
30 View Street	103	1	143
31 View Street (demolished)	5 Pt 6	2	144
32 View Street	Pt 26, 27 & 28	1	145
34 View Street	Pt 26	1	146
36 View Street	74	1	147
40 View Street	Pt 14	1	148
41 View Street (demolished 2003)	3	2	149
42A View Street	30	1	150
43 View Street (demolished 2005)	4	2	151
44 View Street	1	1	152
45 View Street	29	1	153
46 View Street	158	1	167
47 View Street	31	1	154
48 View Street	Pt 14	1	155
48A View Street (part dwelling demolished 2005)	15	2	156



Ordinary Council Meeting

8.1.6 – 38 The Esplanade Peppermint Grove - Attachment # 5

8.1.6 - 38 THE ESPLANADE

115°46'10"E



SUBJECT PROPERTY

THE ESPLANADE

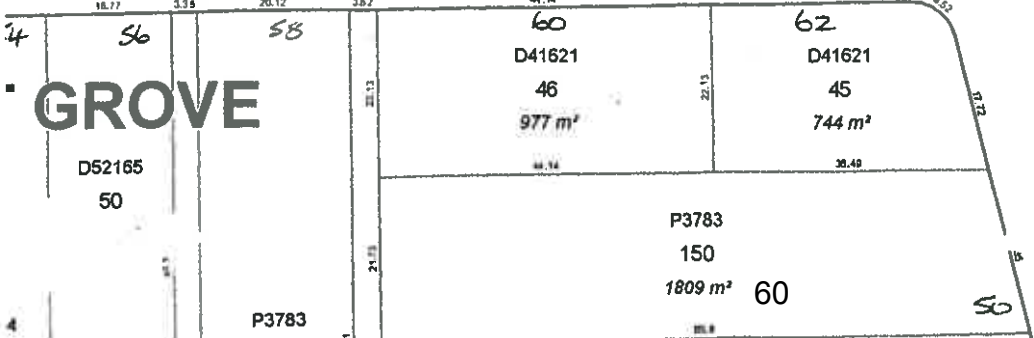
RVINE ST

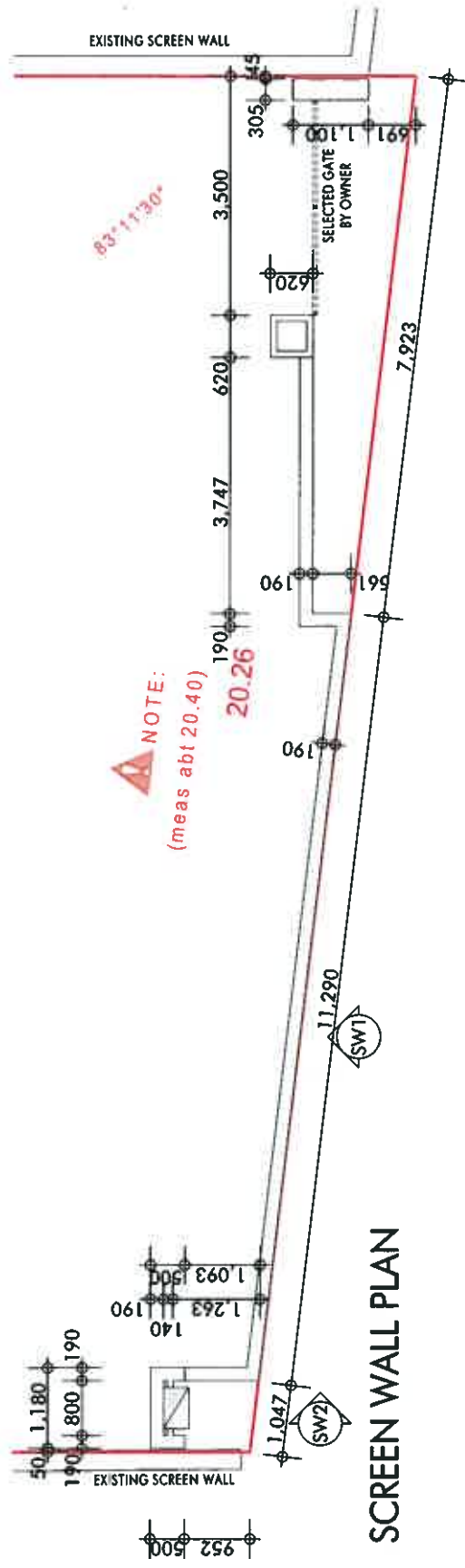
GROVE

TH

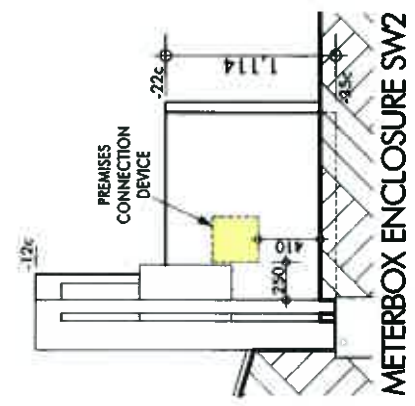
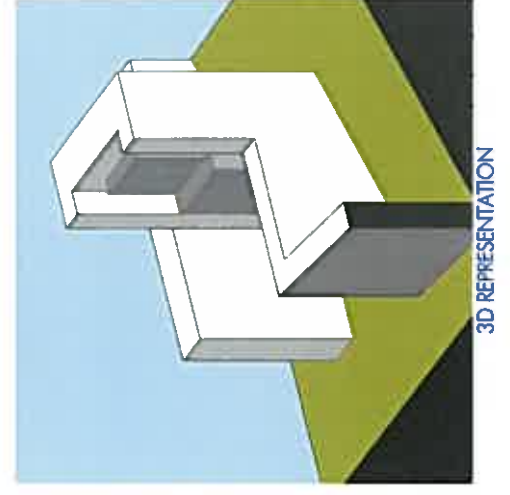
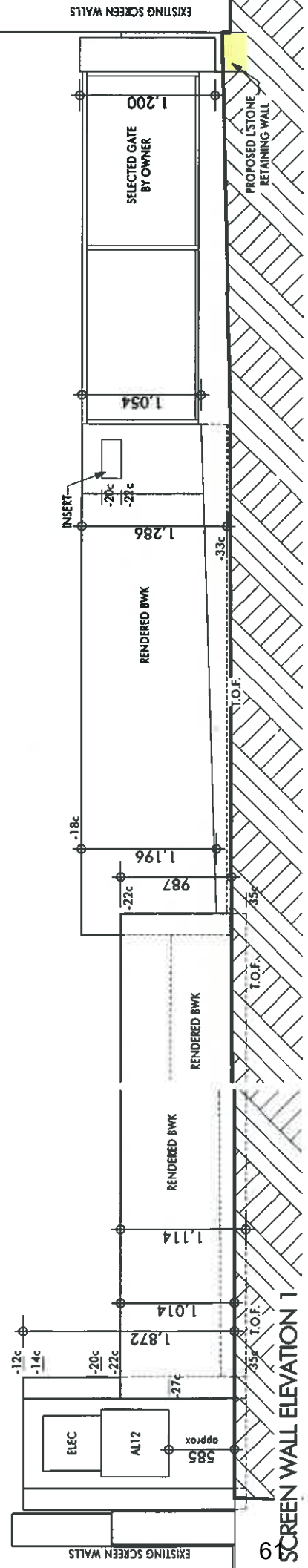
SPL

SV





SCREEN WALL PLAN



ISSUED FOR CONSTRUCTION	
CHECKED DRAFTING	NAME DATE
TO CONSTRUCTION	

OWNER	OWNER
BUILDER	BUILDER
DATE	DATE

Shire of Peppermint Grove
-7 MAR 2017
RECEIVED

WB WEBB & BROWN-NEAVES	CLIENT: Ms. B GORDON JONES	SUPERVISOR NOTE REFER TO ADDENDUM FOR CHANGES SUPPLIED AND/OR INSTALLED ITEMS	CONTRACT DRAWN: GB	25/06/15 VO1 GB 09/12/15 VO2 GB 18/01/16 VO3 GB 29/04/16 VO4-6 AHS/GB 16/06/16 VO7 AHS 28/07/16 VO8-10 AHS 09/11/16 VO11 & 12 AHS 02/12/16 VO13 AHS 17/01/17 VO14 AHS	SPECIAL
	ADDRESS: LOT 113 (#38) THE ESPLANADE PEPPERMINT GROVE	Emergency Procedures Included in main file CONTACT SITE MANAGER TO VIEW SAFETY MANAGEMENT PLAN	DATE: 23/07/15 CHECKED: DR	AMENDMENTS:	SHEET No. 24 of 25 SCALE: 1:100, 1:50, 1:20
		N3 WINDLOADING			JOB NO: 16214

AC18.0.3



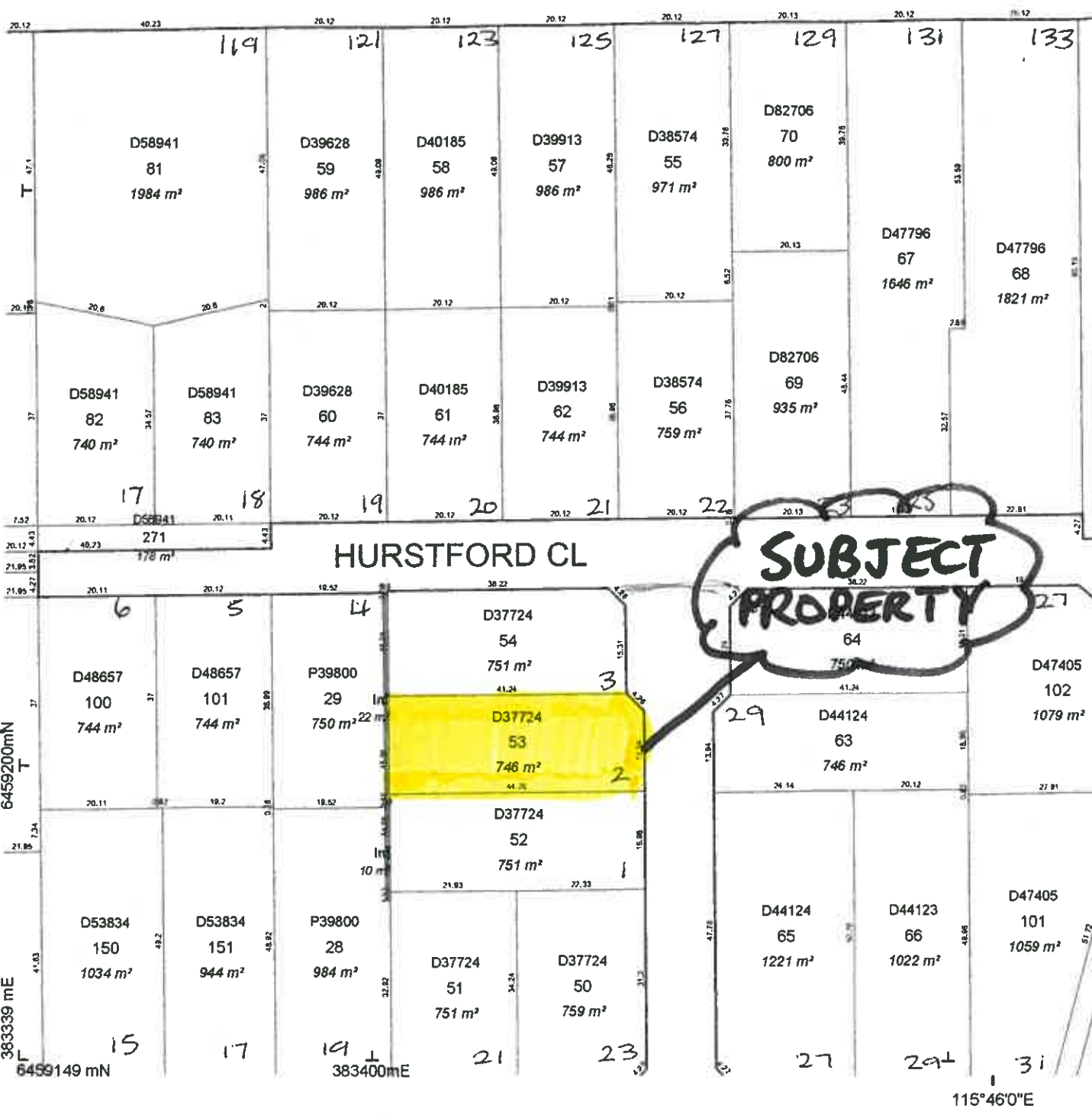
Ordinary Council Meeting

8.1.7. – 2 Hurstford Close Peppermint
Grove - Attachment # 6

SHIRE OF PEPPERMINT GROVE 8.1.7 - 2 HURSTFORD CL



130 ← 132 → < 134 > 136



31°59'50"S
6459200mN
383339 mE
6459149 mN

GRID INTERVAL 100 METRES

115°46'0"E

Land District: SWAN

2

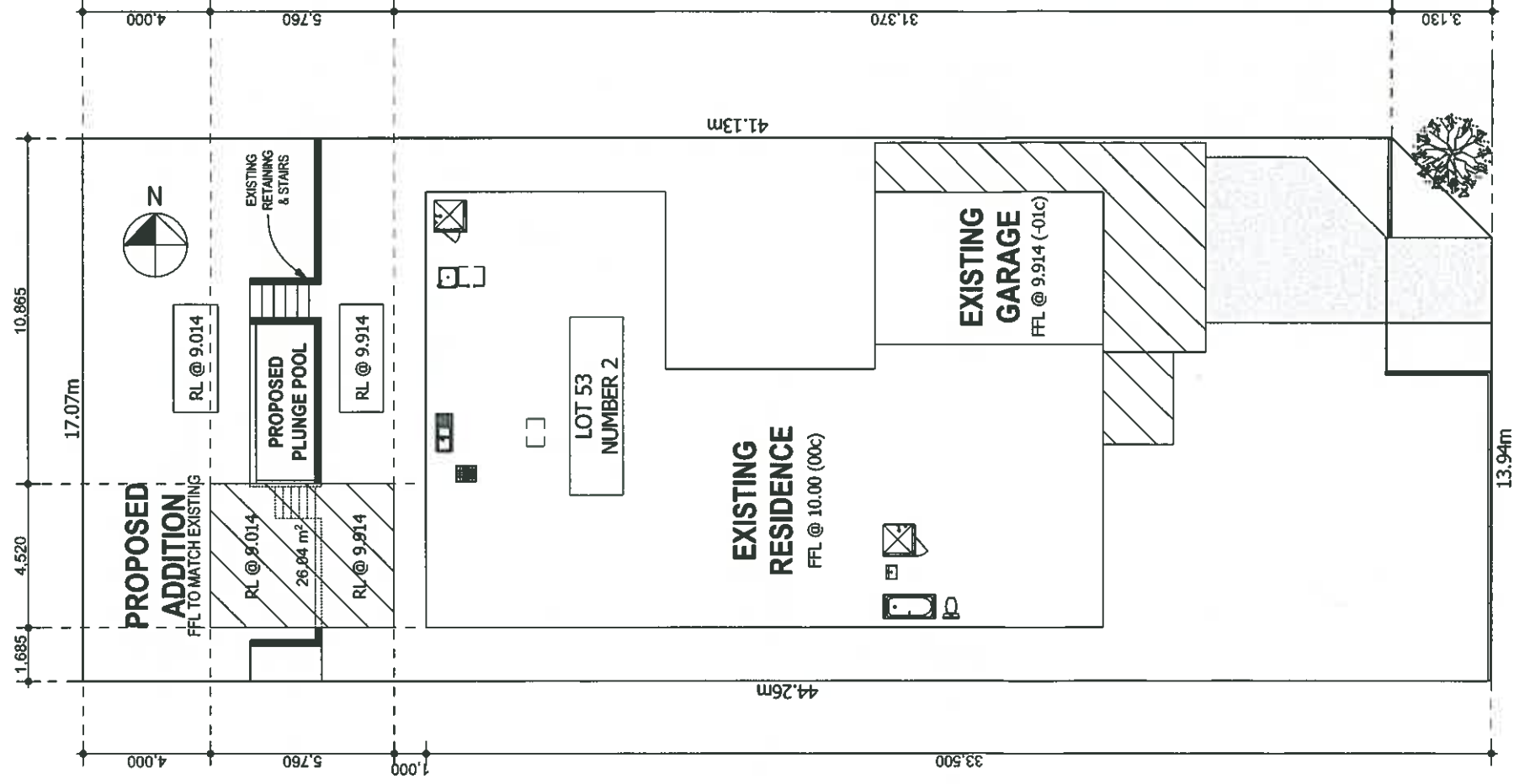
ercator.
Datum of Australia 1984
at Datum 1971
Australian Primary Trigonometric Traverses, Standard Surveys and Levelling.
scale for areas/boundaries that have not been spatially upgraded (this is 1:2 000 and 250 metres at 1:250 000)
/ upgraded urban areas
/ upgraded rural areas
/ upgraded pastoral/remote areas.
Database (SCDB) from Landgate Public Plans and Topographic Datasets at scales varying from 1:1 000 to 1:500 000.
Angles are shown in degrees, minutes and seconds near map sheet corners and regular intervals.
3A) values are shown in metres at sheet corners and regular intervals, easting north from the false origin of the zone
Elevation sourced from the Spatial Cadastral Database (SCDB).
Elevations are sourced from the Landgate Administrative Boundaries Dataset.
Elevations are sourced from the POSA Dataset.
Boundaries are sourced from the Landgate Road Centreline Dataset.
Contours and shorelines are interpolated from aerial photography or recorded from ground surveys.



DISCLAIMER

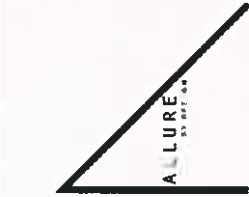
This map is a pictorial representation of data extracted from Database and is intended to be an overview of general information.
While Landgate has made every effort to ensure the accuracy of the data, it does not give any guarantee or take responsibility for errors or omissions.
Reliance should only be placed on the original survey documents. This map may not show all information available in the original survey documents. Landgate does not accept any liability for any loss or damage incurred by a person who relies upon the information in this map.
Hydrographic features shown may not necessarily depict actual features.

SITE AREA:
750.62m²
R12.5
COVERAGE:
319.89m²



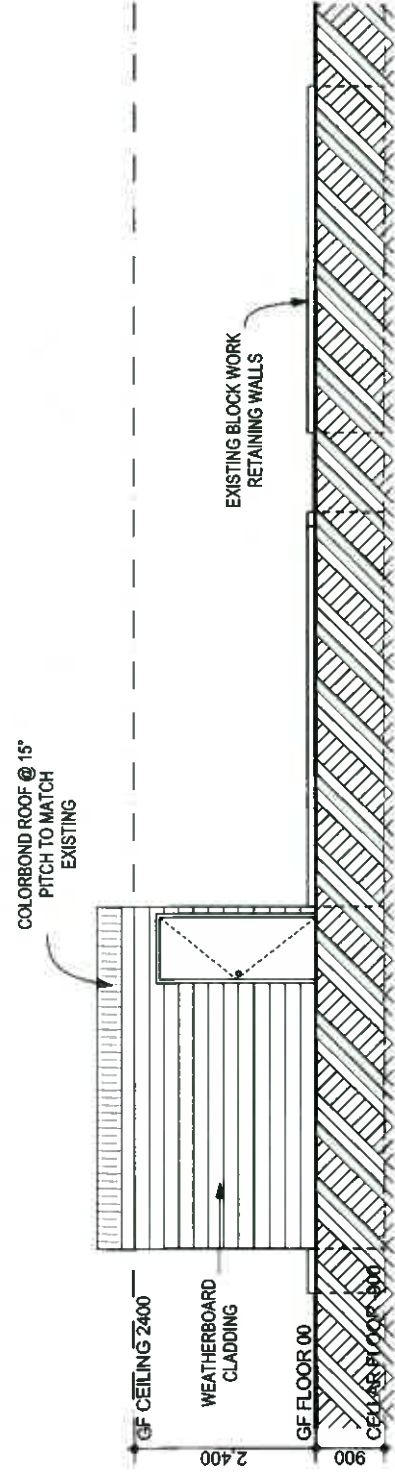
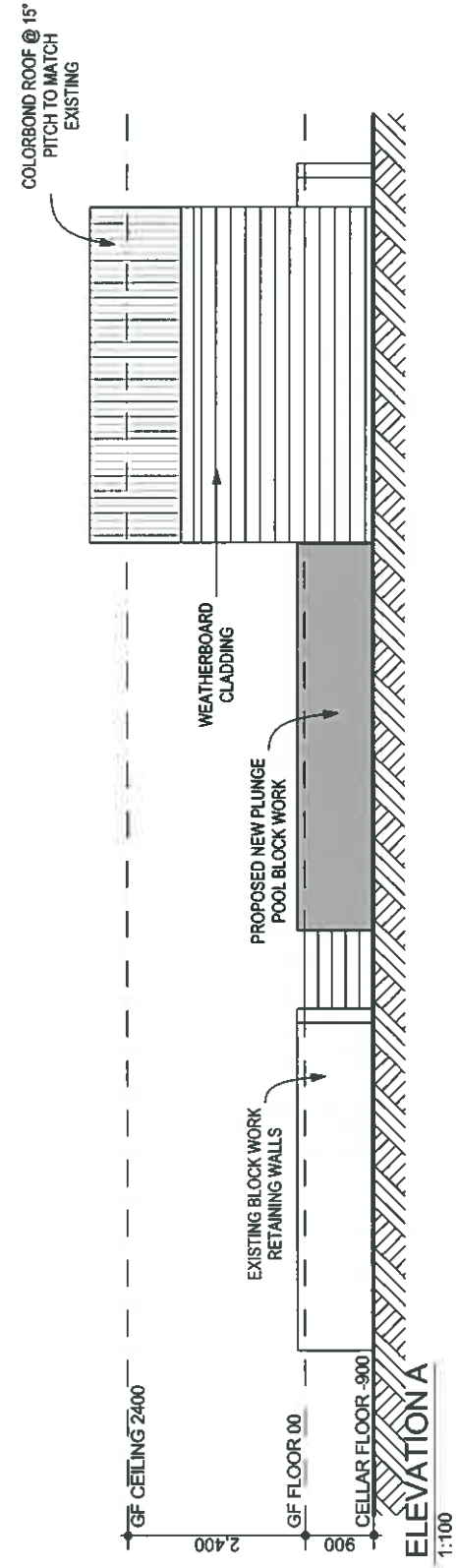
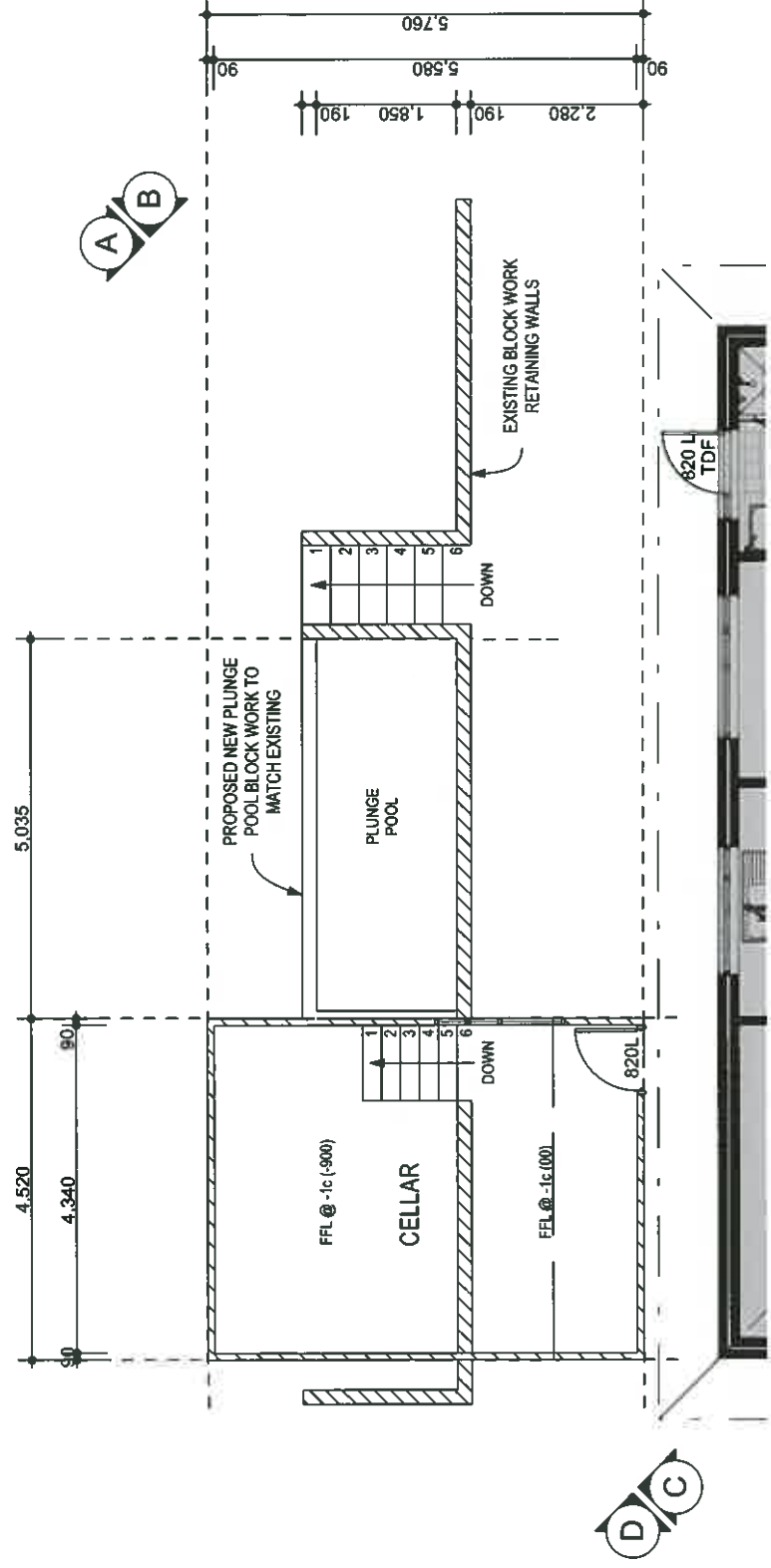
SITE PLAN
1:200

Shire of Peppermint Grove
13 MAR 2017
RECEIVED

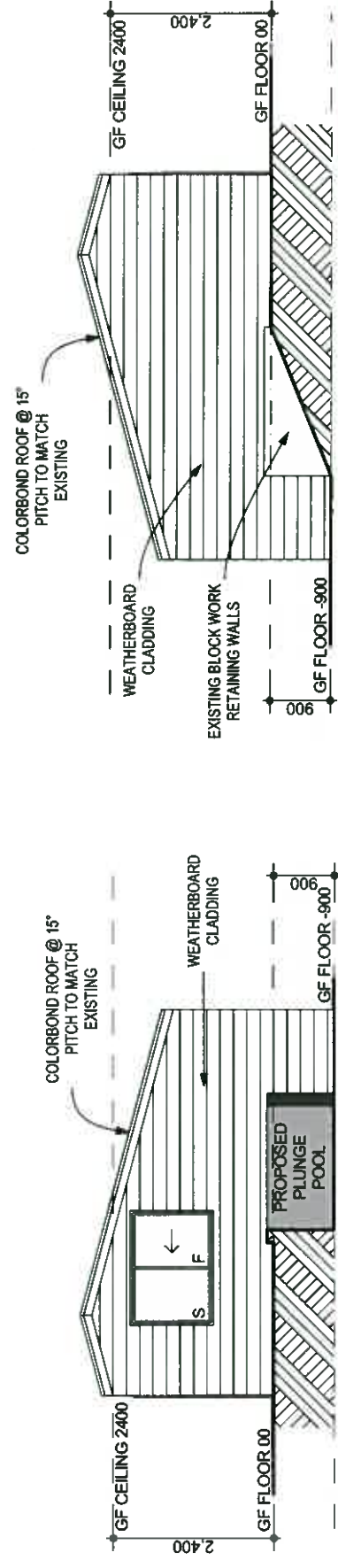


Proposed	2 HURSTFORD CLOSE, PEPPERMINT GROVE		SITE & SETOUT PLAN	
Client	NEIL POLLARD		Scale	1:100
Permit Agency	PEPPERMINT GROVE	Design	Job N°:	0072
			Dwg N°:	0072.7
			Rev N°:	10
				A3
				0072
				0072.7
				10
				CUSTOM

Rev	Date	Sheet	Description	Dr	Ch
03	JULY 2016	ALL	CONCEPT DESIGN	MH	
04	AUG 2016	ALL	PLANNING DRAWINGS	MH	
05	AUG 2016	ALL	PLANNING DRAWINGS	MH	
06	OCT 2016	ALL	BUILDING LICENCE	MR	
07	FEB 2017	ALL	ROOF AMENDMENT	MR	
08	FEB 2017	ALL	ROOF AMENDMENT	MR	
09	MAR 2017	ALL	BELLAR & POOL DESIGN DEVELOPMENT	MR	
10	MAR 2017	ALL	BELLAR & POOL DESIGN DEVELOPMENT	MR	



ELEVATION C
1:100



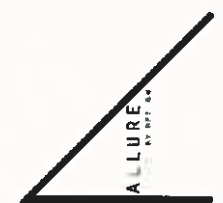
ELEVATION B
1:100

ELEVATION D
1:100

Shire of Peppermint Grove
13 MAR 2017
RECEIVED

CELLAR & POOL AREA	
CELLAR	26.04m ²
POOL	10.27m ²
TOTAL	36.32m²
PERIMETER	30.63

Proposed	Client	Permit Authority	Design Authority	Rev N°:	Dwg N°:	Job N°:	Scale	FLOOR PLAN	Sheet	Date	Description	Dr	Ch
2 HURSTFORD CLOSE, PEPPERMINT GROVE	NEIL POLLARD	PEPPERMINT GROVE	CUSTOM	10	0072.8	0072	1:100	A3	ALL	JULY 2016	CONCEPT DESIGN	MH	MH
									ALL	AUG 2016	PLANNING DRAWINGS	MH	MH
									ALL	AUG 2016	PLANNING DRAWINGS	MH	MH
									ALL	OCT 2016	BUILDING LICENCE	MR	MR
									ALL	FEB 2017	ROOF AMENDMENT	MR	MR
									ALL	FEB 2017	ROOF AMENDMENT	MR	MR
									ALL	MAR 2017	CELLAR & POOL DESIGN DEVELOPMENT	MR	MR
									ALL	MAR 2017	CELLAR & POOL DESIGN DEVELOPMENT	MR	MR





Ordinary Council Meeting

**8.1.8 – 18 Keane St Peppermint Grove -
Attachment # 7**

Google Maps



Imagery ©2017 Google, Map data ©2017 Google 20 m

Luminaire Schedule		
Qty	Label	LLF
4	ELA S875-SLC (1m outreach)	0.800

Calculation Summary						
Label	Calc Type	Units	Avg	Max	Min	Min/Max
All	Illuminance	Lux	N/A	N/A	N/A	N/A
PPA	Illuminance	Lux	402.48	483	244	0.61
TPA	Illuminance	Lux	333.56	483	69	0.21
						0.14

DESIGN NOTES:

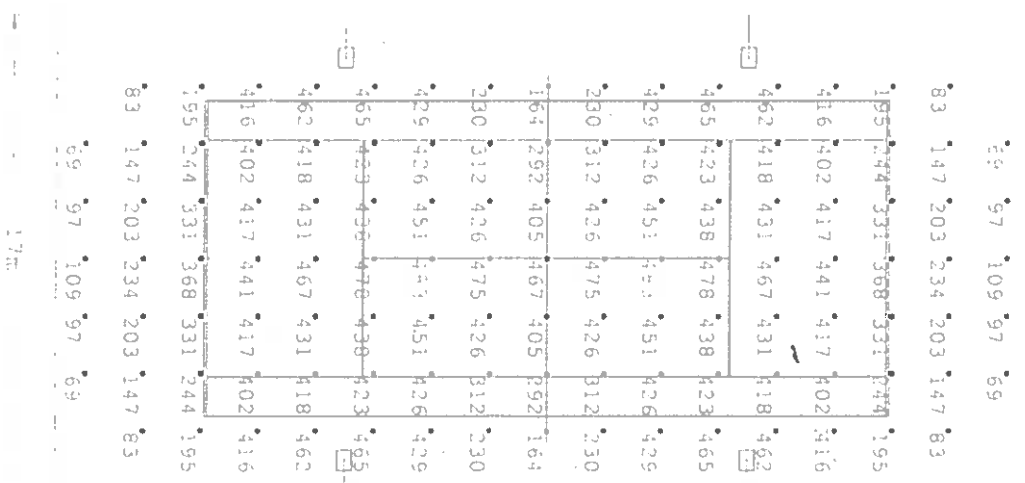
Light Loss Factor (LLF) of 0.8 applied to all luminaires
 No site visit by ELA

LUMINAIRE MOUNTING:

Mounting height 7 metres
 Outreach 1 metre
 Tilt Nil

CALCULATION POINTS:

Plane Height 1m
 Point Spacing 2m
 Calculation points as per AS2560 2.1-2003



Project: Dr Craig Turner - 18 Keane Street, Peppermint Grove WA

Court Description: Single Tennis Court Analysis - 17m x 34m

Lighting System: 4 x ELA UNILUX SHARP CUT OFF-SLC V2 875 WATT SPS-MH (WITH SPILL LIGHT CONTROL UPGRADE) - 7 metre mounting height, 1m outreach

Lighting Design Analysis No. ELA160824A

Date 24-Aug-16

Page 1 of 2



ENVIRONMENTAL LIGHTING AUSTRALIA
tennislights.com

13-15 Harvey Drive, Cowes Vic 3822
 PO Box 8154, Croydon Vic 3136
 P 03 5952 5587
 E sales@tennislights.com



Ordinary Council Meeting

8.4.1 – SHINE Agreement Renewal - Attachment # 8

THIS DEED is made on the _____ day of _____ June 2017

BETWEEN **TOWN OF COTTESLOE** of 109 Broome Street,
Cottesloe, Western Australia ("**Cottesloe**")

TOWN OF CLAREMONT of 308 Stirling Highway,
Claremont, Western Australia ("**Claremont**")

TOWN OF MOSMAN PARK of "Memorial Park",
Bayview Terrace, Mosman Park, Western Australia ("**Mosman
Park**")

SHIRE OF PEPPERMINT GROVE of Leake Street,
Peppermint Grove, Western Australia ("**Peppermint Grove**")

AND **TAPSS COMMUNITY CARE (INC.) trading as SHINE
COMMUNITY SERVICES** of 81 Forrest Street, Cottesloe,
Western Australia ("**SHINE**")

RECITALS

- A** Cottesloe, Claremont, Mosman Park, and Peppermint Grove have, on the terms and conditions in this document, resolved to jointly provide support services to aged persons and persons with disabilities.
- B** It has been agreed that the day to day management of those support services to aged persons is to be undertaken by SHINE.

OPERATIVE PROVISIONS

1. INTERPRETATION

In this Deed, unless the context requires otherwise;

Business Day means all days Monday to Friday, unless designated as a public holiday;

Claim means an individual action that seeks to reclaim losses for which an agency is, or could be held, liable for;

Commencement Date means 1 July 2017;

Committee means the committee established as per **clause 4**;

Districts means the districts for which the local Governments are established pursuant to the Local Government Act 1995;

Host Local Government means the Town of Cottesloe;

Insolvency Event means any event or combination of events that would lead to a legal entity being insolvent, as defined by the *Corporations Act 2001 (Cth)*;

LEADR means the incorporated association, LEADR of level 1, 13-15 Bridge Street, Sydney – who specialize in dispute resolution and mediation;

Local Government means Cottesloe, Claremont, Mosman Park and Peppermint Grove, either jointly or singularly as the context requires;

Performance Indicators means the key performance indicators (KPIs) agreed to under **clause 7**;

Property means property purchased with money paid by the Local Governments pursuant to **clause 6.5**;

Support Service means the provision and administration, in association with State and Commonwealth departments and instrumentalities and welfare organisations, or support services in providing a variety of options to maintain and enhance quality of life in ways that are meaningful to each individual. Our programs are inclusive of adults of all ages, with disabilities and from culturally and linguistically diverse backgrounds.

Term means the period during which this documents continues in force as set out in **clause 2**.

2. TERM

The term of this Deed commences on 1 July 2017 and continues in force until the earliest of the following dates:

- a) 30 June 2022
- b) Unless the parties otherwise agree, 30 June in the year after any year in which a budget for the following year is not ratified by each of the Local Governments pursuant to **clause 6**;
- c) Unless the parties otherwise agree, 30 June in the year after any year in which Performance Criteria for the following year are not ratified by the Local Governments; or
- d) 30 June which next follows the expiration of 12 months after the giving of a notice in writing by a Local Government to all other parties of that Local Government's intention to withdraw from the arrangement under this Deed.

3. PROVISION OF SUPPORT SERVICES BY SHINE

3.1. SHINE's Obligations to provide Support Services

The care, control and day to day management of the Support Services shall be undertaken by SHINE which must;

- a) provide the Support Services;
- b) employ and if necessary terminate the employment of such employees as are necessary to provide the Support Services;
- c) pay or otherwise discharge all expenditure in respect of the provision of Support Services in accordance with budgets ratified by the Local Governments pursuant to **clause 6**;
- d) hold money paid by the Local Government pursuant to **clause 6.5** upon trust to apply that money only in the payment or discharge of the expenditure referred to in paragraph (c);
- e) make available to the Local Governments all records kept in relation to the provision of the Support Services;
- f) furnish to the Local Governments all such information in relation to the provision of the Support Services as may from time to time be reasonably required;
- g) comply with all directions of the Committee regarding the provision of the Support Services and which are within the functions and powers of the Committee to give under **clause 4.3**;
- h) furnish to the Local Governments on or before 30 September in each year audited financial statements in respect of the payment or **discharge of all expenditure in respect of the provision of Support Services** during the financial year ending on the preceding 30 June.
- i) **acknowledge the Combined Councils funded contribution to SHINE where considered appropriate and including display of the individual Council's logo's on promotional materials and acknowledgement of the funding on the SHINE website.**

3.2. SHINE to adhere to Performance Criteria

In providing the Support Services, SHINE agrees with the Local Governments that SHINE must adhere to and comply with the Performance Criteria, as set out under **clause 7**.

4. COMMITTEE

4.1. Formation of the Committee

During the Term there shall be a committee comprising;

- a) One person appointed by Cottesloe;
- b) One person appointed by Claremont;
- c) One person appointed by Mosman Park;
- d) One person appointed by Peppermint Grove;
- e) One person appointed by SHINE.

4.2. Appointment to Committee

Each party may in regard to its respective appointee at any time and from time to time;

- a) appoint a deputy for each member who, unless an appointment is made pursuant to paragraph (b), may act as a member in the absence of the member for whom he or she is deputy and a deputy while so acting shall be deemed to be a member;
- b) appoint a person to act temporarily as a member during the absence of any other member and a person while so acting shall be deemed to be a member;
- c) appoint another person to act as a member in place of a member who resigns his office (which a member may do in writing signed by him and delivered to the Host Local Government); and
- d) revoke an appointment and appoint another person in place of the person whose appointment is revoked.

4.3. Functions of the Committee

The Functions of the Committee are;

- a) to prepare budgets for submission to the Local Governments pursuant to **clause 6**;
- b) to prepare a report to the Local Governments on the agreed Key Performance Indicators for the previous 12 months and to make recommendations on changes to the Performance Criteria;
- c) To advise the Local Governments on strategic and policy developments in aged care that affect the services provided under this Deed.

4.4. Operation of the Committee

The Committee shall operate in the following manner;

- a) the Committee shall elect a chairperson who shall hold office for one year and preside at all meetings of the Committee;
- b) the Committee shall also elect a deputy chairperson who shall hold office for one year and preside at all meetings of the Committee at which the chairperson is not present;
- c) the quorum necessary for the transaction of business of the Committee shall be three, comprising three of the four Local Government appointees, and the SHINE representative;
- d) each member shall be entitled to one vote on any decision and in the event of a tied vote, the chairperson can exercise a casting vote; and
- e) the Committee must meet at least once every year;
- f) the chairperson may convene a meeting of the Committee at any time, but must convene a meeting of the Committee upon the request of at least one half of the members of the Committee to transact any business of the nature specified by those members in their request;
- g) the Chief Executive Officer (or designated deputy) of the Host Local Government (or another officer appointed by the Host Local Government for that purpose) shall act as secretary to the Committee and shall convene and attend all meetings of the Committee and keep minutes of all meetings of the Committee;
- h) the Committee must produce and furnish to all parties as soon as practicable after each meeting a report in writing of the proceedings of the meeting;
- i) each party may appoint one employee of that party to attend any meeting of the Committee as an advisor but the absence of any advisor does not affect the validity of the meeting;
- j) the Committee may invite any person to attend any meeting of the Committee; and
- k) otherwise, the Committee may prescribe its own procedure for the day to day running of its affairs.

5. HOST LOCAL GOVERNMENT

5.1. Services to be provided by the Host Local Government

The Host Local Government agrees to provide the secretarial services referred to in **clause 4.4(g)**.

6. EXPENDITURE AND BUDGETING

6.1. Preparation of the Draft Budget

The Committee must prepare a budget in respect of all expenditure for each financial year and submit a draft of that budget to each party by 15th of April each year.

6.2. Amendments to Draft Budget

Each party's comments on the draft budget shall be provided to the Committee which shall take those comments into account and then prepare a final draft budget.

6.3. Ratification of the Budget

The final draft shall be submitted to the Local Governments for inclusion in their annual budgets. Each Local Government must notify the Committee of the adoption of their budget (or otherwise) by 30 June each year during the Term. All four Local Governments must adopt the budget in order for it to be ratified.

6.4. Failure to Ratify

If a budget is not ratified as per **clause 6.3** the budget for the previous year shall continue to apply and **clause 2(c)** shall apply, unless otherwise agreed by the parties.

If a Local Government or Local Governments adopt a contribution in the budget which is less than the amount agreed to in the draft budget, it can be taken that the budget has failed to be ratified and **clause 2(b)** shall apply, unless otherwise agreed by the parties.

6.5. Payment of Expenditure

All expenditure specified in a budget ratified pursuant to **clause 6.3** shall be notified to the Local Governments by the Committee during the first week in June in each year and shall be borne by the Local Governments in the proportions of the populations of their respective Districts as determined by the census undertaken by the Australian Bureau of Statistics which is the latest in existence as at 30 June in the year immediately preceding the financial year to which the budget relates.

Each Local Government (including the Host Local Government) must pay its share of expenditure specified in the ratified budget to SHINE six monthly in advance on the first days of July and January in each year or, at the option of the Local Government, annually in advance.

6.6. Audit of Council Funding and KPIs

The audit of SHINE's annual financial statement must provide an audit opinion on Council funding (separate from other sources of funding) and the KPIs.

7. KEY PERFORMANCE INDICATORS

7.1. Preparation of the Draft Key Performance Indicators (KPIs)

The Committee must develop a Key Performance Indicator (KPI) schedule in respect of services and use of funding for each financial year including forward forecast targets and submit a draft of the KPI schedule to each party by 15 April each year.

7.2. Amendments to Draft KPIs

Each party's comments on the draft KPI schedule shall be provided to the Committee which shall take those comments into account and then prepare a final draft KPI schedule.

7.3 Ratification of the KPI's

The final draft KPI schedule shall be submitted to the Local Governments for adoption. Each Local Government must notify the Committee of the Council resolution to adopt the KPI schedule by 30 June each year during the Term. All four Local Governments must adopt the KPI schedule in order for it to be ratified.

7.4 Failure to Ratify

If a KPI schedule is not ratified as per clause 6.3 the KPI schedule for the previous year shall continue to apply and clause 2(c) shall apply, unless otherwise agreed by the parties.'

8. INDEMNITY

- (1) SHINE is to be solely liable for, and must indemnify the Local Governments jointly and severally and at all times keep the Local Governments indemnified from and against, any Claim which may be commenced or brought against a Local Government or which a Local Government may suffer or incur in connection with:
 - a) any personal injury (which expression shall include illness) to, or death of, any person arising out of or in the course of, or caused by, the provision of the Support Services or performance of any obligation under this Deed;
 - b) any loss, destruction of, or injury or damage to, any real or personal property (including property of a Local Government) arising out of or in the course of, or caused by, the provision of the Support Services or the performance of any obligations under this Deed;
 - c) the termination of the employment of an employee of SHINE; or

- d) any breach or non-observance by SHINE of any terms and conditions to be observed and performed by SHINE under this Deed,

except to the extent such damage, loss or injury is caused or contributed to be any negligent act, willful default or breach of duty of or by a Local Government or its servants, agents, contractors or invitees.

- (2) The indemnity under subclause (1) continues to operate regardless of the expiry of the Term or the termination of this Deed in respect of any cause of action arising prior to expiry of the Term or termination of the Deed.

9. INSURANCE

- (1) SHINE must take out a valid and enforceable public liability insurance policy with a reputable insurer in Australia, which:
 - a) provides coverage of at least \$20,000,000, or such higher amount as the Local Governments shall from time to time require, for each occurrence for which SHINE is responsible in connection with the provision of the Support Services or the performance of its obligations under this Deed;
 - b) requires the insurer to inform the Local Governments of any notice, including any claim, it receives under or in connection with the policy;
 - c) covers SHINE's liability to indemnify the Local Governments in accordance with this Deed.
- (2) SHINE must take out a valid and enforceable professional indemnity insurance policy with a reputable insurer in Australia, which:
 - a) provides coverage of at least \$20,000,000, or such higher amount as the Local Governments shall from time to time require, for each occurrence for which SHINE is responsible in connection with the provision of the Support Services or the performance of its obligations under the Deed;
 - b) requires the insurer to inform the Local Governments of any notice, including any claim, it receives under or in connection with the policy; and
 - c) covers SHINE's liability to indemnify the Local Governments in accordance with this Deed.
- (3) SHINE must take up a valid and enforceable worker's compensation insurance policy which complies with the provisions of Worker's

Compensation and Injury Management Act 1981 in respect of all its employees supplying the Support Services under this Deed.

- (4) SHINE must maintain the insurance policies referred to in this clause throughout the Term.
- (5) SHINE must not alter the terms or conditions of any insurance policy taken out under this clause without the prior written approval of the Local Governments (such approval not to be unreasonably withheld).
- (6) SHINE is to be responsible for any excess payable under an insurance policy taken out under this Deed.
- (7) On each annual anniversary of the Commencement Date, SHINE must provide the Local Governments with a certificate of currency of each of the insurance policies referred to this clause.
- (8) If, in the reasonable opinion of the Local Governments, the insurance of SHINE referred to in this clause is not adequate, the Local Governments may require SHINE to obtain and maintain further insurance.
- (9) SHINE must ensure that it:
 - a) does not do anything which prejudices any insurance;
 - b) if necessary, rectifies anything which might prejudice any insurance;
 - c) reinstates any insurance policy if it lapses;
 - d) does not cancel, vary or allow an insurance policy to lapse without prior written consent of the Local Government (such consent not be unreasonably withheld);
 - e) immediately notifies the Local Governments in writing of any event which may result in an insurance policy lapsing or being cancelled; and
 - f) gives full, true and particular information to the insurer of all matters and things the non-disclosure of which might in any way prejudice or affect any such policy or the payment of all or any benefits under the insurance.
- (10) If SHINES fails:
 - a) to produce for inspection a certificate of currency of a policy, or a copy of a policy under subclause (7); or
 - b) to take out or maintain a policy required by this clause,

a Local Government may, without prejudice to any other rights it may have, take out the insurance and the cost will be a debt due from SHINE to the Local Government.

10. PROTECTION OF PEOPLE AND PROPERTY

- (1) Insofar as compliance with this Deed permits, SHINE must at all times when supplying the Support Services:
 - a) take any measures necessary to protect people and property; and
 - b) prevent nuisance and unreasonable noise and disturbance.
- (2) If SHINE damages any property of another when supplying the Support Services under this Deed, SHINE must properly and promptly rectify the damage and pay all compensation that SHINE is required to pay.

11. COMPLIANCE WITH LEGISLATION

SHINE agrees with the Local Governments that for the duration of the Term, in providing the Support Services, it shall comply with and observe the provisions of all relevant statutes, regulations and local laws and of any notice, requisition or order made or given thereunder or by any competent authority or person, including (without limiting the generality of the foregoing) any of the Local Governments.

12. DEFAULT AND TERMINATION

12.1. Notice of default

Subject to clause 11.2, if a party fails to comply with any of its obligations under the Deed, the non-defaulting party may give the defaulting party a notice in writing specifying the default and requiring the default to be remedied within 10 Business Days after the notice is given to the non-defaulting party.

12.2. Default Events and termination

- (1) In clause 11.2, **Default Event** means an event where:
 - a) a party fails to remedy a default in accordance with a notice given under clause 11.1;
 - b) a party suffers an Insolvency Event;
 - c) a party fails to comply with its obligations under the Deed;
 - d) a party, if it is so obliged, fails to comply with legislation;
 - e) SHINE fails to provide the Support Services in accordance with the Deed and the Performance Criteria;

- f) A party or its employees are guilty of any dishonesty, serious misconduct or serious neglect in the discharge of their functions under this Contract;
 - g) SHINE refuses to comply with any reasonable request or direction given by the Local Governments or the Committee;
 - h) A party knowingly produces or gives the other party information under this Deed that is false;
 - i) The insurance required by clause 9 is not adequate to the reasonable satisfaction of the Local Governments; or
 - j) At any time during the term, the insurance required by clause 9 lapses, ceases or is suspended.
- (2) If a Default Event occurs, and the non-defaulting party has given notice to the defaulting party and, where the Default Event is capable of remedy, the defaulting party has failed within the specified time (or if no time is specified, within a reasonable period of time) to remedy the default, the non-defaulting party may, subject to the Bankruptcy Act 1966 but without prejudice to any other powers, rights, authorities or remedies, by written notice to the defaulting party immediately terminate this Deed.
- (3) If the Local Governments terminate the Deed pursuant to sub-clause (2), then:
- a) any expenditure due to be paid under this Deed shall be proportionally adjusted for the actual period of the Deed and any payment already made to SHINE that has not been expended at the date of termination, shall be repaid to the Local Governments in the proportions specified in clause 6.5;
 - b) the rights and liabilities of the parties will be the same as they would have been at common law had SHINE repudiated this Deed and the Local Government elected to treat this Deed as at an end and recover damages; and
 - c) SHINE is not released from liability for any previous breach or failure to observe or perform the term or condition of the Contract.

13. ASSIGNMENT AND SUBCONTRACTING

SHINE shall not assign or subcontract responsibility for the Support Services, this Deed or any part of it, or any of its rights under this Deed without the prior written consent of the Local Governments (such consent not to be unreasonably withheld).

14. DISPUTE RESOLUTION

- (1) If a dispute arises between the parties in connection with the Deed, then a party must give notice of the dispute to the other party identifying the dispute and providing details of it.
- (2) If the dispute is not resolved between the parties within 14 Business Days of a notice under subclause (1) being given, the parties must endeavour to settle the dispute by mediation to be conducted by a mediator independent of the parties, appointed by agreement of the parties within 28 days of a notice in subclause (1) being given, or, failing agreement, by a person appointed by the chair of LEADR or her or his nominee.
- (3) The mediation rules of the Law Society of Western Australia are to apply to the mediation.
- (4) It is a condition precedent to the right of any party to arbitrate or litigate a dispute under the Deed that it first has complied with the mediation process in accordance with this clause.
- (5) Each party may be represented by a qualified legal practitioner or other representative in any mediation proceedings.
- (6) The parties must continue to comply with their obligations under the Deed despite any dispute being referred to mediation, unless agreed otherwise the parties in writing.

15. NOTICES

- (1) Any notice, direction or other communication which must or may be given in connection with this Deed:
 - a) must be in writing in order to be valid;
 - b) is sufficient if executed by the party giving the notice or on its behalf by any director, secretary, duly authorized officer or solicitor of that party and, in addition, in the case of a Local Government, by an officer of the Local Government;
 - c) in order to be valid must be given to a party as follows:
 - (i) delivered or sent by prepaid post to, or left at the address of, that party as set out in this Deed;
 - (ii) sent to the facsimile number of that party;
 - (iii) sent to the email address of that party; or
 - (iv) delivered or sent to another address or facsimile number as is notified in writing by that party to the other parties from time to time; and

- d) if given in accordance with subclause (1)(c), will be deemed to take effect:
 - (i) in the case of prepaid post, on the seventh business day after the date of posting;
 - (ii) in the case of email, on receipt of return email from the recipient acknowledging receipt of the email;
 - (iii) in the case of facsimile, on receipt of a transmission report from the sending machine confirming successful transmission;
 - (iv) in the case of delivery by hand, on delivery.

16. MISCELLANEOUS

16.1. Amendment

This document may only be varied or replaced by a document duly executed by all of the parties to this Deed.

16.2. Rights Cumulative

Subject to any express provision in this document to the contrary, the rights of a party under this document are cumulative and are in addition to any other rights of that party.

16.3. Further Assurance

Each party shall promptly execute all documents and do all things that any other party from time to time reasonably requires of it to effect, perfect or complete under the provisions of this Deed and any transaction contemplated by it.

16.4. Governing Law and Jurisdiction

- a) This document is governed by and is to be construed in accordance with the laws in force in Western Australia.
- b) Each party irrevocably and unconditionally submits to the non-exclusive jurisdiction of the courts of Western Australia and any courts which have jurisdiction to hear appeals from any of those courts and waives any right to object to any proceedings being brought in those courts.

16.5. Joint and Several Liability

An obligation of two or more persons binds them jointly and severally.

16.6. Reference to a party

A reference to a party includes that party, its successors, authorised representatives, permitted assigns, receivers, administrators, executors, substitutes and liquidators.

EXECUTED by the parties

of TOWN OF COTTESLOE by authority)
of a resolution of the Council in the)
presence of;)

_____ Mayor

_____ Chief Executive Officer

EXECUTED by the parties

of TOWN OF CLAREMONT by authority)
of a resolution of the Council in the)
presence of;)

_____ Mayor

_____ Chief Executive Officer

EXECUTED by the parties

of TOWN OF MOSMAN PARK by authority)
of a resolution of the Council in the)
presence of;)

_____ Mayor

_____ Chief Executive Officer

EXECUTED by the parties

of SHIRE OF PEPPERMINT GROVE by authority)
of a resolution of the Council in the)
presence of;)

_____ Mayor

_____ Chief Executive Officer

EXECUTED by the parties

of TAPSS COMMUNITY CARE (INC.) trading as)
SHINE COMMUNITY SERVICES by authority)
of a resolution of the Council in the)
presence of;)

_____ Chair

_____ Executive Director

KEY PERFORMANCE INDICATORS 2017/2018

Effectiveness Indicators

1. Accessibility of all Shine services (including HACC)

Measure: Percentage of persons eligible to access Shine services, who are accessing those services (by Council).

Data: Population data to be sourced from the ABS. Percentage of seniors with a disability to be sourced from appropriate government agencies.

2. Customer Satisfaction

Measure: Percentage satisfaction in timeliness of services and quality of service (by service).

Data: Independent annual satisfaction survey.

Efficiency Indicators

3. Cost of providing services

Measure: Cost per hour/trip/meal (by Council).

Data: Shine records/benchmark data provided by similar services.

4. Personnel (staff and volunteers) utilised efficiently

Measure: Staff & volunteer hours as a percentage of total client hours of service.

Data: Shine records.



Ordinary Council Meeting

8.5.1 – Financial Report – February 2017 - Attachment # 9

SHIRE OF PEPPERMINT GROVE
Statement of Financial Activity
for the period 1 July 2016 to 28 February 2017

	ADOPTED BUDGET 2016/17	REVISED BUDGET 2016/17	YTD BUDGET 2016/2017	YTD ACTUAL 2016/2017	VARIANCE \$ Actual v YTD Budget	VARIANCE % Actual v YTD Budget	Comment REF
Operating Revenue							
FEES & CHARGES	300,600	360,780	310,780	309,996	(784)	0%	
GRANTS & SUBSIDIES	169,353	159,857	108,797	107,237	(1,560)	-1%	
CONTRIBUTIONS, REIMBURSEMENTS	1,314,302	1,334,302	1,000,727	1,020,653	19,927	2%	1
INTEREST ON INVESTMENTS	47,800	33,675	22,450	21,834	(616)	-3%	
OTHER REVENUE	27,300	33,300	18,200	16,863	(1,337)	-7%	
PROFIT ON SALE OF ASSETS	1,065	1,065	200	1,123	923	461%	
	1,860,420	1,922,979	1,461,154	1,477,707	16,554	1%	
Operating Expenses							
EMPLOYEE COSTS	(2,090,422)	(2,095,422)	(1,366,814)	(1,343,012)	23,802	-2%	2
MATERIALS & CONTRACTS	(1,795,767)	(2,085,364)	(1,236,462)	(1,235,420)	1,042	0%	
PUBLIC UTILITIES	(151,200)	(156,300)	(104,200)	(99,999)	4,201	-4%	
DEPRECIATION	(386,384)	(265,623)	(177,082)	(177,082)	0	0%	
INTEREST EXPENSES	(62,136)	(68,014)	(35,675)	(35,675)	0	0%	
INSURANCES	(117,750)	(114,250)	(114,250)	(100,685)	13,565	-12%	3
LOSS ON SALE OF ASSETS	0	0	0	0	0	0%	
OTHER EXPENSES	(63,250)	(63,250)	(31,625)	(31,625)	0	0%	
	(4,666,909)	(4,848,223)	(3,066,109)	(3,023,498)	42,611	-1%	
CHANGE IN NET ASSETS	(2,806,489)	(2,925,244)	(1,604,955)	(1,545,790)	59,165	-4%	
Adjustments for Non-Cash (Revenue) and Expenditure							
(Profit)/Loss on Asset Disposals	(1,065)	(1,065)	(200)	(1,123)	(923)	461%	
Depreciation on Assets	386,384	265,623	177,082	177,082	0	0%	
	385,319	264,558	176,882	175,959	(923)		
Capital Expenditure							
Land & Buildings	(158,000)	(158,000)	0	0	0		
Plant and Equipment	(139,000)	(139,000)	(105,500)	(104,400)	1,100	-1%	
Furniture & Equipment	(30,000)	(53,500)	(37,000)	(41,695)	(4,695)	13%	
Infrastructure Assets - Roads	(276,228)	(232,381)	(115,720)	(113,637)	2,083	-2%	
Infrastructure Assets - Other	(232,000)	(232,000)	(105,000)	(102,771)	2,229	-2%	
Infrastructure Assets - Footpaths	(110,000)	(110,000)	(60,000)	(57,488)	2,512	-4%	
Infrastructure Assets - Parks & Reserves	0	0	0	0	0		
Infrastructure Assets - Drainage	0	0	0	0	0		
	(945,228)	(924,881)	(423,220)	(419,991)	3,229	-1%	
Capital Revenue							
Proceeds from Disposal of assets	132,250	132,250	100,500	103,662	3,162	3%	
Debt Management							
Repayment of Debentures	(24,186)	(24,186)	(11,888)	(11,888)	(0)	0%	
Reserves and Restricted Funds							
Transfers to Reserves	(140,300)	(155,300)	(5,850)	(6,644)	(794)	14%	
Transfers from Reserves	183,000	309,838	15,000	16,920	1,920	13%	
	42,700	154,538	9,150	10,276	1,126		
Net Current Assets July 1 B/Fwd	390,000	497,331	497,331	495,386	(1,945)	0%	
Net Current Assets Year to Date	229,466	229,466	1,795,900	1,860,658	64,758	4%	4
Amount Raised from Rates	3,055,100	3,055,100	3,052,100	3,053,045	945	0%	

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2016 to 28 February 2017

1 Basis of Accounting

This financial report is a special-purpose financial report, which has been prepared in accordance with applicable Australian Accounting Standards, the Local Government Act 1995 (as amended) and accompanying regulations. The report has been prepared on an accrual basis under the convention of historical cost accounting.

2 Net Current Assets

	YTD ACTUAL 2016/2017	C/FWD 1 JULY 2016
CURRENT ASSETS		
Cash - Unrestricted	1,390,539	678,616
Cash - Restricted	481,648	491,924
Receivables	719,934	146,862
	2,592,120	1,317,402
CURRENT LIABILITIES		
Sundry Creditors	(119,926)	(199,708)
Leave Provisions	(166,919)	(166,919)
	2,305,275	950,775
Less: Cash - Reserves - Restricted	(481,648)	(491,924)
Add: Cash-Backed Leave Provision	37,031	36,535
NET CURRENT ASSET POSITION	1,860,658	495,386

SHIRE OF PEPPERMINT GROVE

Notes to and forming part of the Statement of Financial Activity

for the period 1 July 2016 to 28 February 2017

3 Reserves

	YTD ACTUAL 2016/2017	BUDGET 2016/17
(a) Roads Reserve		
<i>To be used for</i>		
Opening Balance	105,424	105,424
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
Interest Received	1,447	2,100
	106,871	107,524
(b) Library Infrastructure Reserve		
<i>To be used for</i>		
Opening Balance	109,411	109,411
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(15,000)
Interest Received	1,502	2,800
	110,913	97,211
(c) Staff Leave reserve		
<i>To be used for</i>		
Opening Balance	36,336	36,336
Amount Set Aside / Transfer to Reserve	0	112,500
Amount Used / Transfer from Reserve	0	0
Interest Received	499	1,080
	36,835	149,916
(d) Infrastructure/Bld Mtce Reserve		
<i>To be used for</i>		
Opening Balance	27,137	27,137
Amount Set Aside / Transfer to Reserve	0	20,000
Amount Used / Transfer from Reserve	0	0
Interest Received	373	0
	27,510	47,137
(e) Plant Reserve		
<i>To be used for</i>		
Opening Balance	0	0
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	0	0
Interest Received	0	0
	0	0
(f) Public Open Space Reserve		
<i>To be used for</i>		
Opening Balance	156,803	156,803
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	0	(153,000)
Interest Received	2,153	0
	158,956	3,803
(g) Library Leave reserve		
<i>To be used for</i>		
Opening Balance	2,145	2,145
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	0	0
Interest Received	29	180
	2,174	2,325
(h) Information Technology Reserve		
<i>To be used for</i>		
Opening Balance	37,326	37,326
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	(15,556)	(15,000)
Interest Received	412	1,120
	22,181	23,446

SHIRE OF PEPPERMINT GROVE

Notes to and forming part of the Statement of Financial Activity

for the period 1 July 2016 to 28 February 2017

3 Reserves

(i) **Arts & Culture Reserve**

To be used for

Opening Balance	17,342	17,342
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	(1,364)	0
Interest Received	229	520
	16,208	17,862

	YTD ACTUAL 2016/2017	BUDGET 2016/17
	17,342	17,342
	0	0
	(1,364)	0
	229	520
	16,208	17,862
Total Cash Backed Reserves	481,648	449,224

Total Cash Backed Reserves

**Summary of Transfers To and (From)
Cash Backed Reserves**

Transfers to Reserves

Roads Reserve	1,447	2,100
Library Infrastructure Reserve	1,502	2,800
Staff Leave reserve	499	113,580
Infrastructure/Bld Mtce Reserve	373	20,000
Plant Reserve	0	0
Public Open Space Reserve	2,153	0
Library Leave reserve	29	180
Information Technology Reserve	412	1,120
Arts & Culture Reserve	229	520
	6,644	140,300

Transfers from Reserves

Roads Reserve	0	0
Library Infrastructure Reserve	0	(15,000)
Staff Leave reserve	0	0
Infrastructure/Bld Mtce Reserve	0	0
Plant Reserve	0	0
Public Open Space Reserve	0	(153,000)
Library Leave reserve	0	0
IT Reserve	(15,556)	(15,000)
Arts & Culture Reserve	(1,364)	0
	(16,920)	(183,000)

Total Transfer to/(from) Reserves

	YTD ACTUAL 2016/2017	BUDGET 2016/17
	1,447	2,100
	1,502	2,800
	499	113,580
	373	20,000
	0	0
	2,153	0
	29	180
	412	1,120
	229	520
	6,644	140,300
	0	0
	0	(15,000)
	0	0
	0	0
	0	0
	0	(153,000)
	0	0
	(15,556)	(15,000)
	(1,364)	0
	(16,920)	(183,000)
Total Transfer to/(from) Reserves	(10,276)	(42,700)

All of the above reserve accounts are supported by money held in financial institutions.

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2016 to 28 February 2017

4 Cash and Investments

	OPENING BALANCE 2016/2017	MOVEMENT	CLOSING BALANCE 2016/2017
Restricted Cash Investments			
Library Projects Reserve	109,410.72	1,502.09	110,912.81
Infrastructure/Building Mtce	27,136.83	372.55	27,509.38
Plant Reserve	0.00	0.00	0.00
IT Reserve	37,326.26	(15,144.70)	22,181.56
Road Works reserve	105,424.29	1,447.35	106,871.64
Library Leave reserve	2,144.96	29.45	2,174.41
Staff Leave Reserve	36,336.29	498.86	36,835.15
Arts/Culture Reserve	17,341.54	(1,134.41)	16,207.13
Public Open Space Reserve	156,803.10	2,152.73	158,955.83
Total Reserves	491,923.99	(10,276.08)	481,647.91

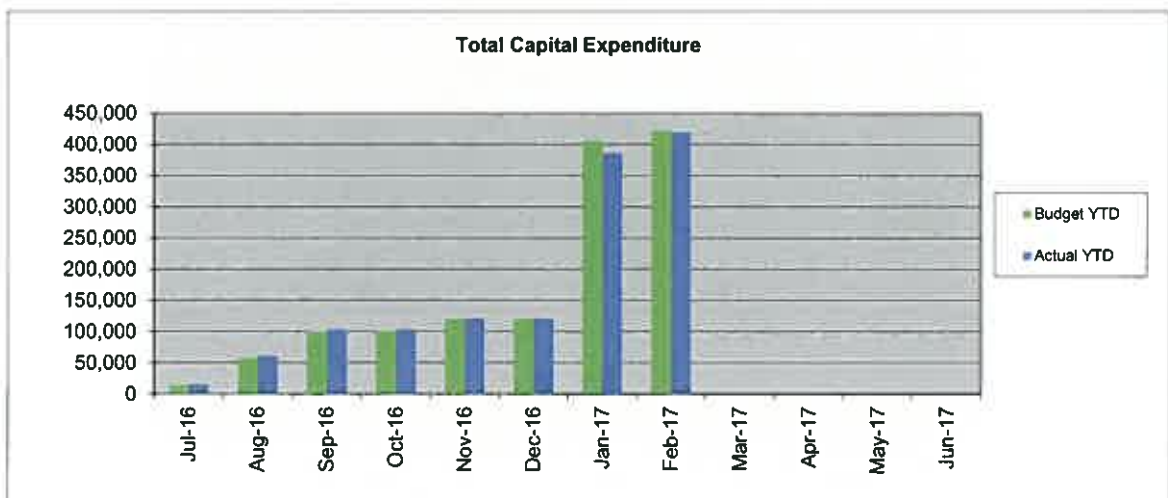
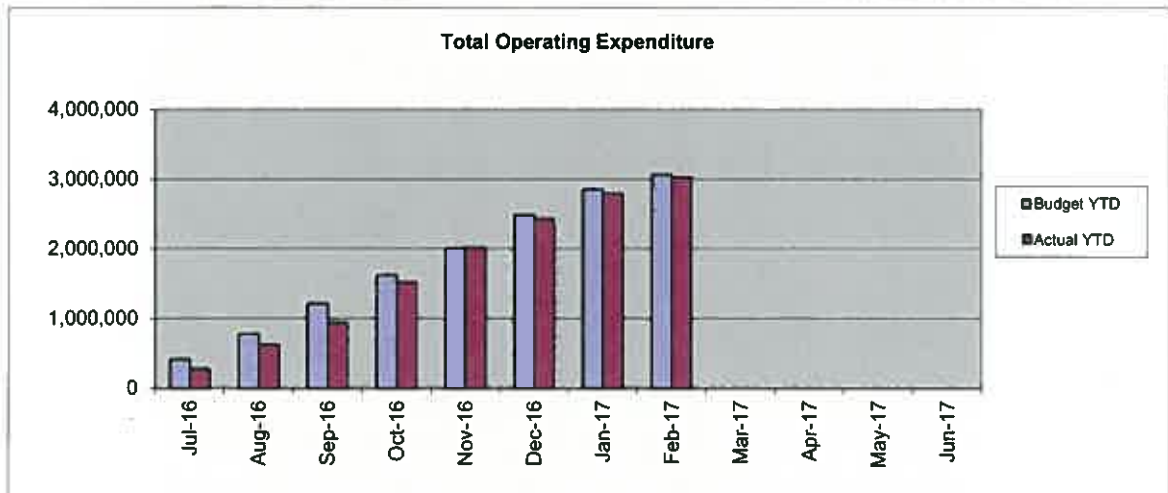
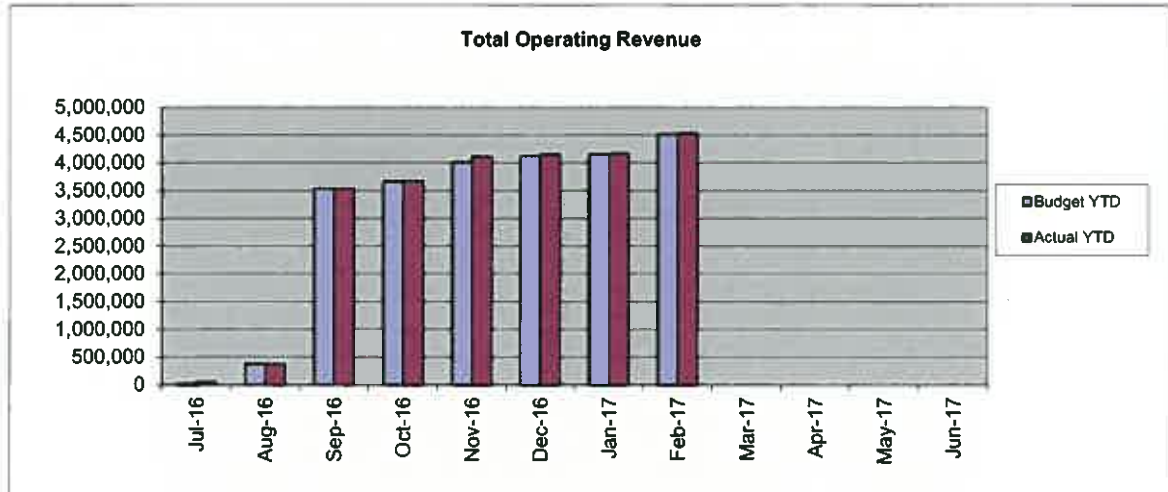
Unrestricted Cash/Investments

Municipal Fund	677,816.00	(447,397.79)	230,418.21
Petty Cash	800.00	0.00	800.00
Term Deposit Municipal	0.00	1,159,320.55	1,159,320.55
	678,616.00	711,922.76	1,390,538.76

Fund and TD Number	Amount Invested	Start Date	Maturity Date	Term (Days)	Interest Rate %	Expected Interest
Reserves	481,647.91	06-Dec-16	08-Mar-17	92	2.70%	3,277.84
Reserves Interest Receivable						3,277.84
Municipal 1	402,613.70	03-Jan-17	03-Apr-17	90	2.65%	2,630.78
Municipal 2	756,706.85	09-Feb-17	10-May-17	90	2.55%	4,757.92
Municipal 3	0.00					0.00
Municipal 4	0.00					0.00
Municipal Interest Receivable						7,388.70

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2016 to 28 February 2017

5 Revenues and Expenditures



CAPITAL EXPENDITURE 2016/17
(as at 28 February 2017)

Category Description	Description	EXPENDITURE		SOURCE OF FUNDS - BUDGET					SOURCE OF FUNDS - ACTUALS				
		2016/17 Budget	2016/17 Actual	2016/17 Grants	2016/17 Trade-In	2016/17 Reserves	2016/17 Muni.*	2016/17 Grants	2016/17 Trade-In	2016/17 Reserves	2016/17 Muni.*		
BUILDINGS - RENEWAL	KEANE'S POINT KIOSK - HEADWORKS	143,000	0	0	0	103,000	40,000	0	0	0	0	0	
BUILDINGS - RENEWAL	PAVILION	15,000	0	0	0	15,000	0	0	0	0	0	0	
TOTAL		158,000	0	0	0	118,000	40,000	0	0	0	0	0	
PLANT - RENEWAL	HOLDEN COMMODORE	27,500	28,175	0	26,000	0	1,500	28,607	0	0	(432)	0	
PLANT - RENEWAL	TOYOTA HILUX (AUTO)	35,000	33,091	0	33,250	0	1,750	32,182	0	0	909	0	
PLANT - RENEWAL	TOYOTA HILUX (MANUAL)	33,500	0	0	31,750	0	1,750	0	0	0	0	0	
PLANT - RENEWAL	FORD RANGER	43,000	43,134	0	41,250	0	1,750	42,873	0	0	261	0	
TOTAL		139,000	104,400	0	132,250	0	6,750	103,662	0	0	738	0	
FURNITURE - RENEWAL	OFFICE DESKTOP PC'S (10)	15,000	15,556	0	0	15,000	0	0	0	15,556	0	0	
FURNITURE - RENEWAL	COMMUNITY CENTRE AV EQUIPMENT	22,000	24,775	0	0	15,000	7,000	0	0	0	0	0	
FURNITURE - NEW	ARTWORK	16,500	1,364	0	0	0	0	0	0	1,364	0	0	
TOTAL		53,500	41,695	0	0	30,000	7,000	0	0	16,920	0	0	
ROADS - RENEWAL	MONUMENT STREET	42,667	42,667	34,834	0	0	7,833	12,726	0	0	29,941	0	
ROADS - RENEWAL	HOBBS PLACE	0	0	0	0	0	0	0	0	0	0	0	
ROADS - RENEWAL	BAY VIEW TERRACE	63,055	63,053	23,483	0	0	39,570	23,483	0	0	39,570	0	
ROADS - RENEWAL	RIGHTS-OF-WAY	86,659	7,917	0	0	0	86,659	0	0	0	7,917	0	
ROADS - RENEWAL	KERBING	40,000	0	0	0	0	40,000	0	0	0	0	0	
TOTAL		232,381	113,637	58,317	0	0	174,062	36,209	0	0	77,428	0	
FOOTPATH - RENEWAL	FOOTPATHS	110,000	57,488	0	0	0	110,000	0	0	0	15,613	0	
TOTAL		110,000	57,488	0	0	0	110,000	0	0	0	15,613	0	
OTHER INF. - RENEWAL	WALL - REAR OF OFFICE/GROVE	60,000	0	0	0	0	60,000	0	0	0	0	0	
OTHER INF. - RENEWAL	RIVER WALL	105,000	102,771	0	0	35,000	70,000	0	0	0	0	0	
OTHER INF. - NEW	RIVER WALL	67,000	0	32,000	0	0	35,000	30,440	0	0	0	0	
TOTAL		232,000	102,771	32,000	0	35,000	165,000	30,440	0	0	0	0	
Grand Total		924,881	419,991	90,317	132,250	183,000	502,812	66,649	103,662	16,920	163,780	351,010	
RENEWAL CAPEX		841,381	418,627										
NEW CAPEX		83,500	1,364										
Grand Total		924,881	419,991										

* Includes grants totalling \$115,901 received in 2015/16 & brought forward as part of 2016/17 opening surplus

Renewal CAPEX net of grants/trade-ins (inc 15/16 grants b/fwd)	498,569	248,317
Estimated depreciation expenses	386,384	177,082
Asset Sustainability Ratio	1.29	1.40



Ordinary Council Meeting

8.5.2 – Accounts Paid – March 2017 - Attachment # 10

**ACCOUNTS PAID BY EFT -
MARCH 2017**

Account No.	Vendor Name	Details	EFT Amount	Payment Date
109	PROFESSIONAL PC SUPPORT PTY LTD (PPS)	WORDPRESS UPDATE FROM 4.2 TO 4.7.2	60.50	3/03/2017
162	WESTERN METROPOLITAN REGIONAL COUNCIL	WASTE DISPOSAL W/E 15.2.2017 & 21.2.2017	9,565.62	3/03/2017
2110	PERTH LANDSCAPE DESIGN	LANDSCAPING - JUNE 2016	2,086.15	3/03/2017
2233	EASIFLEET	STAFF NOVATED LEASE PAYROLL DEDUCTIONS	2,075.09	3/03/2017
24	CHARLES SERVICE COMPANY	CLEANING - FEBRUARY 2017	5,766.28	3/03/2017
2414	OPEN SYSTEMS TECHNOLOGY PTY LTD (COUNCIL FIRST)	COUNCILFIRST/OFFICE 365 25.2.17 TO 25.5.17	17,831.12	3/03/2017
3002	Staples Australia Pty Ltd	STATIONERY	329.11	3/03/2017
3007	Total Packaging (WA) Pty Ltd	BRACKETS, DOG BAGS	99.00	3/03/2017
3012	BUNNINGS TRADE	HARDWARE	278.08	3/03/2017
3020	GLENN SWIFT ENTERTAINMENT	HALLOWEEN MC & GAMES MASTER	495.00	3/03/2017
3049	PERTH WATER FEATURES	WATER FOUNTAIN MTCE - FEBRUARY 2017	180.00	3/03/2017
3050	ENVIRO SWEEP PTY LTD (EWCS)	STREET SWEEPING - APRIL 2016	2,462.90	3/03/2017
3055	STRATA GREEN	SPRAY UNIT SPARE PARTS	159.63	3/03/2017
3067	MURPHYS ELECTRICAL CO	REPLACE PE CELL - PAVILION	179.30	3/03/2017
3072	YOGA TAKE THE WORLD	STAFF YOGA	400.00	3/03/2017
3074	AFFIRMATIVE GROUP PTY LTD	FOOTPATH REPAIRS- STIRLING HWY	1,628.00	3/03/2017
3106	MIZCO PTY LTD	OFFICE/LIBRARY BUILDING MANAGEMENT SYSTEM (#4)	8,143.74	3/03/2017
3120	WESTBOOKS	LIBRARY BOOKS	242.39	3/03/2017
3131	MAGNETIC AUTOMATION PTY LTD	REPLACE GATE MOTOR	1,635.70	3/03/2017
3181	MAEK PTY LTD	BOND REFUNDS	2,000.00	3/03/2017
3192	JANINE LAUDER	BOND REFUND	1,000.00	3/03/2017
3196	B & W STUDIO	PEP TALK NEWSLETTER - MARCH EDITION	3,317.60	3/03/2017
3198	JOSHUA CARACCIOLO	REIMBURSEMENT OF UNI FEES (GRANT-FUNDED)	1,031.00	3/03/2017
516	McLEODS BARRISTERS & SOLICITORS	LEGAL ADVICE - SWIMMING POOLS	381.77	3/03/2017
52	IRON MOUNTAIN AUSTRALIA GROUP PTY LTD (RECALL)	RECORDS MANAGEMENT - FEBRUARY 2017	145.34	3/03/2017
542	TURFMASTER FACILITY MANAGEMENT	RESERVE MOWING - JANUARY 2017	2,637.80	3/03/2017
598	PHIL JOHNSON PLUMBING & GAS	REPAIR TAPS MHP TOILETS	256.00	3/03/2017
693	CLEAN CITY GROUP PTY LTD	BIN VALET/BBQ CLEANING W/E 20.2, 27.2 & 2.3.17	4,950.00	3/03/2017
883	FUJII XEROX	PRINTING COSTS	112.25	3/03/2017
	TOTAL EFT00064		69,449.37	
3029	AUSTRALIAN TAXATION OFFICE	PAYG & GST FOR FEBRAURY 2016	54,369.00	17/03/2017
	TOTAL EFT00065		54,369.00	

ACCOUNTS PAID BY EFT -

MARCH 2017

109	PROFESSIONAL PC SUPPORT PTY LTD (PPS)	LIBRARY MANAGED IT (MARCH) & 2 X STAR PC'S, PARTS	5,790.40	17/03/2017
1731	WILSON SECURITY	ALARM RESPONSE ATTENDANCE CHARGES	971.30	17/03/2017
1736	ACURIX NETWORKS PTY LTD	LIBRARY PUBIC WI-FI MARCH 2017	357.50	17/03/2017
1861	ROCKWATER PTY LTD	GROUNDWATER MONITORING TO 28.2.17	2,745.49	17/03/2017
2093	SHAMROCK ELECTRICS	ELECTRICAL REPAIRS - COMMUNITY HISTORY ROOM	572.00	17/03/2017
2233	EASIFLEET	STAFF NOVATED LEASE PAYROLL DEDUCTIONS	2,075.09	17/03/2017
3010	Wavesound Pty Ltd	SUBSCRIPTIONS - UNIVERSAL CLASS & LANGUAGE	3,300.00	17/03/2017
3016	ROBOT WELDING	1 X GALVANISED DRAINAGE GRATE	379.50	17/03/2017
3047	PERTH IRRIGATION CENTRE (PIC)	RETICLUATION PARTS	67.10	17/03/2017
3050	ENVIRO SWEEP PTY LTD (EWCS)	STREET SWEEPING - FEBRUARY 2017	2,462.90	17/03/2017
3057	CTI COURIERS	LIBRARY FREIGHT - FEBRUARY 2017	357.37	17/03/2017
3059	ALS LIBRARY SERVICES PTY LTD	LIBRARY BOOKS	792.01	17/03/2017
3067	MURPHYS ELECTRICAL CO	REPLACE BBQ ELEMENT (KP) & FAN REPAIRS (DEPOT)	388.30	17/03/2017
3079	ABCO PRODUCTS PTY LTD	PUBLIC TOILET SUPPLIES	267.96	17/03/2017
3083	MOWER CITY t/as KC TRANSPORT (WA) PTY LTD	SERVICING BRUSHCUTTER & EDGER	334.30	17/03/2017
3106	MIZCO PTY LTD	OFFICE/LIBRARY BUILDING MANAGEMENT SYSTEM (#5)	9,397.74	17/03/2017
3120	WESTBOOKS	LIBRARY BOOKS	116.06	17/03/2017
3129	J & V EARTHMOVING CONTRACTORS	29 TON PROFILES (ROW) & LIMESTONE BLOCKS	3,245.00	17/03/2017
3131	MAGNETIC AUTOMATION PTY LTD	METAL KEY	33.00	17/03/2017
3134	SUNNY SIGN COMPANY PTY LTD	VARIOUS ROAD & PARKING SIGNS	4,049.10	17/03/2017
3135	ENVISIONWARE PTY LTD	ANNUAL LICENCE FEE - LIBRARY SYSTEM	7,427.49	17/03/2017
3201	DARYL & LEANDA WATKINS	REIMBURSEMENT OF CLEANING COSTS (OSWAL LOT)	949.00	17/03/2017
3203	COMMISSIONERS OF PRESBYTERIAN CHURCH IN WA	BCITF REFUND (PAID DIRECTLY BY BUILDER)	69.85	17/03/2017
3204	LIGHTFORCE ASSETS PTY LTD	REPLACE GUARDRAIL IRVINE ST/THE ESPLANADE	4,829.00	17/03/2017
3205	PUBLIC LIBRARIES WESTERN AUSTRALIA	2016/17 MEMBERSHIP SUBSCRIPTION	165.00	17/03/2017
3206	SCULPTURE AT BATHERS	PUBLIC ARTWORK "THE SEED POD"	15,000.00	17/03/2017
3207	SPYDUS USERS NETWORK INC.	2016/17 MEMBERSHIP SUBSCRIPTION	150.00	17/03/2017
3208	CAMERON ARTHUR MCPHEE (T/A URBAN ECOLOGICAL)	RAINWATER SYSTEM SERVICE	758.15	17/03/2017
516	McLEODS BARRISTERS & SOLICITORS	LEGAL COSTS - WHADJUK NATIVE TITLE CLAIM	388.83	17/03/2017
52	IRON MOUNTAIN AUSTRALIA GROUP PTY LTD (RECALL)	RECORDS MANAGEMENT - MARCH 2017	178.11	17/03/2017
542	TURFMASTER FACILITY MANAGEMENT	RESERVE MOWING - FEBRUARY 2017	2,637.80	17/03/2017
598	PHIL JOHNSON PLUMBING & GAS	REPAIR TOILET CISTERN - GROVE	102.00	17/03/2017
693	CLEAN CITY GROUP PTY LTD	BIN VALET/BBQ CLEANING W/E 8.3 & 15.3.17	3,360.00	17/03/2017
	TOTAL EFT00066		73,717.35	

**ACCOUNTS PAID BY EFT -
MARCH 2017**

1	AUSTRALIA POST		POSTAGE - FEBRUARY 2017	193.60	24/03/2017
162	WESTERN METROPOLITAN REGIONAL COUNCIL		WASTE DISPOSAL W/E 28.2.2017	5,103.79	24/03/2017
2414	OPEN SYSTEMS TECHNOLOGY PTY LTD (COUNCIL FIRST)		COUNCILFIRST/HPRM WEBINAR TRAINING	473.00	24/03/2017
300	SUEZ RECOVERY & RECYCLING (PERTH) PTY LTD		WASTE COLLECTIONS & RECYCLABLES PROCESSING-FEB	15,835.59	24/03/2017
3002	Staples Australia Pty Ltd		STATIONERY	141.28	24/03/2017
3058	RAECO		LIBRARY SUPPLIES	76.78	24/03/2017
3061	DEPARTMENT OF TRANSPORT - REGO SEARCHES		REGISTRATION SEARCHES - PARKING FINES	85.80	24/03/2017
3120	WESTBOOKS		LIBRARY BOOKS	546.57	24/03/2017
3135	ENVISIONWARE PTY LTD		UPGRADE STAFF REGISTER ON 2 PC'S	660.00	24/03/2017
3193	FLEXIGLASS CHALLENGE PTY LTD		AUTO ELECTRICAL - FORD RANGER CANOPY SWAP	250.01	24/03/2017
3194	MR JOHN TOLL		BOND REFUND	550.00	24/03/2017
3213	MICHAEL WHITBREAD		REIMBURSEMENT OF VEHICLE HIRE (INSURANCE CLAIM)	1,355.20	24/03/2017
3214	AUSSIE TELECOM PTY LIMITED (T/AS DEEFPREEZE)		LIBRARY IT MAINTENANCE RENEWAL	933.43	24/03/2017
3215	ELIZABETH WALKER		SOUND GRABS FOR ORAL HISTORIES	270.00	24/03/2017
804	DEPT OF FIRE & EMERGENCY SERVICES (DFES)		ESL QUARTER 3 REMITTANCE	98,917.66	24/03/2017
883	FUJI XEROX		PHOTOCOPIER LEASE FEE & PRINTING COSTS	1,469.00	24/03/2017
	TOTAL EFT00067			126,861.71	
3084	SHIRE CREDIT CARDS		SEE SEPARATE STATEMENTS FOR DETAILS	6,067.98	27/03/2017
	TOTAL EFT00068			6,067.98	
10	BP AUSTRALIA LIMITED		FUEL - FEBRUARY 2017	1,576.35	27/03/2017
	TOTAL EFT00069			1,576.35	
3000	CLICK SUPER		STAFF SUPERANNUATION DEDUCTS/CONTRIBS - MARCH	48,370.25	30/03/2017
	TOTAL EFT00070			48,370.25	
123	SYNERGY		ELECTRICITY - STREET LIGHTS & OFFICE/GROVE (PART)	4,319.60	31/03/2017
	TOTAL EFT00071			4,319.60	

**ACCOUNTS PAID BY CHEQUE -
MARCH 2017**

Cheque No.	Payee	Details	Cheque Amount	Payment Date
253	BOB JANE T-MARTS	NEW TYRES	812.00	17/03/2017
254	WATER CORPORATION	WATER EXPENSES	948.15	17/03/2017
255	PETTY CASH - OFFICE	PETTY CASH REIMBURSEMENT	471.55	29/03/2017
256	PETTY CASH - LIBRARY	PETTY CASH REIMBURSEMENT	188.65	30/03/2017
TOTAL CHEQUES			2,420.35	



**FlexiPurchase
Account Statement**

Statement for NAB

Statement Period: 28 Jan 2017 to 28 Feb 2017
Cardholder Name: John Merrick



JSKR VISA Purchasing Card (Client Expenses)

Date	Details			Approval	Receipt Amount (\$AUD)		
	GL Code	CC Code	Department	Net	Tax	Gross	
01 Feb 2017	Lucas Resources Pty Ltd Nedlands			Approval Req'd	<input checked="" type="checkbox"/>	\$8.00	
	28340	139	0401	\$7.27	\$0.73	\$8.00	
	Purchase Lucas Resources Pty Ltd Australia Day Photos						
02 Feb 2017	Woolworths 4356 Cottesloe			Approval Req'd	<input checked="" type="checkbox"/>	\$9.10	
	28280	139	0403	\$8.27	\$0.83	\$9.10	
	Purchase Woolworths 4356 Afternoon tea - CEO Meeting						
10 Feb 2017	Paypal *boatshedmar 4029357733			Approval Req'd	<input checked="" type="checkbox"/>	\$189.80	
	28280	139	0401	\$172.55	\$17.25	\$189.80	
	Purchase Paypal *boatshedmar Catering - Agenda Briefing Forum 14/2/17						
14 Feb 2017	Woolworths 4356 Cottesloe			Approval Req'd	<input checked="" type="checkbox"/>	\$12.23	
	28280	139	0401	\$11.12	\$1.11	\$12.23	
	Purchase Woolworths 4356 Council Meeting 14/2/17 groceries						
14 Feb 2017	Boatshed Market Pty Ltd Cottesloe			Approval Req'd	<input checked="" type="checkbox"/>	\$10.90	
	28280	139	0401	\$9.91	\$0.99	\$10.90	
	Purchase Boatshed Market Pty Ltd Morning Tea - WALGA Meeting						
23 Feb 2017	The Black Truffle North Fremant			Approval Req'd	<input checked="" type="checkbox"/>	\$228.50	
	28280	139	0401	\$207.73	\$20.77	\$228.50	
	Purchase The Black Truffle Catering - Council Meeting 28/2/17						
28 Feb 2017	Account Fees			No Appr Req'd	<input type="checkbox"/>	\$6.82	
	27130	129	0403	\$6.20	\$0.62	\$6.82	
	Account Fees Cc Fp User Fee Credit card charges						
Total for this period:						\$465.35	

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature _____

Dated 24/3/2017

Employee ID: 1

Approved By

Signature _____

Dated 24/3/2017

On Completion



**FlexiPurchase
Account Statement**

Statement for NAB

Statement Period: 28 Jan 2017 to 28 Feb 2017

Cardholder Name: Donovan Norgard



JSKR VISA Purchasing Card (Client Expenses)

<u>Date</u>	<u>Details</u>		<u>Approval</u>	<u>Receipt Amount (\$AUD)</u>	
<u>GL Code</u>	<u>CC Code</u>	<u>Department</u>	<u>Net</u>	<u>Tax</u>	<u>Gross</u>
01 Feb 2017	Dot - Licensing	Willagee	Approval Req'd	<input checked="" type="checkbox"/>	\$392.50
28480	129	1404	\$356.82	\$35.68	\$392.50
Purchase Dot - Licensing Hilux Registration - 1GFE570					
07 Feb 2017	Jb Hi Fi	Claremont	Approval Req'd	<input checked="" type="checkbox"/>	\$28.00
27140	129	1403	\$25.45	\$2.55	\$28.00
Purchase Jb Hi Fi Microsoft Mobile Mouse					
13 Feb 2017	Pro Health Medical Group		Approval Req'd	<input checked="" type="checkbox"/>	\$100.00
	Subiaco				
26510	129	1403	\$90.91	\$9.09	\$100.00
Purchase Pro Health Medical Group Skin cancer check - D Norgard					
13 Feb 2017	Whitworths Nautical	Mos Man	Approval Req'd	<input checked="" type="checkbox"/>	\$42.00
	Park Wa				
28830	139	1404	\$38.18	\$3.82	\$42.00
Purchase Whitworths Nautical Mos 4 x 8mm Shackles					
17 Feb 2017	Mac Tyrepower & 4x4	Booragoon	Approval Req'd	<input checked="" type="checkbox"/>	\$85.00
28810	129	1404	\$77.27	\$7.73	\$85.00
Purchase Mac Tyrepower & 4x4 Tyre puncture repair - Ford Ranger					
21 Feb 2017	Tint A Car	Myaree Myaree	Approval Req'd	<input checked="" type="checkbox"/>	\$375.00
28830	139	1404	\$340.91	\$34.09	\$375.00
Purchase Tint A Car Myaree Window tinting - Ford Ranger					
28 Feb 2017	Repco 016450	Myaree	Approval Req'd	<input checked="" type="checkbox"/>	\$8.78
28830	129	1404	\$7.98	\$0.80	\$8.78
Purchase Repco 016450 Windscreen cleaner					
28 Feb 2017	Account Fees		No Appr Req'd	<input type="checkbox"/>	\$6.82
27130	129	1403	\$6.20	\$0.62	\$6.82
Account Fees Cc Fp User Fee Credit card charges					
Total for this period:					\$1,038.10

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature _____

Dated 04 / 17 / _____

Employee ID: 169

Approved By

Signature  _____

Dated 22 / 3 / 2017

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



**FlexiPurchase
Account Statement**

Statement for NAB

Statement Period: 28 Jan 2017 to 28 Feb 2017
Cardholder Name: Paul Rawlings



JSKR VISA Purchasing Card (Client Expenses)

<u>Date</u>	<u>Details</u>		<u>Approval</u>	<u>Receipt Amount (\$AUD)</u>		
	<u>GL Code</u>	<u>CC Code</u>		<u>Department</u>	<u>Net</u>	<u>Tax</u>
27 Jan 2017	Account Fees		No Appr Req'd		<input type="checkbox"/>	\$110.00
	27130	129		\$100.00	\$10.00	\$110.00
	Account Fees Cc Maintenance Fee					
	Card fees					
Total for this period:						\$110.00

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature *P. Rawlings*

Dated 27/3/2017

Employee ID: 24

Approved By

Signature *[Signature]*

Dated 27/3/2017

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



**FlexiPurchase
Account Statement**

Statement for NAB

Statement Period: 28 Jan 2017 to 28 Feb 2017

Cardholder Name: Paul Rawlings



JSKR VISA Purchasing Card (Client Expenses)

<u>Date</u>	<u>Details</u>	<u>Approval</u>	<u>Receipt Amount (\$AUD)</u>		
<u>GL Code</u>	<u>CC Code</u>	<u>Department</u>	<u>Net</u>	<u>Tax</u>	<u>Gross</u>
07 Feb 2017	Yabrn Pty Ltd Cla Remont Wa 28650 129 Purchase Yabrn Pty Ltd Cla Plan printing	1002	Approval Req'd \$18.18	<input checked="" type="checkbox"/> \$1.82	\$20.00
24 Feb 2017	Bunnings 391000 Peppermint Gr 28270 139 Purchase Bunnings 391000 Electronic tap timer	1102	Approval Req'd \$42.10	<input checked="" type="checkbox"/> \$4.21	\$46.31
27 Feb 2017	Info Proficiency Drv Midland 26540 129 Purchase Info Proficiency Drv Records management training	0403	Approval Req'd \$400.00	<input checked="" type="checkbox"/> \$40.00	\$440.00
28 Feb 2017	Account Fees 27130 129 Account Fees Cc Fp User Fee Credit card charges	0403	No Appr Req'd \$6.20	<input type="checkbox"/> \$0.62	\$6.82
27 Feb 2017	Yabrn Pty Ltd Nedlands 28650 129 Purchase Yabrn Pty Ltd Plan printing	0403	Approval Req'd \$60.45	<input checked="" type="checkbox"/> \$6.05	\$66.50
Total for this period:					\$579.63

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature 

Dated 27/3/2017

Employee ID: 24

Approved By

Signature 

Dated 22/3/2017

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator


**FlexiPurchase
Account Statement**
Statement for NAB
Statement Period: 28 Jan 2017 to 28 Feb 2017


Cardholder Name: Debra Bum

JSKR VISA Purchasing Card (Client Expenses)

Date	Details			Approval	Receipt	Amount (\$AUD)
	GL Code	CC Code	Department	Net	Tax	Gross
08 Feb 2017		Dome Claremont	Claremont	Approval Req'd	<input checked="" type="checkbox"/>	\$19.45
	28770	119	1106	\$17.68	\$1.77	\$19.45
	Purchase Dome Claremont Breakfast meeting WSLG Managers D. Bum					
15 Feb 2017		Adobe Creative Cloud 800-833-6687		Approval Req'd	<input checked="" type="checkbox"/>	\$16.49
	27160	190	1106	\$14.99	\$1.50	\$16.49
	Purchase Adobe Creative Cloud Software licence Adobe Cloud					
17 Feb 2017		Woolworths 4356 Cottesloe		Approval Req'd	<input checked="" type="checkbox"/>	\$6.80
	28770	190	1106	\$1.36	\$0.14	\$1.50
	28770	190	1106	\$5.30	\$0.00	\$5.30
	Purchase Woolworths 4356 Hospitality supplies for Library Management Meeting					
17 Feb 2017		Boatshed Market Pty Ltd Cottesloe		Approval Req'd	<input checked="" type="checkbox"/>	\$42.94
	28770	190	1106	\$39.04	\$3.90	\$42.94
	Purchase Boatshed Market Pty Ltd Hospitality supplies for Library Management Meeting					
22 Feb 2017		Perth Intl Arts Fstvl Crawley		Approval Req'd	<input checked="" type="checkbox"/>	\$16.24
	28530	119	1106	\$14.76	\$1.48	\$16.24
	Purchase Perth Intl Arts Fstvl Professional development- D. Bum attendance at Writer's Festival event					
22 Feb 2017		Perth Intl Arts Fstvl Crawley		Approval Req'd	<input checked="" type="checkbox"/>	\$58.95
	28530	119	1106	\$53.59	\$5.36	\$58.95
	Purchase Perth Intl Arts Fstvl Professional development - D. Bum, C. Ryan, C. Tait, D. Brown attendance at Writer's Festival events					
23 Feb 2017		Pline Ph Cottesloe Cottesloe		Approval Req'd	<input checked="" type="checkbox"/>	\$15.98
	28770	139	1106	\$14.53	\$1.45	\$15.98
	Purchase Pline Ph Cottesloe First aid box supplies					
24 Feb 2017		Dymocks Claremont Claremont		Approval Req'd	<input checked="" type="checkbox"/>	\$33.00
	28470	139	1106	\$30.00	\$3.00	\$33.00
	Purchase Dymocks Claremont Book					
27 Feb 2017		Booktopia Pty Ltd Lidcombe		Approval Req'd	<input checked="" type="checkbox"/>	\$535.10
	28470	139	1106	\$486.45	\$48.65	\$535.10
	Purchase Booktopia Pty Ltd Adult books					
28 Feb 2017		Woolworths 4356 Cottesloe		Approval Req'd	<input checked="" type="checkbox"/>	\$37.99
	28770	190	1106	\$31.81	\$3.18	\$34.99
	28770	190	1106	\$3.00	\$0.00	\$3.00
	Purchase Woolworths 4356 Volunteer program refreshments					
28 Feb 2017		Account Fees		No Appr Req'd	<input type="checkbox"/>	\$6.82
	28770	190	1106	\$6.82	\$0.00	\$6.82
	Account Fees Cc Fp User Fee bank fees					
Total for this period:						\$789.76

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature 

Dated 23/3/2017

Employee ID: 51

Approved By

Signature 

Dated 23/3/2017

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator


**FlexiPurchase
Account Statement**
Statement for NAB
Statement Period: 28 Jan 2017 to 28 Feb 2017

Cardholder Name: Lance Hopkinson

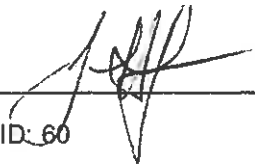
JSKR VISA Purchasing Card (Client Expenses)

Date	Details		Approval	Receipt	Amount (SAUD)
GL Code	CC Code	Department	Net	Tax	Gross
27 Jan 2017	Booktopia Pty Ltd Lidcombe		Approved	<input checked="" type="checkbox"/>	\$495.74
28470	139	1106	\$450.67	\$45.07	\$495.74
Purchase Booktopia Pty Ltd Adult Books					
31 Jan 2017	Jb Hi Fi Chadstone		Approved	<input checked="" type="checkbox"/>	\$249.39
28473	139	1106	\$226.72	\$22.67	\$249.39
Purchase Jb Hi Fi Cd/ DVD's					
31 Jan 2017	Booktopia Pty Ltd Lidcombe		Approved	<input checked="" type="checkbox"/>	\$200.45
28470	139	1106	\$182.23	\$18.22	\$200.45
Purchase Booktopia Pty Ltd Adult Books					
08 Feb 2017	Woolworths 4356 Cottesloe		Approved	<input checked="" type="checkbox"/>	\$12.00
28770	190	1106	\$10.91	\$1.09	\$12.00
Purchase Woolworths 4356 Milk/ Coffee					
09 Feb 2017	Bookdepository.Com 441452307905		Approved	<input checked="" type="checkbox"/>	\$113.72
28470	139	1106	\$103.38	\$10.34	\$113.72
Purchase Bookdepository.Com Adult Books					
09 Feb 2017	Booktopia Pty Ltd Lidcombe		Approved	<input checked="" type="checkbox"/>	\$301.90
28470	139	1106	\$274.45	\$27.45	\$301.90
Purchase Booktopia Pty Ltd Adult Books					
10 Feb 2017	Bookdepository.Com 441452307905		Approved	<input checked="" type="checkbox"/>	\$303.46
28470	139	1106	\$275.87	\$27.59	\$303.46
Purchase Bookdepository.Com Adult Books					
13 Feb 2017	Booktopia Pty Ltd Lidcombe		Approved	<input checked="" type="checkbox"/>	\$221.30
28470	139	1106	\$201.18	\$20.12	\$221.30
Purchase Booktopia Pty Ltd Adult Books					
23 Feb 2017	Jb Hi Fi Chadstone		Approved	<input checked="" type="checkbox"/>	\$86.68
28473	139	1106	\$78.80	\$7.88	\$86.68
Purchase Jb Hi Fi dvd/cds					
28 Feb 2017	Woolworths 4356 Cottesloe		Approved	<input checked="" type="checkbox"/>	\$11.00
28770	190	1106	\$10.00	\$1.00	\$11.00
Purchase Woolworths 4356 milk Coffee					
28 Feb 2017	Account Fees		No Appr Req'd	<input type="checkbox"/>	\$6.82
28770	190	1106	\$6.82	\$0.00	\$6.82
Account Fees Cc Fp User Fee					
Total for this period:					\$2,002.46

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

3/22/2017

Signature 
Employee ID: 60

Statement Report

Dated 22 / 3 / 17

Approved By

Signature 

Dated 22 / 3 / 2017

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator


**FlexiPurchase
Account Statement**
Statement for NAB
Statement Period: 28 Jan 2017 to 28 Feb 2017

Cardholder Name: Stewart Farley

JSKR VISA Purchasing Card (Client Expenses)

<u>Date</u>	<u>Details</u>		<u>Approval</u>	<u>Receipt</u>	<u>Amount (\$AUD)</u>	
<u>GL Code</u>	<u>CC Code</u>	<u>Department</u>	<u>Net</u>	<u>Tax</u>	<u>Gross</u>	
01 Feb 2017	Booktopia Pty Ltd	Lidcombe	Approved	<input checked="" type="checkbox"/>		\$23.90
28471	139	1106	\$21.73	\$2.17	\$23.90	
Purchase Booktopia Pty Ltd purchase of childrens books (2 orders from 1 feb where combined in this transation)						
01 Feb 2017	Booktopia Pty Ltd	Lidcombe	Approved	<input checked="" type="checkbox"/>		\$262.05
28471	139	1106	\$238.23	\$23.82	\$262.05	
Purchase Booktopia Pty Ltd purchase of childrens books (2 orders from 1 feb where combined in this transation)						
06 Feb 2017	Booktopia Pty Ltd	Lidcombe	Approved	<input checked="" type="checkbox"/>		\$88.00
28471	139	1106	\$80.00	\$8.00	\$88.00	
Purchase Booktopia Pty Ltd books purchased for junior collection						
08 Feb 2017	Booktopia Pty Ltd	Lidcombe	Approved	<input checked="" type="checkbox"/>		\$87.82
28471	139	1106	\$79.84	\$7.98	\$87.82	
Purchase Booktopia Pty Ltd books purchased for junior collection						
16 Feb 2017	Booktopia Pty Ltd	Lidcombe	Approved	<input checked="" type="checkbox"/>		\$61.00
28471	139	1106	\$55.45	\$5.55	\$61.00	
Purchase Booktopia Pty Ltd book purchases for kids collection						
19 Feb 2017	Bookdepository.Com		Approval Req'd	<input checked="" type="checkbox"/>		\$120.51
	441452307905					
28471	139	1106	\$120.51	\$0.00	\$120.51	
Purchase Bookdepository.Com kids book purchases						
19 Feb 2017	Bookdepository.Com		Approval Req'd	<input checked="" type="checkbox"/>		\$142.68
	441452307905					
28471	139	1106	\$129.71	\$12.97	\$142.68	
Purchase Bookdepository.Com kids book purchases						
21 Feb 2017	Bookdepository.Com		Approval Req'd	<input checked="" type="checkbox"/>		\$42.14
	441452307905					
28471	139	1106	\$38.31	\$3.83	\$42.14	
Purchase Bookdepository.Com kids book purchases						
23 Feb 2017	Bookdepository.Com		Approval Req'd	<input checked="" type="checkbox"/>		\$77.77
	441452307905					
28471	139	1106	\$70.70	\$7.07	\$77.77	
Purchase Bookdepository.Com kids book purchases						
28 Feb 2017	Account Fees		No Appr Req'd	<input type="checkbox"/>		\$6.82
28770	139	1106	\$6.20	\$0.62	\$6.82	
Account Fees Cc Fp User Fee credit card fees						

27 Feb 2017	Bookdepository.Com 441452307905		Approval Req'd	<input checked="" type="checkbox"/>	\$132.99
28471	139	1106	\$120.90	\$12.09	\$132.99
Purchase Bookdepository.Com kids book purchases					
27 Feb 2017	Bookdepository.Com 441452307905		Approval Req'd	<input checked="" type="checkbox"/>	\$37.00
28471	139	1106	\$37.00	\$0.00	\$37.00
Purchase Bookdepository.Com kids book purchases					
Total for this period:					\$1,082.68

Cardholder Declaration

I declare that all purchases were authorised or necessarily incurred on behalf of the company.

Signature 

Dated 27/3/2017

Employee ID: 63

Approved By

Signature 

Dated 27/3/2017

On Completion

ALL Receipts should be attached to this form and then forwarded to your P-Card Administrator



Ordinary Council Meeting

8.5.3 – Financial Report – March 2017 - Attachment # 11

SHIRE OF PEPPERMINT GROVE
Statement of Financial Activity
for the period 1 July 2016 to 31 March 2017

	ADOPTED BUDGET 2016/17	REVISED BUDGET 2016/17	YTD BUDGET 2016/2017	YTD ACTUAL 2016/2017	VARIANCE \$ Actual v YTD Budget	VARIANCE % Actual v YTD Budget	Comment REF
Operating Revenue							
FEES & CHARGES	300,600	360,780	325,780	324,700	(1,080)	0%	
GRANTS & SUBSIDIES	169,353	159,857	143,516	151,509	7,993	6%	
CONTRIBUTIONS, REIMBURSEMENTS	1,314,302	1,334,302	1,000,727	1,022,818	22,092	2%	1
INTEREST ON INVESTMENTS	47,800	33,675	25,256	26,575	1,319	5%	
OTHER REVENUE	27,300	33,300	24,975	29,921	4,946	20%	
PROFIT ON SALE OF ASSETS	1,065	1,065	200	1,123	923	461%	
	1,860,420	1,922,979	1,520,454	1,556,647	36,193	2%	
Operating Expenses							
EMPLOYEE COSTS	(2,090,422)	(2,095,422)	(1,611,863)	(1,576,706)	35,157	-2%	2
MATERIALS & CONTRACTS	(1,795,767)	(2,085,364)	(1,390,243)	(1,352,772)	37,471	-3%	3
PUBLIC UTILITIES	(151,200)	(156,300)	(112,225)	(106,244)	5,981	-5%	
DEPRECIATION	(386,384)	(265,623)	(199,217)	(199,217)	0	0%	
INTEREST EXPENSES	(62,136)	(68,014)	(35,675)	(35,675)	0	0%	
INSURANCES	(117,750)	(114,250)	(114,250)	(101,917)	12,333	-11%	4
LOSS ON SALE OF ASSETS	0	0	0	0	0	0%	
OTHER EXPENSES	(63,250)	(63,250)	(31,625)	(31,625)	0	0%	
	(4,666,909)	(4,848,223)	(3,495,098)	(3,404,156)	90,942	-3%	
CHANGE IN NET ASSETS	(2,806,489)	(2,925,244)	(1,974,644)	(1,847,508)	127,136	-6%	
Adjustments for Non-Cash (Revenue) and Expenditure							
(Profit)/Loss on Asset Disposals	(1,065)	(1,065)	(200)	(1,123)	(923)	461%	
Depreciation on Assets	386,384	265,623	199,217	199,217	0	0%	
	385,319	264,558	199,017	198,095	(923)		
Capital Expenditure							
Land & Buildings	(158,000)	(158,000)	0	0	0		
Plant and Equipment	(139,000)	(139,000)	(105,500)	(104,400)	1,100	-1%	
Furniture & Equipment	(30,000)	(53,500)	(53,500)	(55,331)	(1,831)	3%	
Infrastructure Assets - Roads	(276,228)	(232,381)	(115,720)	(113,637)	2,083	-2%	
Infrastructure Assets - Other	(232,000)	(232,000)	(105,000)	(102,771)	2,229	-2%	
Infrastructure Assets - Footpaths	(110,000)	(110,000)	(60,000)	(57,488)	2,512	-4%	
Infrastructure Assets - Parks & Reserves	0	0	0	0	0		
Infrastructure Assets - Drainage	0	0	0	0	0		
	(945,228)	(924,881)	(439,720)	(433,627)	6,093	-1%	
Capital Revenue							
Proceeds from Disposal of assets	132,250	132,250	100,500	103,662	3,162	3%	
Debt Management							
Repayment of Debentures	(24,186)	(24,186)	(11,888)	(11,888)	(0)	0%	
Reserves and Restricted Funds							
Transfers to Reserves	(140,300)	(155,300)	(6,720)	(9,922)	(3,202)	48%	
Transfers from Reserves	183,000	309,838	293,338	278,296	(15,042)	-5%	5
	42,700	154,538	286,618	268,374	(18,244)		
Net Current Assets July 1 B/Fwd	390,000	497,331	497,331	495,386	(1,945)	0%	
Net Current Assets Year to Date	229,466	229,466	1,709,314	1,825,538	116,224	7%	6
Amount Raised from Rates	3,055,100	3,055,100	3,052,100	3,053,045	945	0%	

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2016 to 31 March 2017

1 Basis of Accounting

This financial report is a special-purpose financial report, which has been prepared in accordance with applicable Australian Accounting Standards, the Local Government Act 1995 (as amended) and accompanying regulations. The report has been prepared on an accrual basis under the convention of historical cost accounting.

2 Net Current Assets

	YTD ACTUAL 2016/2017	C/FWD 1 JULY 2016
CURRENT ASSETS		
Cash - Unrestricted	1,609,722	678,616
Cash - Restricted	223,550	491,924
Receivables	404,033	146,862
	2,237,305	1,317,402
CURRENT LIABILITIES		
Sundry Creditors	(58,330)	(199,708)
Leave Provisions	(166,919)	(166,919)
	2,012,057	950,775
Less: Cash - Reserves - Restricted	(223,550)	(491,924)
Add: Cash-Backed Leave Provision	37,031	36,535
NET CURRENT ASSET POSITION	1,825,538	495,386

SHIRE OF PEPPERMINT GROVE

Notes to and forming part of the Statement of Financial Activity

for the period 1 July 2016 to 31 March 2017

3 Reserves

	YTD ACTUAL 2016/2017	BUDGET 2016/17
(a) Roads Reserve		
<i>To be used for</i>		
Opening Balance	105,424	105,424
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
Interest Received	2,175	2,100
	107,599	107,524
(b) Library Infrastructure Reserve		
<i>To be used for</i>		
Opening Balance	109,411	109,411
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	(101,338)	(101,338)
Interest Received	2,257	2,800
	10,330	10,873
(c) Staff Leave reserve		
<i>To be used for</i>		
Opening Balance	36,336	36,336
Amount Set Aside / Transfer to Reserve	0	112,500
Amount Used / Transfer from Reserve	0	0
Interest Received	750	1,080
	37,086	149,916
(d) Infrastructure/Bld Mtce Reserve		
<i>To be used for</i>		
Opening Balance	27,137	27,137
Amount Set Aside / Transfer to Reserve	0	20,000
Amount Used / Transfer from Reserve	0	0
Interest Received	560	0
	27,697	47,137
(e) Plant Reserve		
<i>To be used for</i>		
Opening Balance	0	0
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	0	0
Interest Received	0	0
	0	0
(f) Public Open Space Reserve		
<i>To be used for</i>		
Opening Balance	156,803	156,803
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	(160,038)	(160,000)
Interest Received	3,235	3,500
	(0)	303
(g) Library Leave reserve		
<i>To be used for</i>		
Opening Balance	2,145	2,145
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	0	0
Interest Received	44	180
	2,189	2,325
(h) Information Technology Reserve		
<i>To be used for</i>		
Opening Balance	37,326	37,326
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	(15,556)	(15,000)
Interest Received	563	1,120
	22,332	23,446

SHIRE OF PEPPERMINT GROVE

Notes to and forming part of the Statement of Financial Activity

for the period 1 July 2016 to 31 March 2017

3 Reserves

	YTD ACTUAL 2016/2017	BUDGET 2016/17
(i) Arts & Culture Reserve		
<i>To be used for</i>		
Opening Balance	17,342	17,342
Amount Set Aside/Transfer to Reserve	0	0
Amount Used/Transfer from Reserve	(1,364)	(16,500)
Interest Received	340	520
	16,318	1,362
Total Cash Backed Reserves	223,550	342,886

	YTD ACTUAL 2016/2017	BUDGET 2016/17
Summary of Transfers To and (From) Cash Backed Reserves		
Transfers to Reserves		
Roads Reserve	2,175	2,100
Library Infrastructure Reserve	2,257	2,800
Staff Leave reserve	750	113,580
Infrastructure/Bld Mtce Reserve	560	20,000
Plant Reserve	0	0
Public Open Space Reserve	3,235	3,500
Library Leave reserve	44	180
Information Technology Reserve	563	1,120
Arts & Culture Reserve	340	520
	9,922	143,800
Transfers from Reserves		
Roads Reserve	0	0
Library Infrastructure Reserve	(101,338)	(101,338)
Staff Leave reserve	0	0
Infrastructure/Bld Mtce Reserve	0	0
Plant Reserve	0	0
Public Open Space Reserve	(160,038)	(160,000)
Library Leave reserve	0	0
IT Reserve	(15,556)	(15,000)
Arts & Culture Reserve	(1,364)	(16,500)
	(278,296)	(292,838)
Total Transfer to/(from) Reserves	(268,374)	(149,038)

All of the above reserve accounts are supported by money held in financial institutions.

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2016 to 31 March 2017

4 Cash and Investments

	OPENING BALANCE 2016/2017	MOVEMENT	CLOSING BALANCE 2016/2017
Restricted Cash Investments			
Library Projects Reserve	109,410.72	(99,081.49)	10,329.23
Infrastructure/Building Mtce	27,136.83	559.76	27,696.59
Plant Reserve	0.00	0.00	0.00
IT Reserve	37,326.26	(14,993.74)	22,332.52
Road Works reserve	105,424.29	2,174.66	107,598.95
Library Leave reserve	2,144.96	44.25	2,189.21
Staff Leave Reserve	36,336.29	749.54	37,085.83
Arts/Culture Reserve	17,341.54	(1,024.11)	16,317.43
Public Open Space Reserve	156,803.10	(156,803.10)	0.00
Total Reserves	491,923.99	(268,374.23)	223,549.76

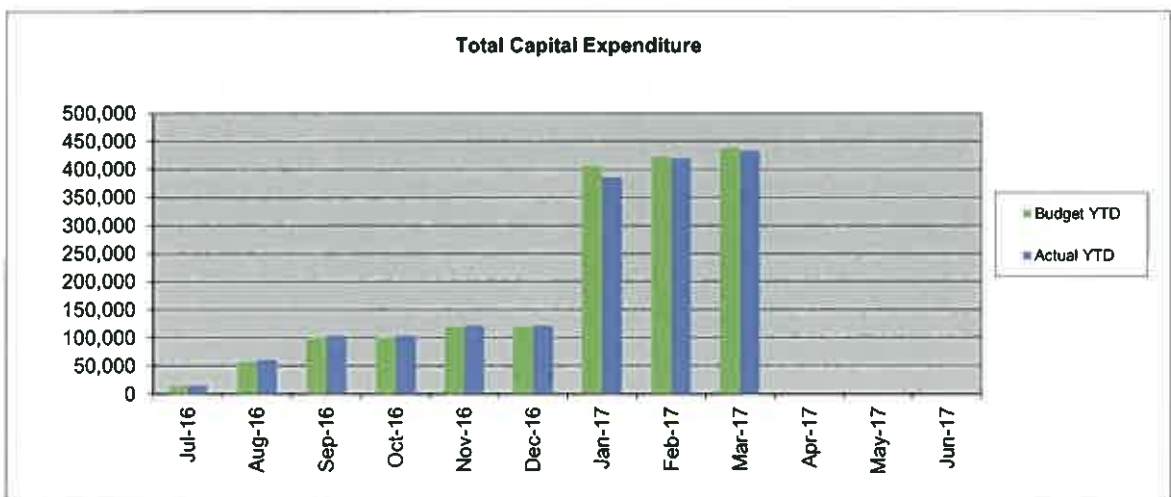
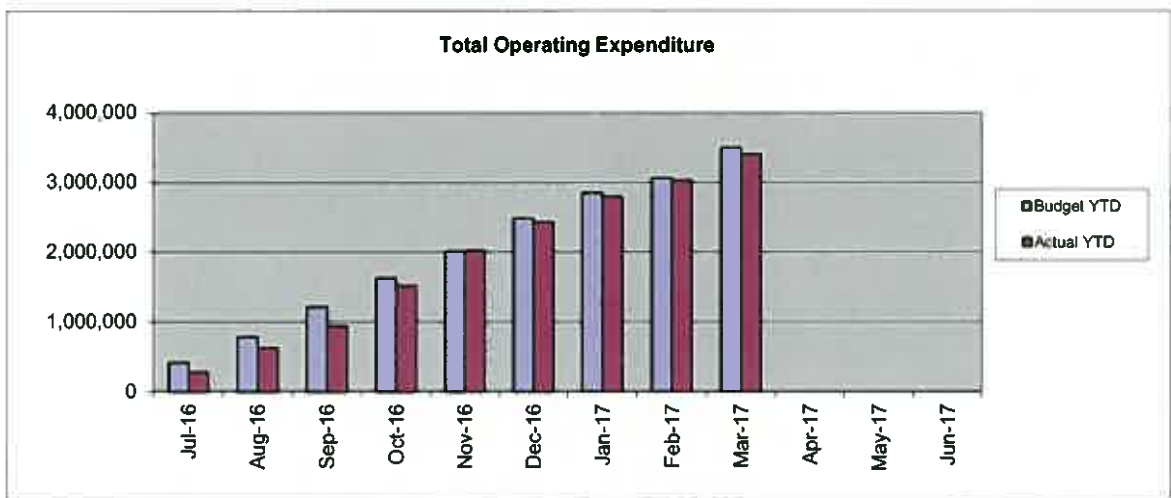
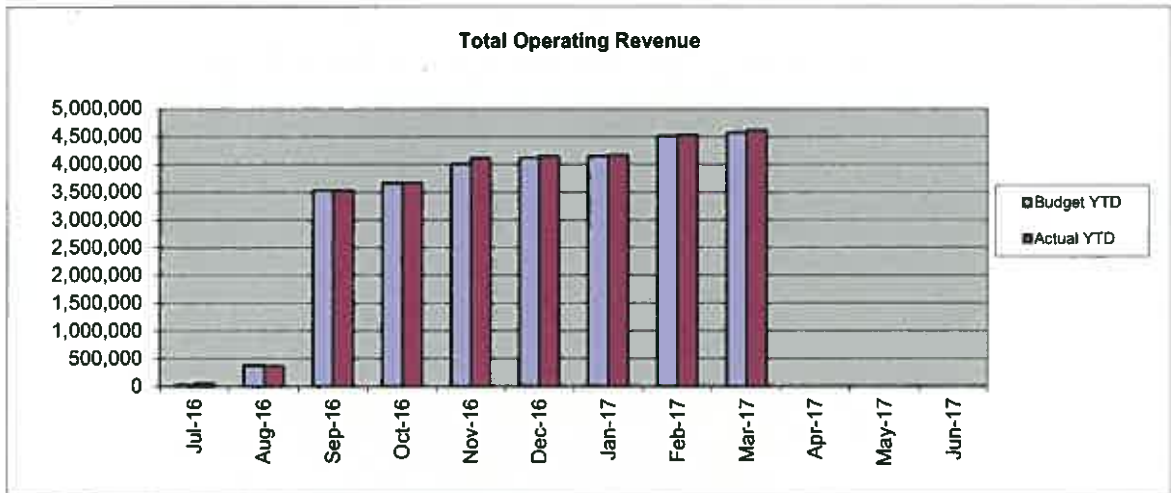
Unrestricted Cash/Investments

Municipal Fund	677,816.00	(228,214.68)	449,601.32
Petty Cash	800.00	0.00	800.00
Term Deposit Municipal	0.00	1,159,320.55	1,159,320.55
	678,616.00	931,105.87	1,609,721.87

Fund and TD Number	Amount Invested	Start Date	Maturity Date	Term (Days)	Interest Rate %	Expected Interest
Reserves	223,549.76	08-Mar-17	08-Jun-17	92	2.50%	1,408.67
Reserves Interest Receivable						1,408.67
Municipal 1	402,613.70	03-Jan-17	03-Apr-17	90	2.65%	2,630.78
Municipal 2	756,706.85	09-Feb-17	10-May-17	90	2.55%	4,757.92
Municipal 3	0.00					0.00
Municipal 4	0.00					0.00
Municipal Interest Receivable						7,388.70

SHIRE OF PEPPERMINT GROVE
Notes to and forming part of the Statement of Financial Activity
for the period 1 July 2016 to 31 March 2017

5 Revenues and Expenditures



CAPITAL EXPENDITURE 2016/17
(as at 31 MARCH 2017)

Category Description	EXPENDITURE		SOURCE OF FUNDS - BUDGET				SOURCE OF FUNDS - ACTUALS			
	2016/17 Budget	2016/17 Actual	2016/17 Grants	2016/17 Trade-In	2016/17 Reserves	2016/17 Muni.*	2016/17 Grants	2016/17 Trade-In	2016/17 Reserves	2016/17 Muni.*
BUILDINGS - RENEWAL	143,000	0			103,000	40,000			0	
BUILDINGS - RENEWAL	15,000	0			15,000					
TOTAL	158,000	0	0	0	118,000	40,000	0	0	0	0
PLANT - RENEWAL	27,500	28,175		26,000		1,500		28,607		(432)
PLANT - RENEWAL	35,000	33,091		33,250		1,750		32,182		909
PLANT - RENEWAL	33,500	0		31,750		1,750		0		0
PLANT - RENEWAL	43,000	43,134		41,250		1,750		42,873		261
TOTAL	139,000	104,400	0	132,250	0	6,750	0	103,662	0	738
FURNITURE - RENEWAL	15,000	15,556			15,000				15,556	
FURNITURE - RENEWAL	22,000	24,775			15,000	7,000			20,230	4,545
FURNITURE - NEW	16,500	15,000							0	
TOTAL	53,500	55,331	0	0	30,000	7,000	0	0	35,786	4,545
ROADS - RENEWAL	42,667	42,667	34,834			7,833	34,834			7,833
ROADS - RENEWAL	0	0				0				
ROADS - RENEWAL	63,055	63,053	23,483			39,570	23,483			39,570
ROADS - RENEWAL	86,659	7,917				86,659				7,917
ROADS - RENEWAL	40,000	0				40,000				
TOTAL	232,381	113,637	58,317	0	0	174,062	58,317	0	0	55,320
FOOTPATH - RENEWAL	110,000	57,488				110,000				57,488
TOTAL	110,000	57,488	0	0	0	110,000	0	0	0	57,488
OTHER INF. - RENEWAL	60,000	0				60,000				
OTHER INF. - RENEWAL	105,000	102,771			35,000	70,000			34,257	68,514
OTHER INF. - NEW	67,000	0	32,000			35,000				
TOTAL	232,000	102,771	32,000	0	35,000	165,000	0	0	34,257	68,514
Grand Total	924,881	433,617	90,317	132,250	183,000	502,812	58,317	103,662	70,043	186,606
						908,379			418,627	
RENEWAL CAPEX	841,381	418,627								
NEW CAPEX	83,500	15,000								
Grand Total	924,881	433,627								

* Includes grants totalling \$115,901 received in 2015/16 & brought forward as part of 2016/17 opening surplus

Renewal CAPEX net of grants/trade-ins (inc 15/16 grants b/fwd)	498,569	256,649
Estimated depreciation expenses	386,384	199,217
Asset Sustainability Ratio	1.29	1.29